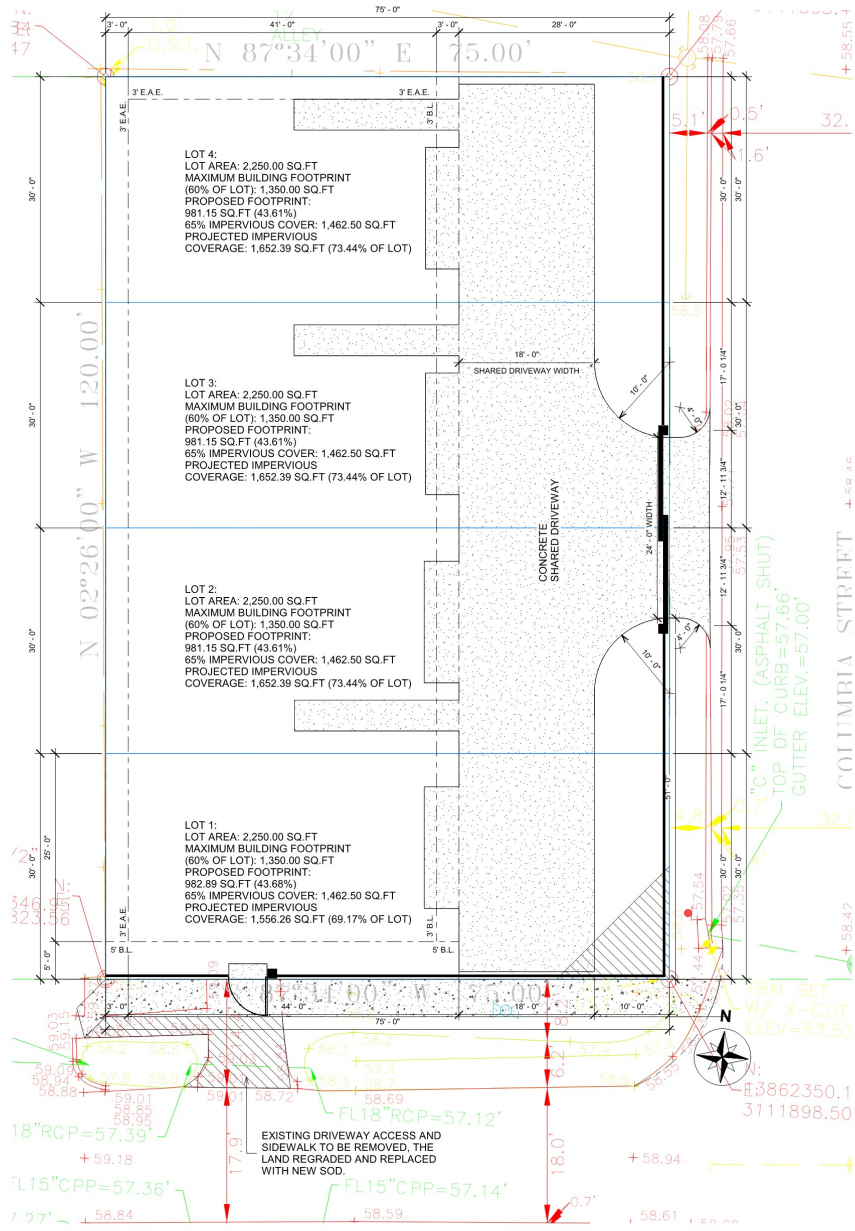




**1** SITE PLAN  
1/8" = 1'-0"

**GENERAL NOTES**

- ALL DRAWINGS HERE REFERENCES THE 2021 INTERNATIONAL RESIDENTIAL CODE (W/AMENDMENTS) AND THE 2021 INTERNATIONAL BUILDING CODE (W/AMENDMENTS).
- DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE, CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB.
  - ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWING.
  - ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM OF 5.7 SQ OF NET CLEAR.
  - ALL WINDOWS HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.
  - HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FIRST FLOOR LEVEL (AT THE STAIRWELL).
  - OPENINGS 0 OR 1 HOUR FIRE RATED EXTERIOR WALL, SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 3/4 HOUR, SEE IRC 2021.
  - PENETRATION INTO OUR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2021.
  - BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
  - PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (SECT. R308.4).
  - GLAZING IN TUB AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
  - GLAZING INSIDE HINGED DOORS EXCEPT JALOUSIES.
  - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
  - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
  - BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR.
  - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
  - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
  - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
  - ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2021 SECT. R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIFE LOAD.
  - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT.316.2).
  - EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FORM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".
  - ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL. U.O.N. ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2021 CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED.
  - A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW.
  - CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE), SEE IRC 2021 SECT. R1001.6.
  - CHIMNEY PIPE(S) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
  - PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2021 CHAPTER 10.
  - ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL.
  - DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.
  - FINISHED FLOOR ELEVATION IS TO BE A MINIMUM OF 12" ABOVE THE NEAREST SANITARY SEWER MANHOLE RIM.
  - PROPOSED DRIVEWAYS NEED TO BE OF CONSISTENT WIDTH WITHIN THE RIGHT OF WAY AND CAN TAPER OR FLARE INTO DESIRED WIDTH INSIDE THE PROPERTY LINE. THE DRIVEWAY WIDTH AND RADIUS IN THE RIGHT OF WAY MUST COMPLY WITH CHAPTER 15, TABLE 15.08.01. NO DRIVEWAY RADIUS SHALL ENCRACH ON ABUTTING PROPERTY OR CORNER RADIUS (COH ID# CHAPTER 15, SEC. 15.08.C-1 [a to g]).
  - ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO THE PROPERTY MUST BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER OR REGRADE THE OPEN DITCH WITH SOD/GRASS FOR POSITIVE DRAINAGE FLOW (BASED ON THE TYPE OF STREET).
  - MEMBRANE AND THROUGH PENETRATIONS ARE ONLY ALLOWED IF THE PENETRATING ITEM IS IRON, COPPER, STEEL OR AN APPROVED FIRECAULK IS USED TO FILL THE ANNULAR SPACE AROUND THE PENETRATION.

**LEGAL DESCRIPTION**

LOT(S):  
BLOCK: 1  
SUBDIVISION:  
COUNTY: HARRIS COUNTY, TEXAS

