

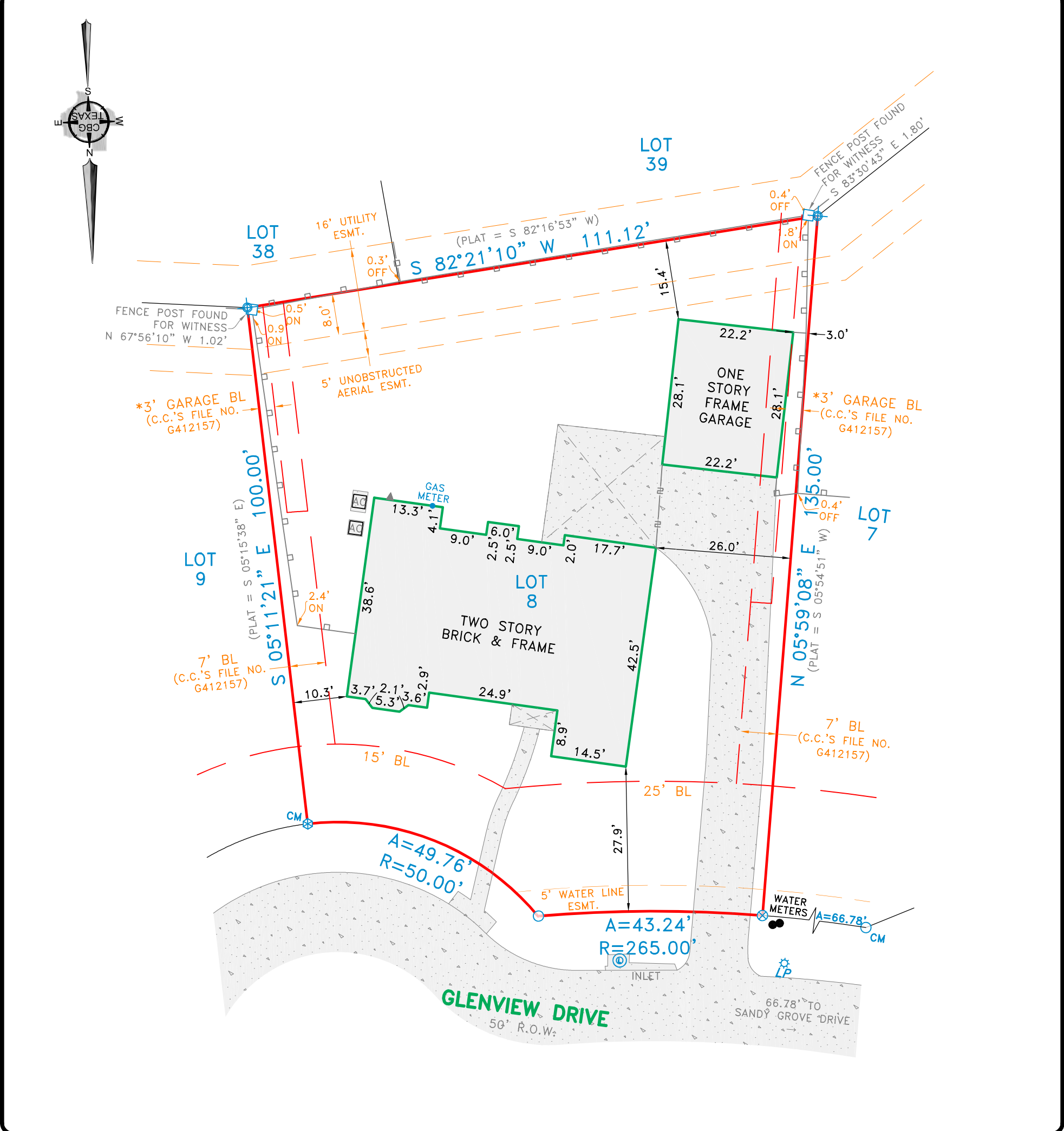
5406 Glenview Drive

Lot 8, Block 6, of Corrected Plat of FOSTERS MILL VILLAGE SECTION ONE, a subdivision in Harris County, Texas, according to the map or plat thereof, recorded in Volume 294, Page 52 of the Map Records of Harris County, Texas.

Texas American
TITLE COMPANY



LEGEND	
○ 1/2" ROD FOUND	● POINT FOR CORNER
⊗ 1/2" ROD SET	□ FENCE POST FOUND /FOR WITNESS
⊠ 1/2" PIPE FOUND	CM CONTROLLING MONUMENT
⊗ "X" FOUND/SET	AC AIR CONDITIONER
⊗ 5/8" ROD FOUND	PE POOL EQUIPMENT
● FIRE HYDRANT	TE TRANSFORMER PAD
LP LIGHT POLE	● COLUMN
● POWER POLE	● TELE TELEPHONE PEDESTAL
▲ UNDERGROUND ELECTRIC	△ OVERHEAD ELECTRIC
BL BUILDING LINE	GM GAS METER
WM WATER METER	— OHP OVERHEAD ELECTRIC POWER
— OES OVERHEAD ELECTRIC SERVICE	□ DOUBLE SIDED WOOD FENCE
□ WOOD FENCE 0.5' WIDE TYPICAL	○ CHAIN LINK
□ IRON FENCE	× BARBED WIRE
/// PIPE FENCE	— EDGE OF ASPHALT
— EDGE OF GRAVEL	— COVERED AREA
— CONCRETE	— BRICK
— WOOD DECK	— TILE



EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN VOL. 294, PG. 52, C.C.'S FILE NO(S). G412157, G412158, G412159, G878082, G878083, W401948, 20090500918, 20100155775, 20120032544, 20120042031, 20130530300, 20140024746, 20140031076, RP-2016-190025, RP-2022-64357, RP-2022-64474 & RP-2023-37010

*A DETACHED GARAGE OR OTHER PERMITTED ACCESSORY BUILDING LOCATED 60' OR MORE FROM FRONT LOT LINE MAY NOT BE LOCATED LESS THAN 3' FROM ANY INTERIOR LOT LINE, PER C.C.'S FILE NO. G412157

NOTE: BEARINGS SHOWN ARE BASED ON NAD 83 TEXAS SOUTH CENTRAL ZONE

Date: _____ Accepted by: _____
Purchaser _____
Purchaser _____

NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
FLOOD NOTE: According to the F.I.R.M. No. 48201C0320L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by Texas American Title Company. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions are as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: EGR
Scale: 1" = 20'
Date: 04/01/2026
GF No.: 2763526-01698
Job No.: 16806

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