

NEW RESIDENCE

9306 Livernois Road
Houston, TX 77080

REV.: DATE: DESCRIPTION:

01/31/25	FOR REVIEW
02/01/25	FOR REVIEW
04/01/25	FOR REVIEW
05/15/25	FOR REVIEW
06/02/25	FOR REVIEW
08/12/25	FOR REVIEW
08/24/25	FOR PERMIT & CONSTRUCTION
09/19/25	C.O.H. REVISION
11/11/25	CLIENT REVISION

△ 09/19/25 C.O.H. REVISION
11/11/25 CLIENT REVISION

METRO
LIVING

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SHEET TITLE:
FIRST FLOOR PLAN

SHEET NO:

A2.00

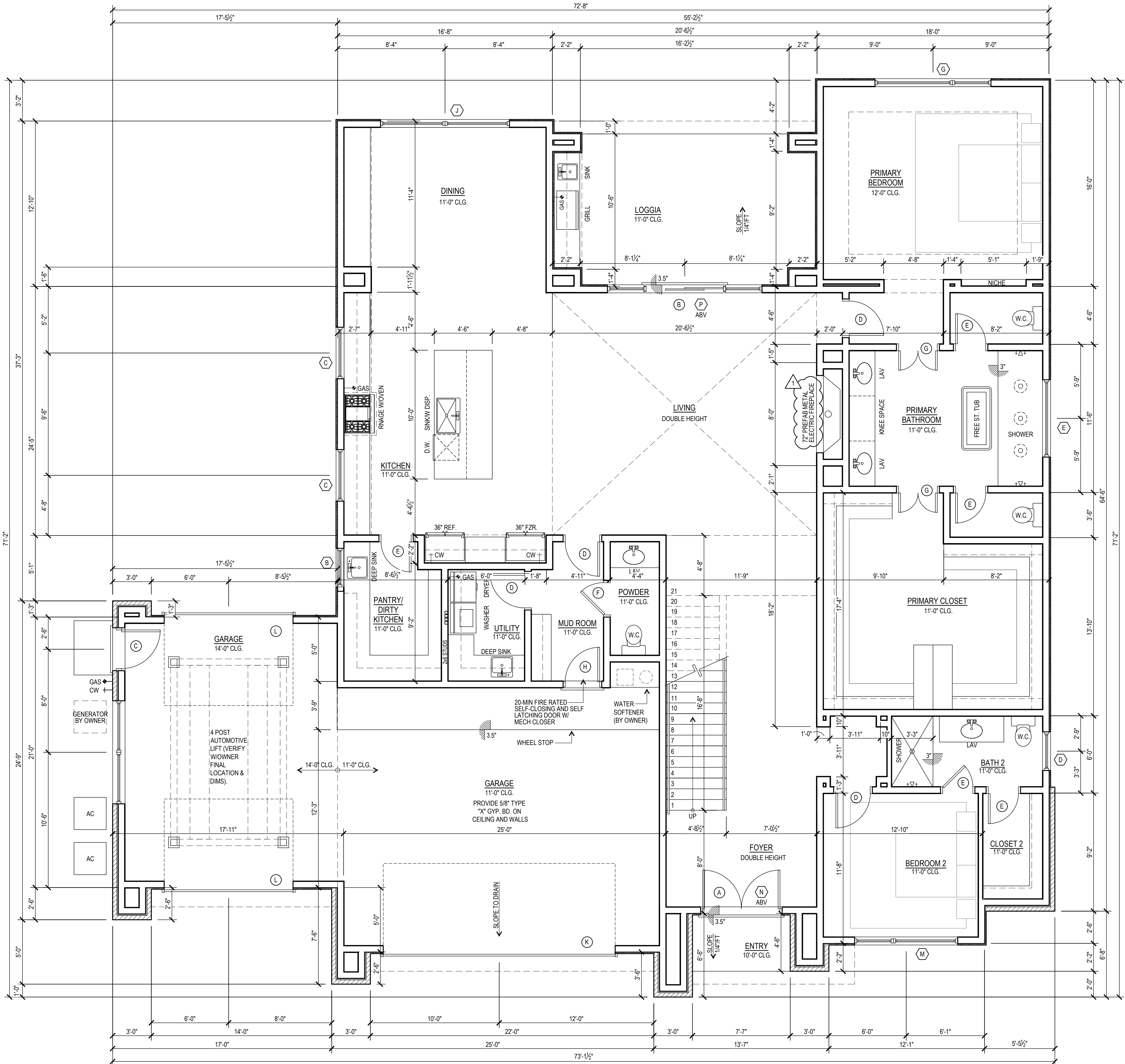
GRAPHIC SYMBOLS

- ⬡ WINDOW TYPE
- ⬢ DOOR TYPE
- 1/A8 INTERIOR ELEVATION
- 1/A3 EXTERIOR ELEVATION
- 2/A4.5 DETAIL NUMBER
- 3/A4.0 SHEET NUMBER
- 3/A4.0 BUILDING SECTION

FIRST FLOOR CONDITIONED	2,781 S.F.
SECOND FLOOR CONDITIONED	2,082 S.F.
TOTAL CONDITIONED AREA	4,863 S.F.
FIRST FLOOR UNCONDITIONED	2,781 S.F.
SECOND FLOOR UNCONDITIONED	2,082 S.F.
GARAGE	922 S.F.
COVERED ENTRY	46 S.F.
COVERED PATIO	243 S.F.
TOTAL AREA	6,074 S.F.

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUDS.
- ALL PARTITIONS ABOVE 11'-0" HEIGHT ARE 2"x6" STUDS @ 16" O.C. U.N.O.
- ALL PARTITIONS UNDER 10'-0" ARE 2"x4" EXCEPT AT DOUBLE HEIGHT WALLS, WITH 1/2" THK GYP BD UNLESS NOTED OTHERWISE.
- PROVIDE 5/8" THK TYPE "X" GYP BD ON WALLS AND CEILING AT GARAGE.
- PROVIDE "DUROCK" CEMENT BD AT ALL WET WALLS, INCLUDING KITCHEN AND BATHROOMS.
- LOCATE WATER HEATER IN ATTIC OVER PARTITION. SET IN METAL PAN W/ DRAIN TO OUTSIDE.
- ALL INTERIOR DOORS TO BE 1 3/8 H.C. ON WOOD FRAME.
