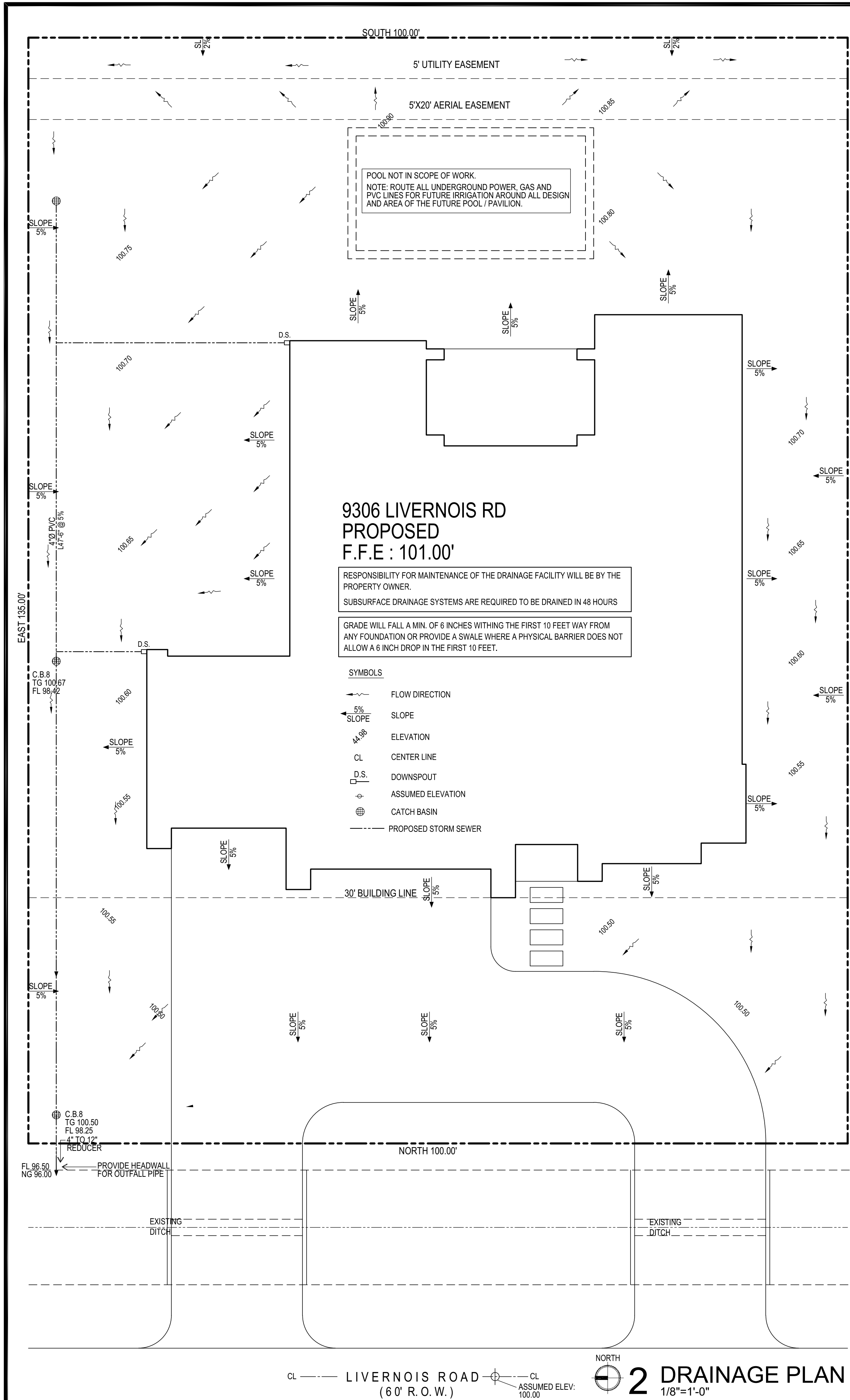




Approved Only for Water/Sewer
Point of Connection

WATER P.O.C 8" in LIVERNOIS RD

SEWER P.O.C 8" in LIVERNOIS RD

Project No: 25076502

