

FMS
SURVEYING, INC.

49168-FTC



ESTABLISHED 1978

19701 STATE HIGHWAY 6, MANVEL, TEXAS 77578

PHONE: (281) 519-8530

TBPLS FIRM # 10040400
www.fmssurveying.com

NOTES:

1. BEARINGS ARE BASED ON THE RECORDED PLAT.
2. THE HOUSE PLAN SHOWN HEREON IS BASED ON THE LAST PLOT PLAN RELEASED BY F.M.S. SURVEYING CO.
3. THE SURVEYOR HAS NOT ABSTRACTED THIS PROPERTY AND HAS RELIED ON THE TITLE COMMITMENT WITH THE GF NUMBER SHOWN HEREON, PREPARED BY THE TITLE COMPANY REFERENCED HEREON.
4. *B.L. PER BUILDER GUIDELINES.
5. IF THE DEVELOPMENT HANDBOOK APPLIES TO THIS LOT, THERE WILL BE A 6' BUILDING LINE PARALLEL AND ADJACENT TO THE SIDE LOT LINES.
6. THIS LOT IS SUBJECT TO A 5' CONSTRUCTION & MAINTENANCE EASEMENT ALONG THE REAR AND SIDE PROPERTY LINES.

10' CENTERPOINT ENERGY ESMT.
FILE NO. 2008022640 F.B.C.O.P.R.

