

ADDRESS: 1308 REDBUD LANE

AREA: 10,638 S.F. ~ 0.24 ACRES

PLAT NO. 222960

30' 0' 30'

GRAPHIC SCALE: 1" = 30'

Line	Bearing	Distance
L1	S 42°47'30" W	3.87'

Curve	Radius	Length	Chord	Chord Bearing
C1	85.00'	46.96'	46.36'	N 77°43'18" E

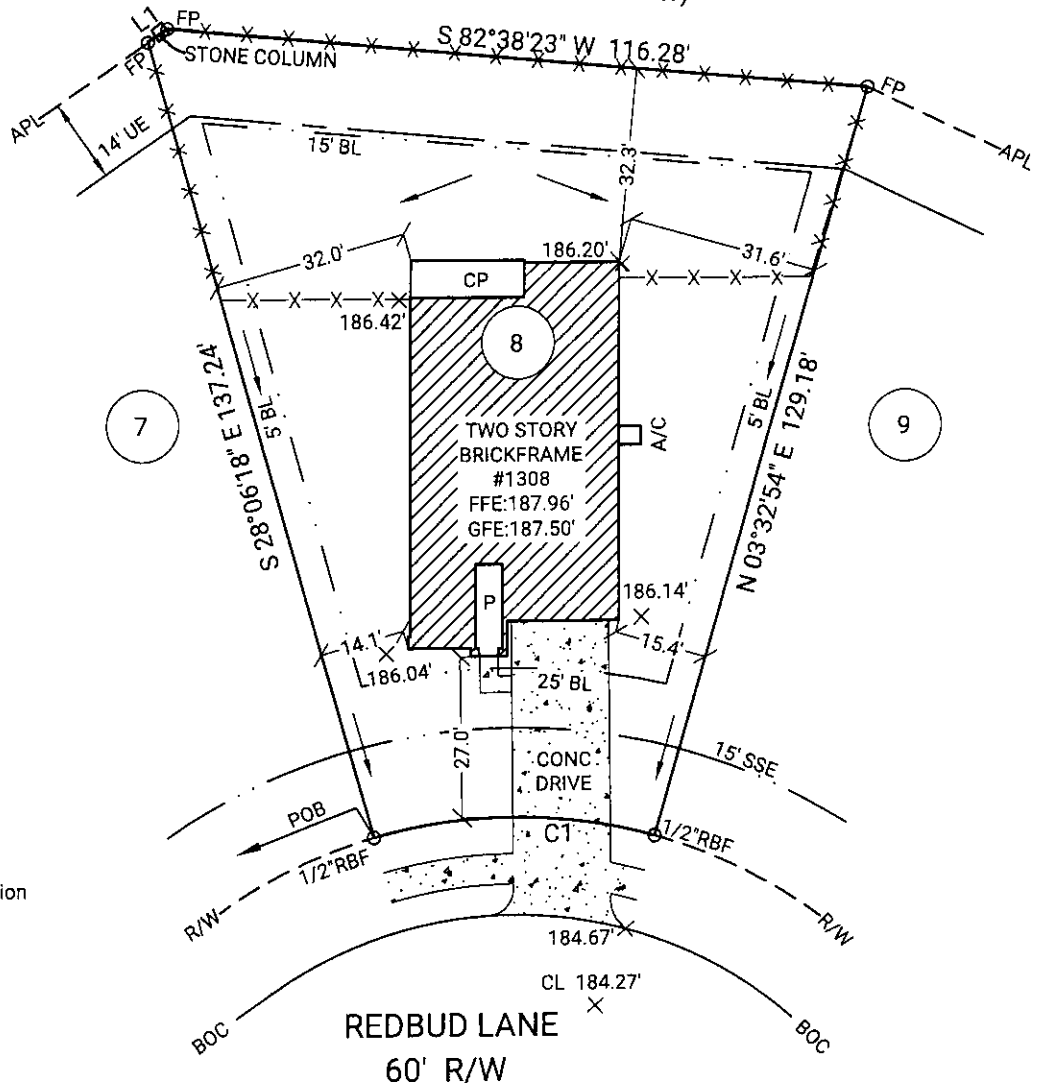
Paul H. Horton 07/20/2023
Angelika Horton 07/20/2023

WESTWARD POINTE
SECTION 1
RESERVE "B"
(RESTRICTED TO RECREATION
CENTER PURPOSES ONLY)

POB
257.61' ALONG THE R/W TO
THE 60' R/W OF
WATERSIDE TRACE

LEGEND

BL	Building Line
APL	Approximate Property Line
BOC	Back of Curb
R/W	Right of Way
N/F	Now or Formerly
UE	Utility Easement
DE	Drainage Easement
SSE	Sanitary Sewer Easement
WLE	Water Line Easement
STMSE	Storm Sewer Easement
PROP	Proposed
MFE	Minimum Finished Floor Elevation
FFE	Finished Floor Elevation
GFE	Garage Floor Elevation
P	Porch
CP	Covered Patio
PAT	Patio
S	Stoop
CONC	Concrete
-X-	Fence
TOF	Top of Forms
RBF	Rebar Found
RBS	Rebar Set
FP	Fence Post
POB	Point Of Beginning



NOTE: COMMON PRIVACY FENCE CONSTRUCTED BY BUILDER.

GENERAL NOTES: This property is subject to additional easements or restrictions of record. Carter & Clark Surveyors is unable to warrant the accuracy of boundary information, structures, easements, and buffers that are illustrated on the subdivision plat. Utility easement has not been field verified by surveyor. contact utility contractor for location prior to construction (if applicable). This plat is for exclusive use by client. Use by third parties is at their own risk. Dimensions from house to property lines should not be used to establish fences. This plat has been calculated for closure and is found to be accurate within one foot in 10,000+ feet. The field data upon which this plat is based has a closure precision of one foot in 10,000+ feet and an angular error of 7 seconds per angle point and was adjusted using the compass rule. Equipment used: Leica TS13 Robotic Total Station.

SUB: Westward Pointe SEC: 1
LOT: 8 BL: 2

City of Sealy, Austin County, Texas

FINAL SURVEY FOR:

D.R. HORTON
America's Builder

FIELD WORK DATE: 06/16/2023
20230604639 DRH_HTX_S FC:JE

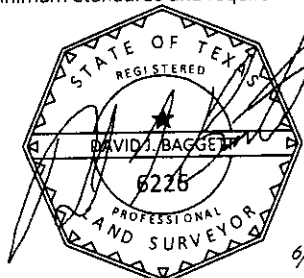


**CARTER
+ CLARK**

SURVEYORS • PLANNERS • ENGINEERS

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Duluth, GA 30097
866.637.1048
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FIRM LICENSE: 10193759

In my opinion, this plat is a correct representation of the land platted and has been prepared within the minimum standards and requirements of law.



6/16/2023