By: Shelby Skinner 8/25/2025

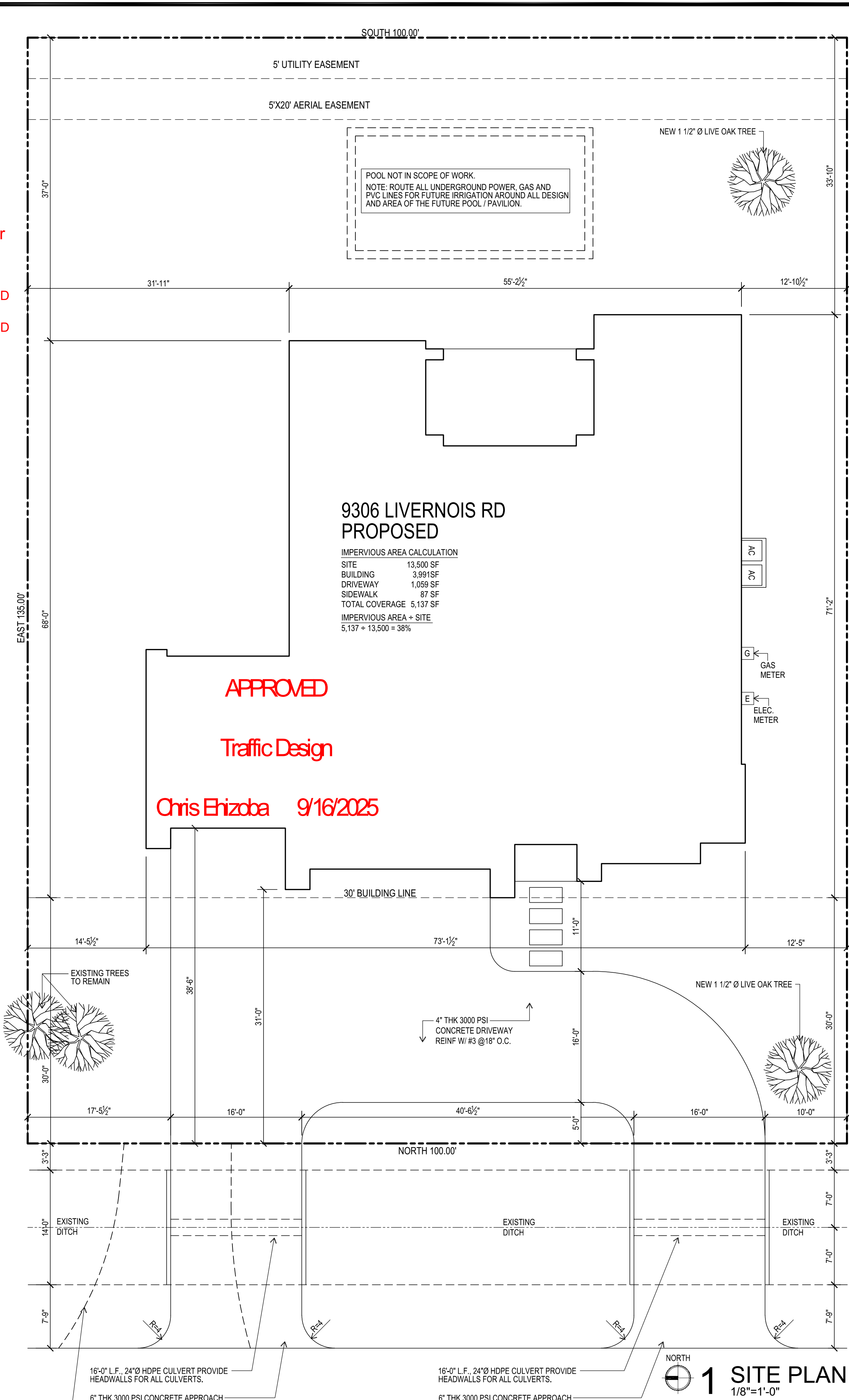
RECOMMENDED APPROVAL
PLANNING AND
DEVELOPMENT DEPARTMENT
DEVELOPMENT SERVICES
Ed Buckley 9/10/2025
LANDSCAPING REQUIRED

