



Stucco Pro Inspections, LLC
713-903-1240
www.stuccoproinspections.com

Moisture Inspection Report



Inspected for
Adam Garst
2135 Quenby St
Houston, TX 77005
1/2/2026



1. INTRODUCTION

1.1 PURPOSE: The purpose of this inspection is to help assess the condition of the stucco system by looking for visible installation flaws, inadequate water diversion, and sealant failures. In addition, we will conduct random moisture readings using electronic moisture scan devices. Please note that the provision of a scope of work for remedial repairs is not the purpose of this inspection. Further investigation may be needed to determine the extent of water damage, if any, and how best to modify your home to address any moisture problems that may be indicated by this inspection. It is suggested to thoroughly read the inspection report and understand all items mentioned throughout. If you have any questions or are unclear regarding the report findings; please feel free to call our office for consultation.

1.2 SCOPE OF INSPECTION: This is a basic, stucco inspection limited to the following:

- A visual examination of the condition of the stucco, exterior sealants, flashing, windows, doors, roof-to-stucco transitions, parapets, gutters, deck-to-building connections, stucco terminations and any penetrations through the stucco.
- Conducting of *random* electronic moisture scanning of the building envelope.
- Preparing a report of our observations of potential problem areas and recording any high readings found.
- Providing detailed information on typical moisture-related problems in stucco structures to assist you in maintaining the value of your home.
- An inspection addresses only those components and conditions that are present, visible, and accessible at the time of the inspection

1.3 LIMITATIONS OF LIABILITY: Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.

1.4 FURTHER TESTING / INVESTIGATION: Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of the structure has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the observations sections of the report.

1.5 REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS: A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining the structure on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell the property, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your property has been inspected and maintained on a regular basis by a reputable and qualified firm.

TREC NOTICE: This report was prepared for our client named on page two of this report in accordance with the client's requirements. This report addresses the stucco cladding system only and is not intended as a substitute for a complete standard inspection of the property. Standard inspections performed by a Texas Real Estate Commission licensee and reported on Texas Real Estate Commission "TREC" promulgated report forms may contain additional information a buyer should consider in making a decision to purchase.



Inspection Information

Property Address: 2135 Quenby St , Houston TX 77005			
Property Information		Inspection Information	
Client's Name	Adam Garst	Inspection Type	Invasive Moisture Inspection
Client's Phone	281-610-1296	Date of Inspection	1/2/2026
Client's Email	garstadam@gmail.com	Inspector	Tony Trinidad EDI #TX-192
Type of Exterior	Hard Coat Stucco	Present at Inspection	Buyer(s), Buyer's realtor(s), Home Inspector
Substrate (if known)	Wood	Temperature	70-80 degrees
Property Age	46	Weather Conditions	Clear, Dry
Square Footage	4079	Last Known Rainfall	2-5 days
Stories	3		
Type of Windows	Metal		

Inspection Test Equipment			
Inspection Equipment	Test Range		
Invasive Inspection: Delmhorst Moisture Meter Probe BD-2100	<14.9%	15-19.9%	>20%
Non-Invasive Inspection: Extech M055 Dual Moisture Meter	<16.9%	17-29.9%	30-99.9%

Moisture Testing Pages: "Test Location" identifiers *are* color-coded to assist with moisture mapping and provide a visual for moisture levels or suspected substrate damage at specific locations.

Deficiency Pages: "Identifiers" will be various shapes or icons to help provide a visual for where various deficiencies may exist. These identifiers *are not* color-coded. The colors used for these identifiers *do not* have any relation to the severity or urgency of a deficiency, issue, error, or recommendation.

Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. This information is then used to help determine potential problem areas which may warrant more investigation.

Visual Observations

<i>Red=Deficient/Incorrect</i>	<i>U/D = Unable to determine</i>	<i>N/A = Not applicable</i>	Yes	No	U/D	N/A
1. Have sealants been applied at all required locations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. Are there areas of sealant in need of repair / replacement?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Are sealant joints present between stucco and dissimilar materials?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4. Are diverter flashing details installed at required locations?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Are balcony flashing details properly installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Are window and door flashing details properly installed?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Have head / drip cap flashing been sealed at windows or doors?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Are the chimney flashing details properly installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
9. Has a chimney cricket been installed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. Does the system terminate at least 2 inches above flatwork?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
11. Does the system terminate at least 4 inches above grade?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
12. Does the system terminate at least 2 inches above roofing?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13. Are there any areas of cracking?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
14. Are there any areas of impact damage?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
15. Are the exterior fixtures installed properly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Are flat surfaces present at stucco walls without cap flashing?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Are the gutter down spouts installed properly?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18. Is there clearance between the exterior wall and vegetation / foliage?	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19. Is there visible evidence of sprinkler heads spraying onto the exterior walls? If yes, sprinkler heads should be adjusted away from walls.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20. Are stucco or EPS bands sloped? (Accents should be sloped to shed water)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Paint / Finish Condition	Good <input type="checkbox"/>	Fair <input checked="" type="checkbox"/>	Poor <input type="checkbox"/>	N/A <input type="checkbox"/>
<p>Paint conditions are assessed by identifying chalking, flaking, peeling, cracking, visible stucco, staining and other potential signs of damage or aging. The paint condition selected is in the opinion of the inspector. Some of these signs may be addressed further in the report and provide greater detail.</p>				

Front Side of Structure

Moisture Testing (1)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	<15%	Firm	
B	<15%	Firm	Corner cracks needing repair present.
C	<15%	Firm	
D	<15%	Firm	Diverter flashing not installed at balcony intersection.
E	<15%	Firm	
F	<15%	Firm	
G	<15%	Firm	
H	<15%	Firm	Diverter flashing not installed at balcony intersection.
I	<15%	Firm	
J	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Corner cracks needing repair present.
K	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
Green Line	N/A	Physical Touch	The inspector was able to confirm firm substrate by physical touch at weep screed opening.

Front Side of Structure

Deficiencies (1)



Identifier	Comments
Blue Arrows and Lines	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Yellow Arrows	Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.
Red Arrow	Rust: Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.
Green Arrows	Balcony Diverter Flashing Missing: Diverter flashing has not been installed at the wall and balcony intersections. Diverter flashing helps to prevent moisture intrusion and allow water to properly drain away from the wall. It is recommended to install diverter flashing when elevated moisture or damage is discovered as a result of the missing flashing. Installation typically requires removal of all waterproofing/tiles so the flashing can be installed over the wood or appropriate membrane. Retrofitting flashing is not a recommended repair.