|                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| LOT 1:<br>Lot Area: 2,250.00 SQ.FT<br>Total Building Square Footage: 2,928.00 SQ.FT<br>Total Porch/Patio/Gazebo: 33.00 SQ.FT<br>Total Project Area: 2,961.00 SQ.FT<br>Maximum Footprint Allowed: 1,350.00 SQ.FT<br>Proposed Building Footprint: 972.00 SQ.FT<br>Driveways/Walkways: 584.31 SQ.FT<br>Total Impervious Surface: 1,556.31 SQ.FT<br>TOTAL IMPERVIOUS: 69.17% | LOTS 2, 3 & 4:<br>Lot Area: 2,250.00 SQ.FT<br>Total Building Square Footage: 2,980.00 SQ.FT<br>Total Porch/Patio/Gazebo: 33.00 SQ.FT<br>Total Project Area: 3,012.00 SQ.FT<br>Maximum Footprint Allowed: 1,350.00 SQ.FT<br>Proposed Building Footprint: 973.00 SQ.FT<br>Driveways/Walkways: 680.00 SQ.FT<br>Total Impervious Surface: 1,653.00 SQ.FT<br>TOTAL IMPERVIOUS: 73.47% |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                             |                                             |
|-------------------------------------------------------------|---------------------------------------------|
| CITY OF HOUSTON<br>HOUSTON PUBLIC WORKS                     |                                             |
| STREET PAVING AND SIDEWALK<br>02754-01B THROUGH 02754-02    |                                             |
| APPROVED BY:<br>[Signature]<br>CITY ENGINEER                | APPROVED BY:<br>[Signature]<br>SPOT CHECKER |
| EFFECTIVE DATE: JUL-01-2025<br>FOR CITY OF HOUSTON USE ONLY |                                             |
| SHEET NO.                                                   |                                             |



info@bingenioudesigns.com  
832-978-5179



5/13/2026

**34th/COLUMBIA HOMES**

421 E. 34TH ST.  
HOUSTON, TX 77018

| NO.                                                                                                                                                                                                                                                                                                                                                                                                              | DESCRIPTION | DATE |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|------|
| REVISION SCHEDULE                                                                                                                                                                                                                                                                                                                                                                                                |             |      |
| DO NOT SCALE DRAWINGS.<br>CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGNER OF ANY DISCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.<br>THIS PLAN IS COPYRIGHT PROTECTED AND THE SOLE PROPERTY OF B INGENIOUS DESIGNS LLC. ANY UNAUTHORIZED COPIES OR DISTRIBUTION IS A VIOLATION OF FEDERAL COPYRIGHT LAW AND SUBJECT TO PROSECUTION UNDER THE GUIDELINES OF THE FEDERAL COPYRIGHT ACT. |             |      |

**SITE PLAN**

|                |                       |
|----------------|-----------------------|
| Project Number | Project Number        |
| Date           | 5/29/2026 11:57:04 AM |
| Drawn by       | Author                |
| Checked by     | Checker               |

**C100.1**

Scale 1/8" = 1'-0"