- GENERAL NOTES: SITE DRAINAGE
- CONTRACTOR/BUILDER SHALL FIELD-VERIFY ALL EXISTING CONDITIONS & INFORM DESIGNER OF ALL DISCREPANCIES THAT MAY IMPACT THIS WORK.
 - CONTRACTOR/BUILDER SHALL FIELD-VERIFY EXISTING ELEVATIONS AND SET FINISH FLOOR ELEVATION AT THE HIGHEST OF THE FOLLOWING:
1 FOOT ABOVE RIM ELEVATION OF NEAREST SANITARY SEWER MANHOLE; 1 FOOT ABOVE BASE FLOOD ELEVATION (BFE); 4 INCHES HIGHER THAN CROWN ELEVATION OF FRONTAGE STREET.
 - ALL EXCAVATED SOIL FROM FOUNDATION SHALL BE REMOVED FROM CONSTRUCTION SITE AND MAY NOT BE USED AS FILL DIRT, UNLESS SPECIFICALLY CALLED FOR ON PLANS.
 - THIS PROPOSED DRAINAGE SCHEME WILL NOT RESULT IN ANY STORMWATER RUNOFF ONTO ADJOINING PROPERTIES FOR A 2-YEAR STORM.

REFERENCE: TP-40
US - 2 YR FREQUENCY
NO FILL IS PROPOSED TO BE PLACED BELOW THE BFE ON THIS SITE. NO FLOODPLAIN MITIGATION IS REQUIRED. NO DETENTION FACILITIES ARE REQUIRED. GRADE SHALL HAVE POSITIVE DRAINAGE PATH AWAY FROM FOUNDATION MINIMUM 6" IN THE FIRST 10' (5% SLOPE). GRADE SHALL HAVE POSITIVE DRAINAGE PATH AWAY FROM FOUNDATION AND LOT LINE WITHIN 10' (2% SLOPE).

- GENERAL NOTES:
- ALL ROOF PENETRATIONS (I.E. PLUMBING AND GAS VENTS, ETC.) ARE TO BE RESTRICTED TO THE REAR ROOF AREA ONLY. UNDER NO CIRCUMSTANCES SHALL THERE BE ROOF PENETRATIONS AT THE ROOF FACING THE STREET.
 - ALL SITE WORK INCLUDING LOCATION OF TRASH DUMPSTER, TEMPORARY TOILET FACILITIES, TEMPORARY CONSTRUCTION FENCING, CLEARING PROCEDURES, GRADING AND DRAINAGE, ETC. SHALL BE IN ACCORDANCE WITH CITY OF HOUSTON REQUIREMENT GUIDELINES.
 - CONTRACTOR SHALL PROVIDE AND BE RESPONSIBLE FOR TEMPORARY UTILITIES TO THE CONSTRUCTION SITE.
- ALL PLANS ARE IN COMPLIANCE WITH THE 2021 IRC

THE PROJECT QUALIFIES FOR THE MAYOR'S
SIDEWALK MEMO. SIDEWALK CONSTRUCTION
IS EXEMPT DUE TO RIGHT-OF-WAY
LIMITATIONS ON LIVERNOIS RD.



PROJECT: 25-06

NEW RESIDENCE

9306 Livernois Road
Houston, TX 77080

REV.	DATE	DESCRIPTION
01/31/25		FOR REVIEW
02/01/25		FOR REVIEW
04/01/25		FOR REVIEW
05/15/25		FOR REVIEW
06/02/25		FOR REVIEW
06/12/25		FOR REVIEW
06/24/25		FOR REVIEW
08/12/25		FOR PERMIT & CONSTRUCTION

METRO LIVING

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SHEET TITLE:
SITE PLAN
DRAINAGE PLAN

SHEET NO:

A1.00