Front Side of Structure Photo Observations (1)

1 - 1: Moisture Intrusion: Areas of elevated moisture and / or possible substrate / framing damage was found at the following locations as reported on the "Moisture Testing" page:

1. Test Locations J, K

Elevated Moisture - Refer to the *Moisture Testing page for the moisture readings at each test location*. If elevated moisture readings are found during the inspection, this can indicate that active water penetrations exist near the area. Water intrusion can occur from voids at penetrations, cracks, improper installation, improper clearance, missing flashing details, and any other items that may be listed on this report. It is recommended that any areas with the potential for leaks to occur, as stated in this report, are addressed and repaired by a qualified stucco contractor.

Soft or Missing Substrate - Refer to the *Moisture Testing page for the condition of the substrate at each test location*. If the substrate is not firm when inserting the moisture meter probes, this can indicate possible wood rot / damage due to previous or active water penetrations in the area near the probed location.

Repair Process: It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed. Core sampling or inspection holes should be performed by your contractor to confirm any suspected substrate and / or framing damage found by the inspector. Test locations are not representative of the total area of suspected damage, but provide information on general areas where repairs may be needed. Typical repairs to remedy soft or missing substrate include doing a partial tear-off of the stucco around the location until clean dry substrate is found and repairing as needed. During repairs, the total area any underlying damage should be determined by your contractor. It is important to thoroughly review and understand the scope of work in the repair proposal provided by your contractor. In addition, it is recommended to discuss the potential for "Change Orders" that may occur once work begins.

1- 1.1 Example of dark / discolored wood on probe, indication of wood rot



1- 1.2 Test Location J - Soft substrate encountered



1- 1.3 Test Location K - Soft substrate encountered



1 - 2: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

1- 2.1 Privacy wall pulling away from structure, reattach wall and seal.



1- 2.2



1- 2.3 Seal all lights



1- 2.4



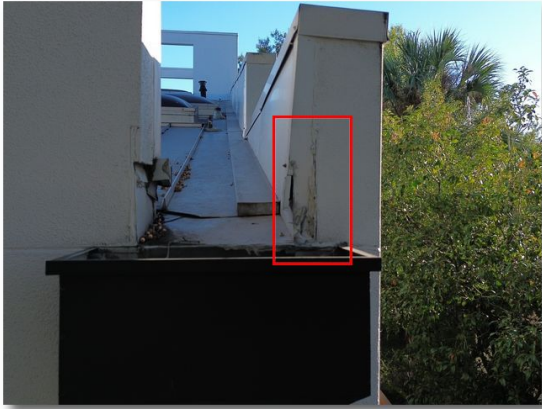
1- 2.5 Seal windows



1- 2.6 Seal top mount fasteners on balcony



1- 2.7 Seal scupper drain



1- 2.8 Seal scupper drain



1 - 3: **Cracks Present:** Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.

1- 3.1 Corner cracks



1- 3.2



1- 3.2



1- 3.4



1- 3.5



1- 3.6



1- 3.7



1- 3.8



1 - 4: **Rust:** Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

1- 4.1



1- 4.2



1 - 5: Balcony Diverter Flashing Missing: Diverter flashing has not been installed at the wall and balcony intersections. Diverter flashing helps to prevent moisture intrusion and allow water to properly drain away from the wall. It is recommended to install diverter flashing when elevated moisture or damage is discovered as a result of the missing flashing. Installation typically requires removal of all waterproofing/tiles so the flashing can be installed over the wood or appropriate membrane. **Retrofitting flashing is not a recommended repair.**



1- 5.1



1- 5.2



Right Side of Structure Moisture Testing (2)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	<15%	Firm	Reading taken below window.
B	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Reading taken below window.
C	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Reading taken at roof / wall intersection.
D	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Reading taken mid wall.
E	<15%	Firm	
F	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Reading taken below window.
G	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Drainage relief not present.
H	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Drainage relief not present.
I	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
J	<15%	Firm	
K	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Corner cracks needing repair present.
L	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Corner cracks needing repair present.
M	<15%	Firm	Diverter flashing not installed at balcony intersection.
N	<15%	Firm	
O	15-19%	Firm	Dark stains present at drainage relief.
P	15-19%	Firm	Dark stains present at drainage relief.

Right Side of Structure Deficiencies (2)



Identifier	Comments
Blue Arrows	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Yellow Arrows	Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.
Red Arrows and Lines	Missing Drainage Openings: Drainage openings are not installed at the stucco walls / soffit. Drainage openings assist with allowing incidental moisture to escape. Incidental moisture can become trapped in these enclosed areas, sometimes referred to as a "stucco bucket". This trapped moisture can lead to wood rot at the substrate and framing. If elevated moisture or possible substrate / framing damage was found, a drainage opening should be installed during repairs.
Pink Arrow and Lines	Rust: Rust was observed at these locations. It is recommended these areas are repaired to prevent further rust / damage from occurring.
Red Dot	Damaged Substrate at Bottom of Wall: Damaged substrate was observed at the bottom of the wall by physically touching the substrate from behind the weep screed. It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed.

Right Side of Structure Photo Observations (2)

2 - 1: Moisture Intrusion: Areas of elevated moisture and / or possible substrate / framing damage was found at the following locations as reported on the "Moisture Testing" page:

1. Test Locations B, C, D, F, G, H, I, K, L

Elevated Moisture - *Refer to the Moisture Testing page for the moisture readings at each test location.* If elevated moisture readings are found during the inspection, this can indicate that active water penetrations exist near the area. Water intrusion can occur from voids at penetrations, cracks, improper installation, improper clearance, missing flashing details, and any other items that may be listed on this report. It is recommended that any areas with the potential for leaks to occur, as stated in this report, are addressed and repaired by a qualified stucco contractor.

Soft or Missing Substrate - *Refer to the Moisture Testing page for the condition of the substrate at each test location.* If the substrate is not firm when inserting the moisture meter probes, this can indicate possible wood rot / damage due to previous or active water penetrations in the area near the probed location.

Repair Process: It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed. Core sampling or inspection holes should be performed by your contractor to confirm any suspected substrate and / or framing damage found by the inspector. Test locations are not representative of the total area of suspected damage, but provide information on general areas where repairs may be needed. Typical repairs to remedy soft or missing substrate include doing a partial tear-off of the stucco around the location until clean dry substrate is found and repairing as needed. During repairs, the total area any underlying damage should be determined by your contractor. It is important to thoroughly review and understand the scope of work in the repair proposal provided by your contractor. In addition, it is recommended to discuss the potential for "Change Orders" that may occur once work begins.

