



## MOLD ASSESSMENT

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Houston, TX 77005

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04/03/2025



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### **Mold Assessment Details**

Mold Finders takes a three-step approach to mold investigations. Our assessments consist of a visual inspection of the building, thermal imaging of the interior, and collecting analytical data.

#### **Visual Inspections**

During this stage of the assessment, a licensed mold assessment consultant or mold assessment technician is looking for evidence of visual mold and evidence of current or previous moisture contact on interior surfaces, paying special attention to plumbing areas and HVAC systems. Some of the many tools that are utilized during a visual inspection include non-penetrating contact moisture meters to help determine if surfaces are wet, endoscope cameras to access hard to see areas, and hygrometers to measure indoor humidity levels.

#### **Thermal Imaging**

Next, we will use infrared imaging technology to help identify and document a wide variety of problems that may not be visible to the naked eye, including potential insulation defects in exterior walls and ceilings, and active moisture problems.

#### **Testing/Sampling**

Finally, visible mold samples or air samples will be collected during the assessment. Ideally, every room or area in the property should be sampled. However, the number and locations of samples collected must vary in relation to the budget of our clients. Mold Finders recommends taking indoor air samples in all areas of interest, which include high traffic areas, areas with current or previous water damage, areas with a noticeably musty odor, and areas with visible mold growth.

### **Follow Up Services**

If it is determined that remediation services are required, Mold Finders can be contracted, for an additional fee, to write a mold remediation protocol. This protocol will identify the project requirements, clean-up methods, personal protection requirements, the number and location of work areas, containment methods and engineering controls that must be used during mold removal activities. Our protocols will also establish criteria for achieving clearance.

Mold remediation should not take place in the state of Texas without written protocol from a licensed Mold Assessment Consultant. After protocol is written, mold remediation contractors can bid on the project.

After mold removal activities by a licensed mold remediation company take place, you can hire Mold Finders, for an additional fee, to provide project clearance evaluation and testing. If the project passes clearance criteria and remediation activities were successful, a Certificate of Mold Damage Remediation will be issued.

If you have any questions about the report, please do not hesitate to call us!

**Thank you for choosing MoldFinder.Com and Bryan & Bryan Inspections**

Office Use: Order# 72504

# 1: INSPECTION DETAILS

## Information

### Outdoor Temperature

78.9 Degrees Fahrenheit



### Outdoor Humidity

77.8 %



### Indoor Temperature

73.2 Degrees Fahrenheit



### Indoor Temperature 2

69.8



### Indoor Humidity

54.9 %



### Indoor Humidity 2

55.3



### Weather Conditions

Cloudy

### Type of Building

Single Family

### Occupancy

Furnished, Vacant

### Number of air samples taken:

3

### Number of surface samples taken:

0

## Specialty Equipment Used

Zefon Bio-Pump Plus,  
Thermometer, Hygrometer,  
Infrared (IR) Camera, Moisture  
Meter



## Sampling Pump Calibration Verified

Yes



## Mold Assessments: Link: Fungal Library

[Click here for a library of some commonly encountered fungal genera](#)

## Mold Assessments: The Goal

The purpose of the mold assessment is:

1. To assess the property for conditions or material deficiencies that may contribute to indoor mold growth, and the evaluation of potential wet areas inside the living space of a building.
2. To attempt to detect the presence of mold inside the living space of a building.
3. To gather information for the purpose of producing a Mold Remediation Protocol report or Mold Management Plan for delivery to the client.

## Mold Assessments: Mold Facts

Molds are ubiquitous and can be found almost anywhere; They can grow on virtually any organic substance as long as moisture and oxygen are present. Mold can grow on a multitude of materials, including wood, paper, carpet, foods, and insulation. When excessive moisture accumulates in buildings or on building materials, mold growth will often occur, particularly if the moisture problem remains undiscovered or unaddressed. It is impossible to eliminate all mold and mold spores in the indoor environment. However, mold growth can be controlled indoors by controlling moisture indoors.

Molds reproduce by making spores that usually cannot be seen without magnification. Mold spores waft through the indoor and outdoor air continually. When mold spores land on a damp spot indoors, they may begin growing and digesting whatever they are growing on to survive. Molds gradually destroy the things they grow on.

Many types of molds exist. All molds have the potential to cause health effects. Molds can produce allergens that can trigger allergic reactions or even asthma attacks in people allergic to mold. Others are known to produce potent toxins and/or irritants. Potential health concerns are an important reason to prevent mold growth and to remediate/clean up any existing indoor mold growth. If you are concerned whether or not a specific genus of mold identified in the lab report (If samples were collected) may be harmful to you or the occupants in the home, then it is important to consult with your physician.