- ALL EXTERIOR DOORS TO BE 1 3/4" S.C. ON WOOD FRAME.
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING BATTERY BACKUP, AND ALL HAVE TO BE INTERCONNECTED.
- ALL BATH VENT FANS ARE TO TERMINATE AT EXTERIOR.
- PROVIDE WOOD BLOCKING AT ALL BEDROOMS AND LIVING ROOM FOR FUTURE CEILING FAN INSTALLATION.
- ATTIC ACCESS STAIR TO BE 30"x34" AND HAVE A LOAD CAPACITY OF NOT LESS THAN 350 POUNDS. HANDRAILS SHALL BE IN COMPLIANCE WITH TABLE R301.4, MIN. UNIFORMLY DISTRIBUTED 200 LBS PER SQ. FT. LIVE LOAD APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP OF HANDRAIL.
- PROVIDE TEMPERED GLAZING PER SECTION R308.4
- R301.2 BATHTUB AND SHOWER SPACES, BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET (1829 MM) ABOVE THE FLOOR.
- THROUGH PENETRATIONS R302.4.1 MECHANICAL OR PLUMBING FIXTURES TO BE INSTALLED DIRECTLY ADJACENT TO A FIREWALL. PROVIDE A CHASE WALL FOR THESE ITEMS OR SPECIFICALLY NOTE THAT THE ITEMS WILL BE STEEL, COPPER OR IRON PIPE OR CONDUIT WITH THE ANNULAR SPACE AROUND THE PENETRATION FILLED WITH AN APPROVED FIRE-CAULK.



1 FIRST FLOOR PLAN
1/4"=1'-0"

PROJECT: 25-06

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SHEET TITLE:
SECOND FLOOR PLAN

SHEET NO:

A2.10

GRAPHIC SYMBOLS

- WINDOW TYPE
- DOOR TYPE
- INTERIOR ELEVATION
- EXTERIOR ELEVATION
- DETAIL NUMBER
- SHEET NUMBER
- BUILDING SECTION

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1 SECOND FLOOR PLAN

1/4"=1'-0"