2- 1.1 Example of dark / discolored wood on probe, indication of wood rot



2- 1.2 Test Location B - Soft substrate encountered



2- 1.3 Test Location C - Soft substrate encountered



2- 1.4 Test Location D - Soft substrate encountered



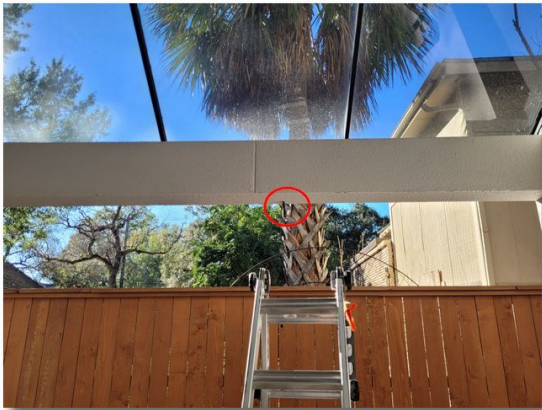
2- 1.5 Test Location F - Soft substrate encountered



2- 1.6 Test Location G - Soft substrate encountered



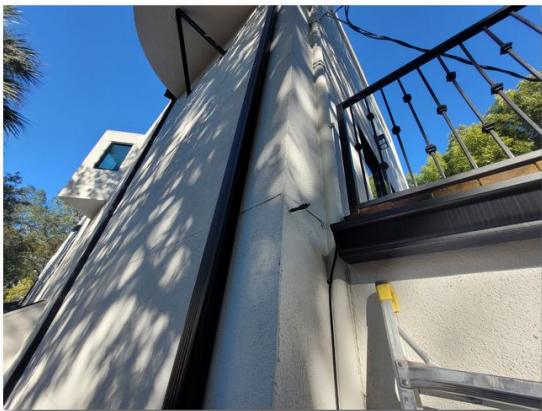
2- 1.7 Test Location H - Soft substrate encountered



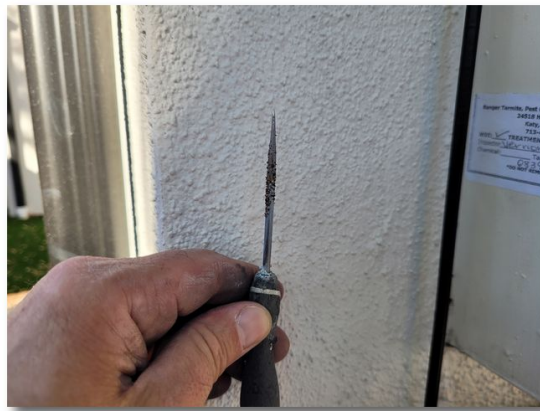
2- 1.8 Test Location I - Soft substrate encountered



2- 1.9 Test Location K - Soft substrate encountered



2- 1.10 Test Location L - Soft substrate encountered



2- 1.11 Dark stains present at drainage relief.



2- 1.12



2 - 2: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

2- 2.1 Seal windows



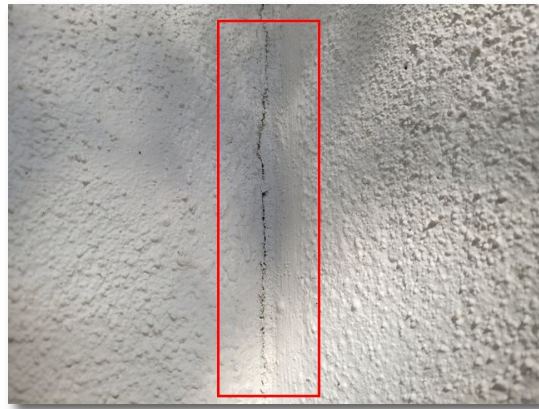
2- 2.2 Seal lights



2- 2.3



2- 2.4 Seal transition



2- 2.5



2- 2.6 Seal outlet



2- 2.7 Seal roof / wall intersections

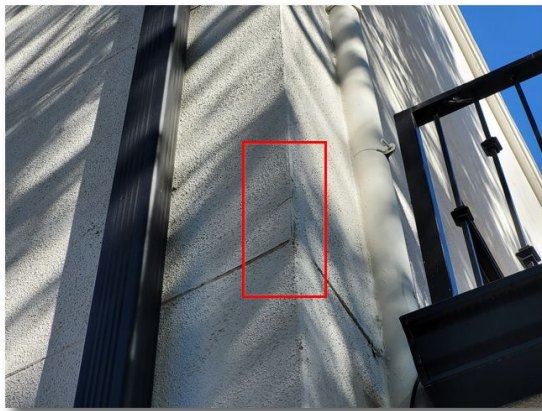


2- 2.8

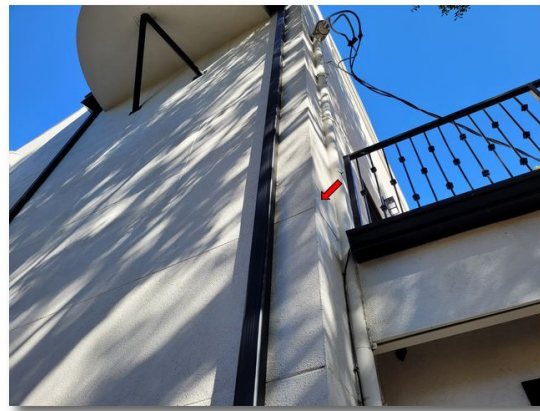


2 - 3: Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.