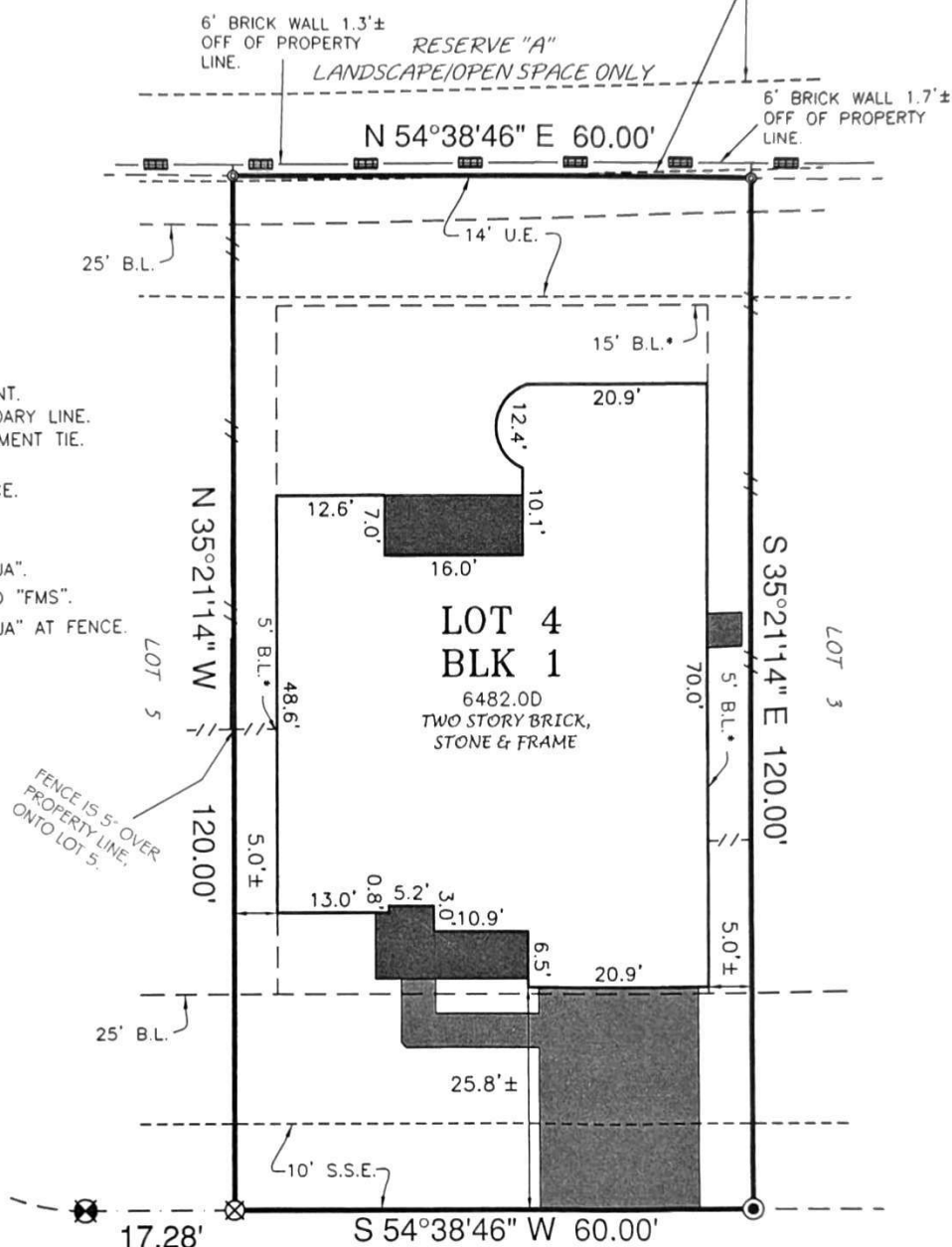


B.L. BUILDING LINE.
U.E. UTILITY EASEMENT.
S.S.E. SANITARY SEWER EASEMENT.
— — — — — SUBJECT BOUNDARY LINE.
— — — — — CONTROL MONUMENT TIE.
— [BRICK] — 6' BRICK WALL.
— // — 6' BOARD FENCE.

⊗ I.R. W/CAP FOUND STAMPED
"LJA" (CONTROL MONUMENT).
⊙ I.R. W/CAP FOUND STAMPED "LJA".
⊗ 5/8" I.R. W/ CAP SET STAMPED "FMS".
⊙ I.R. W/CAP FOUND STAMPED "LJA" AT FENCE.

 HOUSE ON SLAB.
 CONCRETE SLAB COVERED.
 CONCRETE UNCOVERED.

THIS SECTION 101 IS PROTECTED UNDER COPYRIGHT LAWS, TITLE 17 UNITED STATES CODE, SECTIONS 101 AND 102. ALL VIOLATORS WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW. THIS SURVEY IS BEING PROVIDED SOLELY FOR THE USE OF THE RECIPIENT NAMED AND NO LICENSE HAS BEEN CREATED. EXPRESS OR IMPLIED, TO COPY THE SURVEY EXCEPT AS IS, IS NECESSARY IN CONJUNCTION WITH ORIGINAL TRANSACTION, WHICH ALL TAKE PLACE WITHIN (30) DAYS FROM THE DATE SHOWN HEREON.



NITSHILL LANE
(50' R.O.W.)

LOT 4, BLOCK 1, OF ALIANA SECTION TWENTY-FOUR (24)
MAP RECORDED IN PLAT NO. 20130232 OF THE PLAT RECORDS,
FORT BEND COUNTY, TEXAS.

ADDRESS : 17114 NITSHILL LANE

TO : MILLENNIUM TITLE COMPANY (EXCLUSIVELY)

I HEREBY CERTIFY THAT THIS PLAT CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION ON THE GROUND, AND IN ACCORDANCE WITH THE INFORMATION PROVIDED TO ME, AND CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY.

SCOTT R. SHERIDAN
REGISTERED PROFESSIONAL LAND SURVEYOR, No. 6171

THIS LOT LIES WITHIN ZONE X AS SCALED ON FIRM
NUMBER 48157C0145L, EFFECTIVE APRIL 2, 2014. THIS
INFORMATION IS FOR FLOOD INSURANCE PURPOSES
ONLY AND IS NOT INTENDED TO IDENTIFY ANY SPECIFIC
FLOOD HAZARDS THAT MAY OR MAY NOT EXIST.

SEE ATTACHED ADDENDUM FOR ADDITIONAL STIPULATIONS