2- 3.1 Corner crack



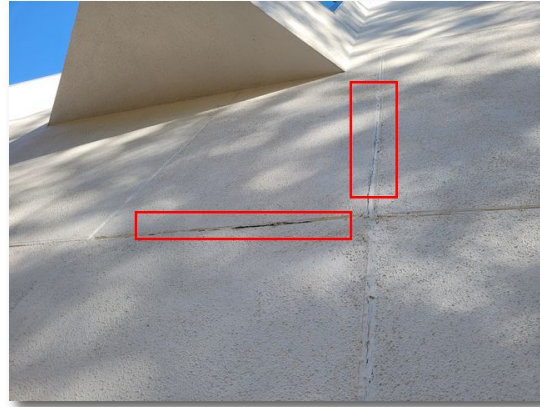
2- 3.2



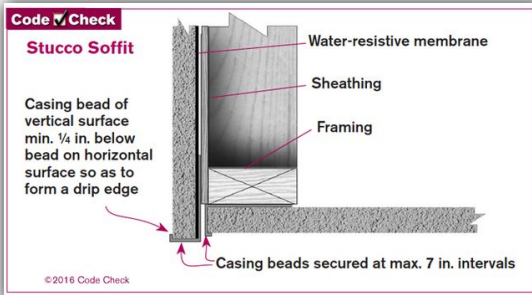
2- 3.3 Control joint crack



2- 3.4



2 - 4: Missing Drainage Openings: Drainage openings are not installed at the stucco walls / soffit. Drainage openings assist with allowing incidental moisture to escape. Incidental moisture can become trapped in these enclosed areas, sometimes referred to as a "stucco bucket". This trapped moisture can lead to wood rot at the substrate and framing. **If** elevated moisture or possible substrate / framing damage was found, a drainage opening should be installed during repairs.



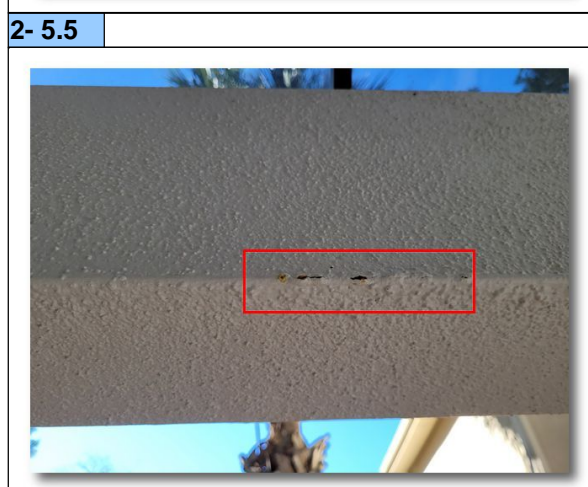
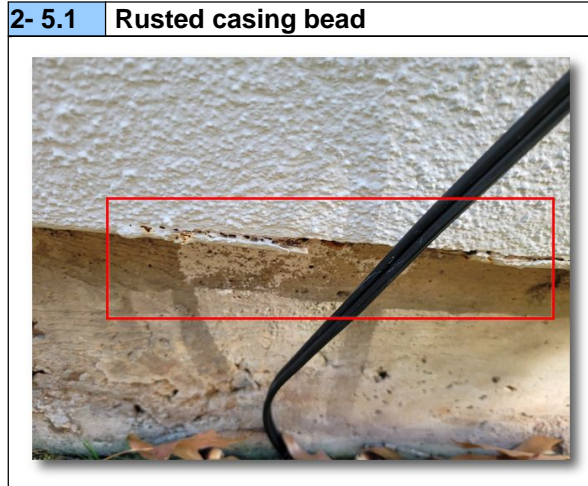
2- 4.1



2- 4.2



2 - 5: **Rust:** Rust was observed at these locations. It is recommended these areas are repaired to prevent further rust / damage from occurring.

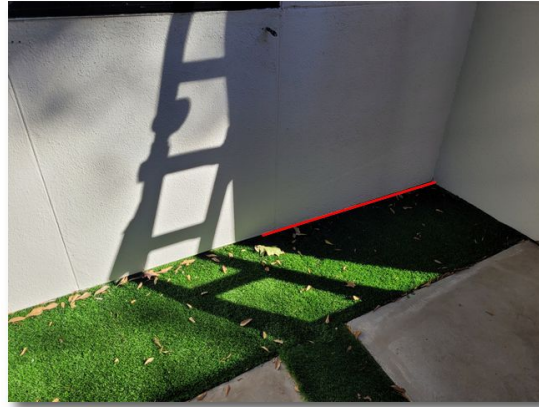


2 - 6: Damaged Substrate at Bottom of Wall: Damaged substrate was observed at the bottom of the wall by physically touching the substrate from behind the weep screed. It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed.

2- 6.1 Damaged substrate from behind the casing bead.



2- 6.2



Rear Side of Structure Moisture Testing (3)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	<15%	Firm	
B	<15%	Firm	Drainage relief obstructed with metal beam.
C	<15%	Firm	Drainage relief obstructed with metal beam.
D	<15%	Firm	
E	<15%	Firm	Cap flashing not installed at flat / low slope surface.
F	<15%	Firm	Cap flashing not installed at flat / low slope surface.

Rear Side of Structure Deficiencies (3)



Identifier	Comments
Blue Arrows	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Yellow Arrow	Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.
Green Arrows	Balcony Diverter Flashing Missing: Diverter flashing has not been installed at the wall and balcony intersections. Diverter flashing helps to prevent moisture intrusion and allow water to properly drain away from the wall. It is recommended to install diverter flashing when elevated moisture or damage is discovered as a result of the missing flashing. Installation typically requires removal of all waterproofing/tiles so the flashing can be installed over the wood or appropriate membrane. <i>Retrofitting flashing is not a recommended repair.</i>
Red Line	Drainage Relief Obstructed: The drainage relief has been obstructed with a metal beam at the stucco walls / soffit. Drainage openings assist with allowing incidental moisture to escape. Incidental moisture can become trapped in these enclosed areas, sometimes referred to as a "stucco bucket". This trapped moisture can lead to wood rot at the substrate and framing. Removal of the beam is recommended.

Rear Side of Structure Photo Observations (3)

3 - 1: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

3- 1.1 Seal light



3- 1.2



3- 1.3 Seal lights



3- 1.4 Seal void at top left corner of garage



3- 1.5

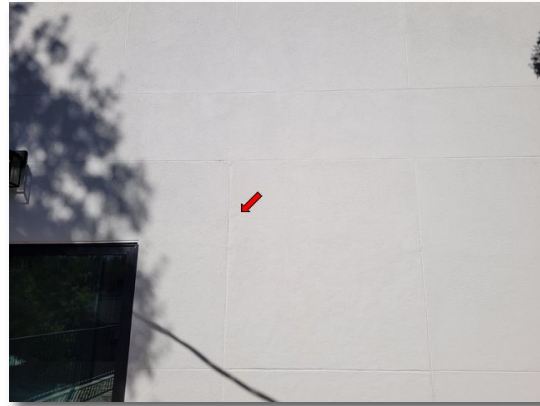


3 - 2: Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.

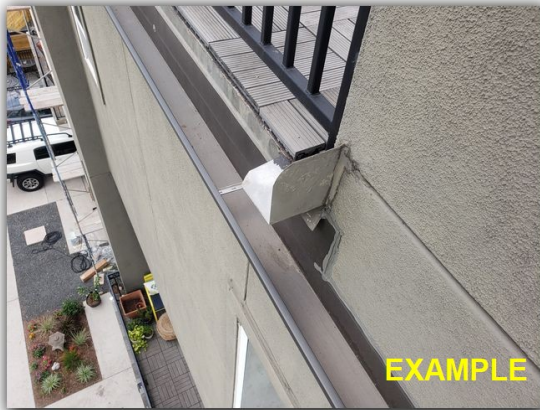
3- 2.1



3- 2.2



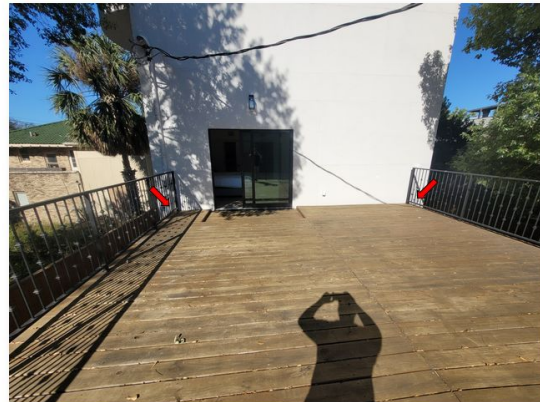
3 - 3: Balcony Diverter Flashing Missing: Diverter flashing has not been installed at the wall and balcony intersections. Diverter flashing helps to prevent moisture intrusion and allow water to properly drain away from the wall. It is recommended to install diverter flashing when elevated moisture or damage is discovered as a result of the missing flashing. Installation typically requires removal of all waterproofing/tiles so the flashing can be installed over the wood or appropriate membrane. *Retrofitting flashing is not a recommended repair.*



3- 3.1



3- 3.2



3 - 4: Drainage Relief Obstructed: The drainage relief has been obstructed with a metal beam at the stucco walls / soffit. Drainage openings assist with allowing incidental moisture to escape. Incidental moisture can become trapped in these enclosed areas, sometimes referred to as a "stucco bucket". This trapped moisture can lead to wood rot at the substrate and framing. Removal of the beam is recommended.

3- 4.1



3- 4.2



Left Side of Structure - 1

Moisture Testing (4)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	<15%	Firm	
B	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Corner cracks needing repair present.
C	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Corner cracks needing repair present.
D	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Diverter flashing not installed at balcony intersection.
E	<15%	Firm	
F	<15%	Firm	
G	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
H	<15%	Firm	

Left Side of Structure - 1

Deficiencies (4)



Identifier	Comments
Blue Arrows and Lines	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Yellow Arrows	Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.
Red Arrow	Rust: Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

Left Side of Structure - 1 Photo Observations (4)

4 - 1: Moisture Intrusion: Areas of elevated moisture and / or possible substrate / framing damage was found at the following locations as reported on the "Moisture Testing" page:

1. Test Locations B, C, D, G

Elevated Moisture - Refer to the *Moisture Testing* page for the moisture readings at each test location. If elevated moisture readings are found during the inspection, this can indicate that active water penetrations exist near the area. Water intrusion can occur from voids at penetrations, cracks, improper installation, improper clearance, missing flashing details, and any other items that may be listed on this report. It is recommended that any areas with the potential for leaks to occur, as stated in this report, are addressed and repaired by a qualified stucco contractor.

Soft or Missing Substrate - Refer to the *Moisture Testing* page for the condition of the substrate at each test location. If the substrate is not firm when inserting the moisture meter probes, this can indicate possible wood rot / damage due to previous or active water penetrations in the area near the probed location.

Repair Process: It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed. Core sampling or inspection holes should be performed by your contractor to confirm any suspected substrate and / or framing damage found by the inspector. Test locations are not representative of the total area of suspected damage, but provide information on general areas where repairs may be needed. Typical repairs to remedy soft or missing substrate include doing a partial tear-off of the stucco around the location until clean dry substrate is found and repairing as needed. During repairs, the total area any underlying damage should be determined by your contractor. It is important to thoroughly review and understand the scope of work in the repair proposal provided by your contractor. In addition, it is recommended to discuss the potential for "Change Orders" that may occur once work begins.

4- 1.1 Example of dark / discolored wood on probe, indication of wood rot



4- 1.2 Test Location B - Soft substrate encountered



4- 1.3 Test Location C - Soft substrate encountered



4- 1.4 Test Location D - Soft substrate encountered



4- 1.5 Test Location G - Soft substrate encountered



4 - 2: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

4- 2.1 Seal roof / wall intersection



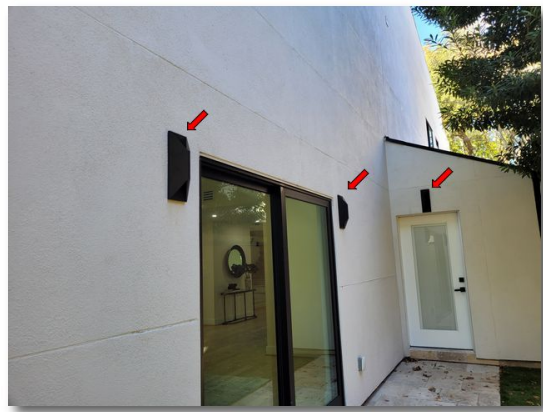
4- 2.3 Seal lights



4- 2.2



4- 2.4



4- 2.5 Seal door frame



4- 2.6



4- 2.7 Seal roof / wall intersection



4- 2.8



4 - 3: Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.

4- 3.1



4- 3.2



4- 3.3



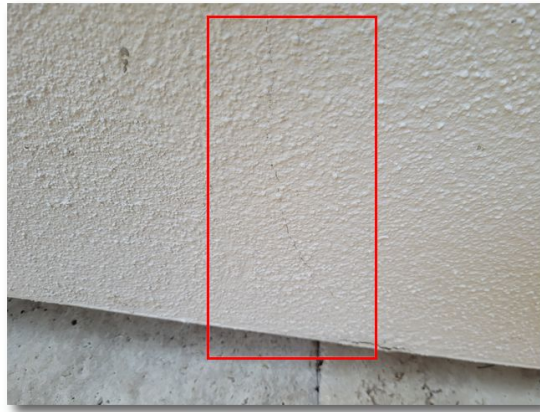
4- 3.4 Corner crack



4- 3.5



4- 3.6



4- 3.7



4- 3.8 Control joint crack

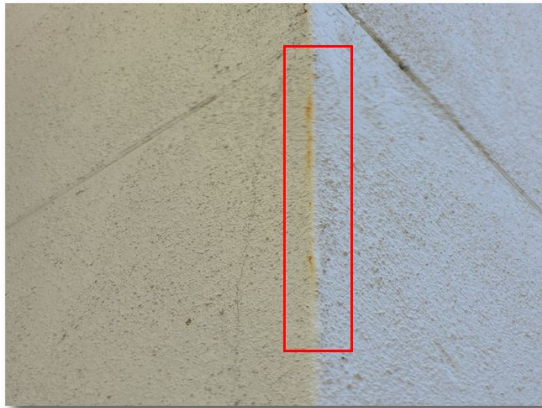


4- 3.9



4 - 4: **Rust:** Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

4- 4.1

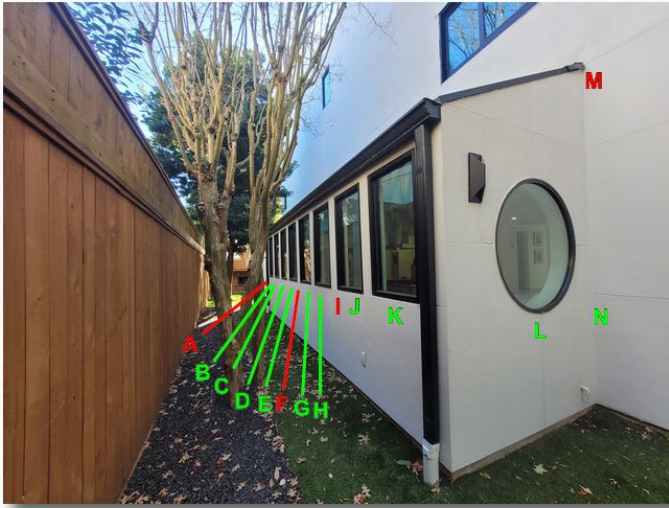


4- 4.2



Left Side of Structure - 2

Moisture Testing (5)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
B	<15%	Firm	
C	<15%	Firm	
D	<15%	Firm	
E	<15%	Firm	
F	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
G	<15%	Firm	
H	<15%	Firm	
I	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
J	<15%	Firm	
K	<15%	Firm	
L	<15%	Firm	
M	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
N	<15%	Firm	
O	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot.
P	<15%	Firm	
Q	<15%	Firm	
R	<15%	Firm	
S	<15%	Firm	
T	<15%	Firm	

Left Side of Structure - 2

Deficiencies (5)



Identifier	Comments
Blue Arrows	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Red Line	Rust: Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.
Red Dot	Damaged Substrate at Bottom of Wall: Damaged substrate was observed at the bottom of the wall by physically touching the substrate from behind the weep screed. It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed.

Left Side of Structure - 2 Photo Observations (5)

5 - 1: Moisture Intrusion: Areas of elevated moisture and / or possible substrate / framing damage was found at the following locations as reported on the "Moisture Testing" page:

1. Test Locations A, F, I, M, O

Elevated Moisture - Refer to the *Moisture Testing* page for the moisture readings at each test location. If elevated moisture readings are found during the inspection, this can indicate that active water penetrations exist near the area. Water intrusion can occur from voids at penetrations, cracks, improper installation, improper clearance, missing flashing details, and any other items that may be listed on this report. It is recommended that any areas with the potential for leaks to occur, as stated in this report, are addressed and repaired by a qualified stucco contractor.

Soft or Missing Substrate - Refer to the *Moisture Testing* page for the condition of the substrate at each test location. If the substrate is not firm when inserting the moisture meter probes, this can indicate possible wood rot / damage due to previous or active water penetrations in the area near the probed location.

Repair Process: It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed. Core sampling or inspection holes should be performed by your contractor to confirm any suspected substrate and / or framing damage found by the inspector. Test locations are not representative of the total area of suspected damage, but provide information on general areas where repairs may be needed. Typical repairs to remedy soft or missing substrate include doing a partial tear-off of the stucco around the location until clean dry substrate is found and repairing as needed. During repairs, the total area any underlying damage should be determined by your contractor. It is important to thoroughly review and understand the scope of work in the repair proposal provided by your contractor. In addition, it is recommended to discuss the potential for "Change Orders" that may occur once work begins.

5- 1.1 Example of dark / discolored wood on probe, indication of wood rot



5- 1.2 Test Location A - Soft substrate encountered



5- 1.3 Test Location F - Soft substrate encountered



5- 1.4 Test Location I - Soft substrate encountered



5- 1.5 Test Location M - Soft substrate encountered



5- 1.6 Test Location O - Soft substrate encountered



5 - 2: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

5- 2.1 Seal lights



5- 2.2 Seal lights



5- 2.3



5- 2.4 Seal roof / wall intersection



5- 2.5



5 - 3: **Rust:** Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

5- 3.1 **Rusted casing bead**



5- 3.2



5 - 4: Damaged Substrate at Bottom of Wall: Damaged substrate was observed at the bottom of the wall by physically touching the substrate from behind the weep screed. It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed.

5- 4.1 Damaged substrate from behind the casing bead



5- 4.2



5- 4.3



Rooftop Terrace

Moisture Testing (6)



Test Location	Moisture Content	Substrate Condition	Additional comments
A	<15%	Firm	
B	<15%	Firm	
C	<15%	Firm	
D	<15%	Firm	Cap flashing not installed at flat / low slope surface.
E	<15%	Firm	Cap flashing not installed at flat / low slope surface.
F	<15%	Firm	Cap flashing not installed at flat / low slope surface.
G	<15%	Firm	Cap flashing not installed at flat / low slope surface.
H	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Cap flashing not installed at flat / low slope surface.
I	15-19%	Firm	Cap flashing not installed at flat / low slope surface. Drainage relief not present.
J	15-19%	Firm	Cap flashing not installed at flat / low slope surface. Drainage relief not present.
K	<15%	Firm	Cap flashing not installed at flat / low slope surface.
L	N/A	Soft	Soft substrate was observed when drilling/probing. This is an indication of moisture damage / wood rot. Cap flashing not installed at flat / low slope surface.

Rooftop Terrace

Deficiencies (6)



Identifier	Comments
Blue Arrows	Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.
Yellow Arrow	Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.
Green Lines	Flat Surfaces Without Cap Flashing: Flat / low slope surfaces were observed at the stucco walls. Flat / low slope surfaces are more prone to cracking, standing water, and moisture intrusion, leading to wood rot of the sheathing and framing within the wall cavity. Recommend installing cap flashing or other waterproofing methods to prevent damages from occurring. <i>Cap flashing should be installed with fasteners on the sides, not through the top surface.</i>
Red Arrow	Rust: Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

Rooftop Terrace Photo Observations (6)

6 - 1: Moisture Intrusion: Areas of elevated moisture and / or possible substrate / framing damage was found at the following locations as reported on the "Moisture Testing" page:

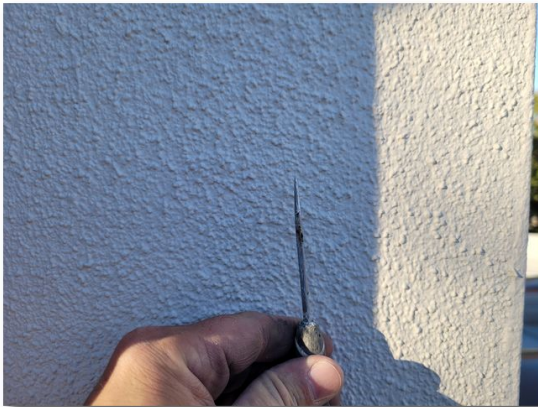
1. Test Locations H, L

Elevated Moisture - Refer to the *Moisture Testing* page for the moisture readings at each test location. If elevated moisture readings are found during the inspection, this can indicate that active water penetrations exist near the area. Water intrusion can occur from voids at penetrations, cracks, improper installation, improper clearance, missing flashing details, and any other items that may be listed on this report. It is recommended that any areas with the potential for leaks to occur, as stated in this report, are addressed and repaired by a qualified stucco contractor.

Soft or Missing Substrate - Refer to the *Moisture Testing* page for the condition of the substrate at each test location. If the substrate is not firm when inserting the moisture meter probes, this can indicate possible wood rot / damage due to previous or active water penetrations in the area near the probed location.

Repair Process: It is recommended that these areas be further assessed and repaired by a qualified stucco contractor, as needed. Core sampling or inspection holes should be performed by your contractor to confirm any suspected substrate and / or framing damage found by the inspector. Test locations are not representative of the total area of suspected damage, but provide information on general areas where repairs may be needed. Typical repairs to remedy soft or missing substrate include doing a partial tear-off of the stucco around the location until clean dry substrate is found and repairing as needed. During repairs, the total area any underlying damage should be determined by your contractor. It is important to thoroughly review and understand the scope of work in the repair proposal provided by your contractor. In addition, it is recommended to discuss the potential for "Change Orders" that may occur once work begins.

6- 1.1 Example of dark / discolored wood on probe, indication of wood rot



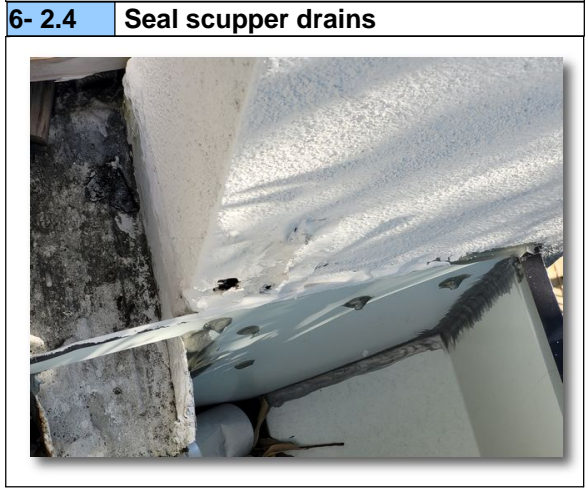
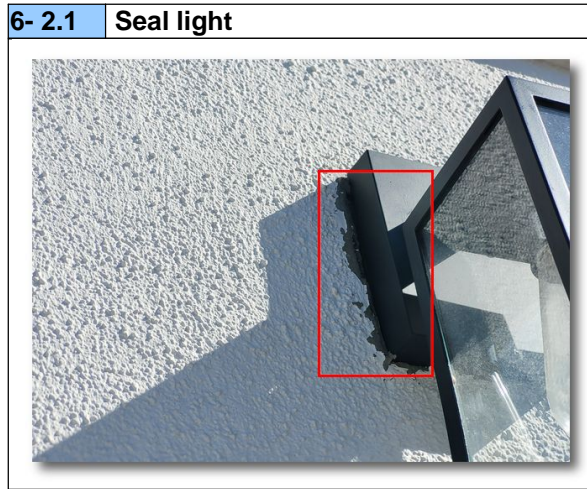
6- 1.2 Test Location H - Soft substrate encountered



6- 1.3 Test Location L - Soft substrate encountered



6 - 2: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

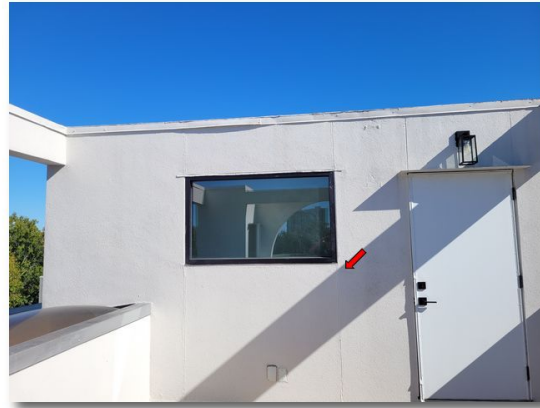


6 - 3: Cracks Present: Cracks were found at the stucco cladding. Hairline cracks (generally 1/16 of an inch) are commonly found with stucco systems. These cracks should be monitored and repaired as needed. It is recommend that cracks larger than hairline are repaired by a qualified stucco contractor.

6- 3.1



6- 3.2



6 - 4: Flat Surfaces Without Cap Flashing: Flat / low slope surfaces were observed at the stucco walls. Flat / low slope surfaces are more prone to cracking, standing water, and moisture intrusion, leading to wood rot of the sheathing and framing within the wall cavity. Recommend installing cap flashing or other waterproofing methods to prevent damages from occurring. *Cap flashing should be installed with fasteners on the sides, not through the top surface.*

6- 4.1



6- 4.2



6- 4.3



6 - 5: Rust: Rust was observed at this location. It is recommended this area is repaired to prevent further rust / damage from occurring.

6- 5.1



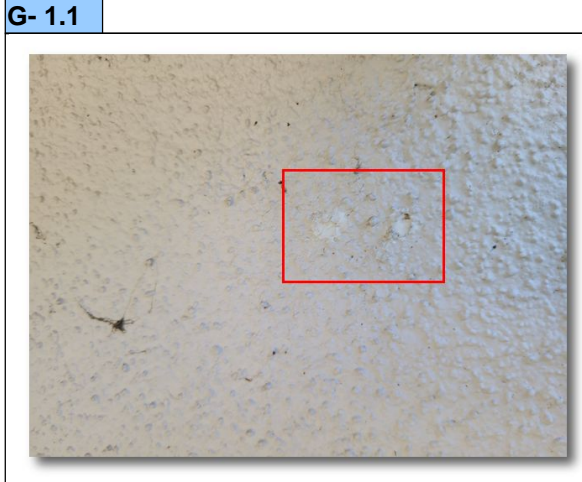
6- 5.2



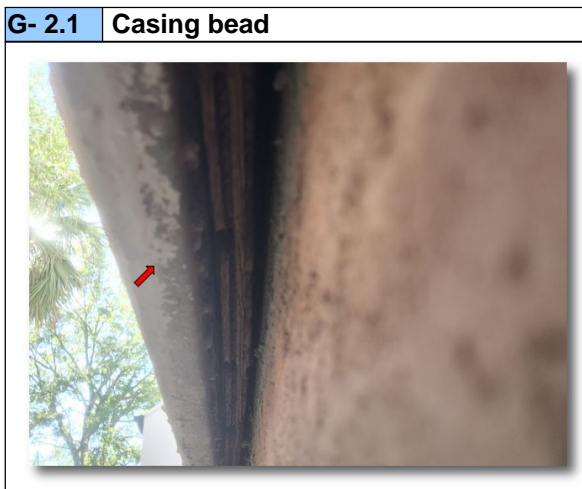
General Photo Observations

General photo observations may be described in this section for areas where issues exist around the majority of the house, areas where exact location identification is not necessary, or general information provided by your inspector.

G - 1: Previous Inspection: Evidence of a previous inspection was observed at the property as evident by previous inspection holes.



G - 2: Casing Bead in Lieu of Weep Screed: The bottom of the wall terminates into a casing bead, rather than a weep screed. Current standards require that stucco terminates into a weep screed to provide a means of incidental moisture in the wall to drain. If substrate damage is found, it is recommended that a weep screed is installed during repairs.



G - 3: Improper Head Flashing: The head flashing on most windows do not flap down on the sides. This is an improper installation of head flashing and can create voids at the top corners. Ideally, the flashing should lap down on the sides to direct moisture away from the window corners. Recommend having the head flashing installed properly on the affected windows during repairs.

G- 3.1



G- 3.2



G - 4: Damaged / Aged / Missing Sealant: Damaged, aged, and / or missing sealant was found at wall penetrations, joints, windows, and / or other voids on the exterior. Properly installed sealant provides a barrier against moisture intrusion. Recommend repairs using a top quality, low modulus, polyurethane sealant or sealant recommended by the manufacturer of your system.

G- 4.1 Seal cap flashing around roof line



G- 4.2



Inaccessible Areas

The inspector will make every effort to test all potentially vulnerable locations by use of a 2-story ladder or exterior openings. Some areas of the structure were inaccessible for invasive moisture testing. These areas were visually inspected during the inspection. If you have any questions regarding whether moisture testing was performed on a certain location, please contact us. Examples of these locations are provided below:

Checked Boxes indicate reasons for areas being inaccessible:			
<input checked="" type="checkbox"/> Height	<input type="checkbox"/> Obstructions	<input type="checkbox"/> Windows Fixed	<input type="checkbox"/> Irremovable screens
<input type="checkbox"/> No Interior Access	<input type="checkbox"/> Furniture/Belongings	<input type="checkbox"/> Fence	<input type="checkbox"/> Vegetation
<input type="checkbox"/> Locked Gate	<input type="checkbox"/> No Roof Access	<input type="checkbox"/> Safety Concern	<input type="checkbox"/> Other
Additional Comments:			





Now That You've Had A Stucco Inspection Maintenance Guide

Maintenance is key to preventing costly repairs down the road. Therefore, we have created a maintenance guide to help you maintain your stucco. Be sure to click back to your email and download it!

Stucco Pro Inspections
Stucco Maintenance Guide

NOW THAT YOU'VE HAD A STUCCO INSPECTION

KEY STEPS TO PREVENTING COSTLY REPAIRS



StuccoProInspections.com 713-903-1240

Stucco Pro Inspections
Stucco Maintenance Guide

Preventative maintenance should be performed on every component of every house. It's what keeps everything running smoothly, and helps prevent unnecessary surprises. While stucco is a strong, durable exterior cladding, preventive maintenance will help its ability to protect your home from the elements. This guide is simply that: just a guide. Your specific home may require extra attention, and speaking with your inspector or a reputable stucco contractor can help you address all of your home's needs.

What will we cover in this guide:



- Repairs
- Sealants
- Flashing Details
- Paint & Coatings
- Cracks
- Clearances
- Stucco Cleaning
- Sprinkler Systems



This inspection was performed as a visual & invasive testing inspection of areas accessible from a 2-story ladder or by using the exterior openings from within the home to gain access to the exterior, i.e. windows, balconies, etc.. The inspector can not move the home owner's furnishings to gain access to exterior openings.

This document only reports on the condition of the structure at the specific locations indicated. Locations were determined by the inspector according to probable areas of possible moisture intrusion, accessibility, and in accordance with accepted industry standards. No judgment is intended or given for any areas not reported on or not accessible. The inspection is limited to the accessible areas. Please know that this system is composed of many details, which can not be exposed without the removal of portions of the system. This inspection and report are not a warranty or guaranty, of any kind whatsoever, that all work and materials on this property are in complete conformity and compliance with installation specifications or that such installation and material will necessarily perform as intended. It is suggested that a follow-up inspection be completed in 12 - 24 months after all repairs are completed to ensure that the moisture levels remain within an acceptable level and proper corrections have been made to prevent moisture intrusion and wood rot.

Thank you for giving us the opportunity to perform this inspection. We appreciate your business and the confidence you have placed in us. If you have any questions, please feel free to contact us at 713-903-1240 or email us at office@stuccoproinspect.com.

With appreciation,

Tony Trinidad

Professional Inspector #24695

EDI #TX-192

Stucco Pro Inspections

stuccoproinspections.com