Since mold requires water to grow, it is important to prevent moisture problems in buildings. Moisture problems can have many causes, including uncontrolled humidity. Some moisture problems in buildings have been linked to changes in building construction practices during the 1970s, 80s and 90s. Some of these changes have resulted in buildings that are tightly sealed, but may lack adequate ventilation, potentially leading to moisture buildup. Building materials, such as drywall, may not allow moisture to escape easily. Other moisture problems may include:

- Roof leaks
- Landscaping or gutters that direct water into or under the building
- Poor ventilation in areas with combustion appliances
- Delayed maintenance or insufficient maintenance are also associated with moisture problems in buildings

When mold growth occurs in buildings, adverse health problems may be reported by some occupants, particularly those with allergies or respiratory problems. Remediation activities should avoid exposing occupants, workers, and interior surfaces to mold-laden dust or debris or from being dispersed through the air.

It is impossible to get rid of all mold and mold spores indoors; some amounts of mold spores will always be found floating through the air in dust. However, mold spores will not grow if moisture is not present. Indoor mold growth can be prevented by controlling moisture indoors. If there is mold growth in your home, you must remove the mold and fix the source of the water problem. If you remove the mold, but don't fix the moisture problem, then most likely the mold problem will come back.

## Mold Assessments: Important Note

*Professional mold remediation should be performed by a licensed remediation contractor who will take extreme care to remove any contaminated materials without contaminating the home during the removal process. Remediation contractors should follow a protocol or work plan and use containment areas, large vacuums, and other professional equipment to reduce the risk of further contaminating the building.*

*It is best to let mold remediation professionals handle mold cleanup; but if you decide to manage cleanup on your own, it is advised to do as much research as possible prior to the project and be in contact with your county health care professional before, during, and after any cleanup.*

## Mold Assessments: CONSUMER MOLD INFORMATION SHEET

[Consumer Mold Information Sheet](#)

*A PDF copy is also available as an attachment to this report.*

## Limitations

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General Inspection Details

### STORAGE ITEMS/OCCUPIED HOME

The home was occupied at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual observation of components. Surfaces and components blocked by storage/furnishings are not inspected.

## 2: SAMPLE #1 - CONTROL SAMPLE

### Information

**Control Sample Information:**  
**Sample ID:**  
40085541

**Control Sample Information:**  
**Type of Sample:**  
Air Sample

**Control Sample Information:**  
**Sample Location Area:**  
Front Porch

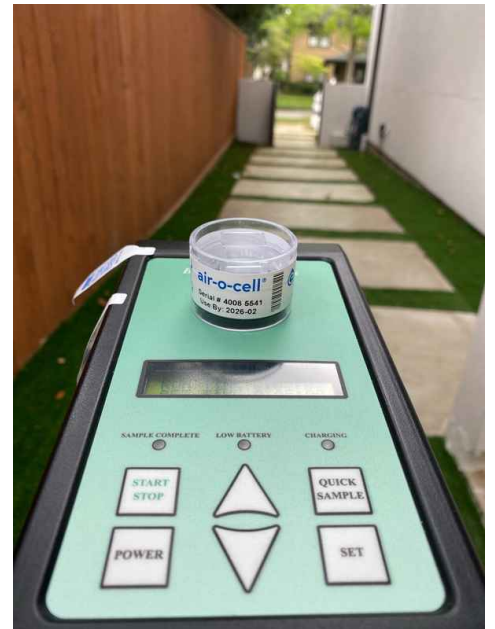
**Control Sample Information: Authorized Sample**

The inspector has received authorization to submit this sample to the lab for testing. The customer has paid for this sample to be tested and no other payment or authorization is required.

### Observations

2.1.1 Control Sample Information

**PHOTO OF SAMPLE MEDIUM**



2.1.2 Control Sample Information

**PHOTO OF SAMPLE COLLECTION AREA**



## 3: SAMPLE #2 - FIRST FLOOR LIVING ROOM

### Information

**Indoor Sample Information:****Sample ID:**

40085673

**Indoor Sample Information: Type of Sample:**

Air Sample

**Indoor Sample Information:****Sample Location Area**

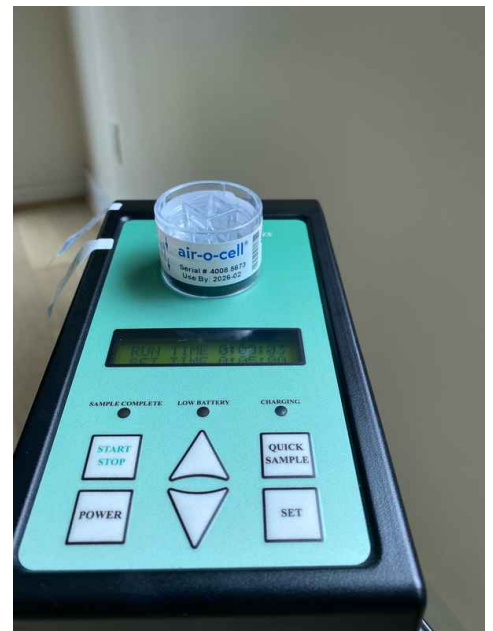
1st Floor Living Room

**Indoor Sample Information:****Sample Location Chosen Due To:**High Traffic Area, Common Area,  
Excessive Moisture*Please review Conclusions Section  
for further recommendations.***Indoor Sample Information: Authorized Sample**

The inspector has received authorization to submit this sample to the lab for testing. The customer has paid for this sample to be tested and no other payment or authorization is required.

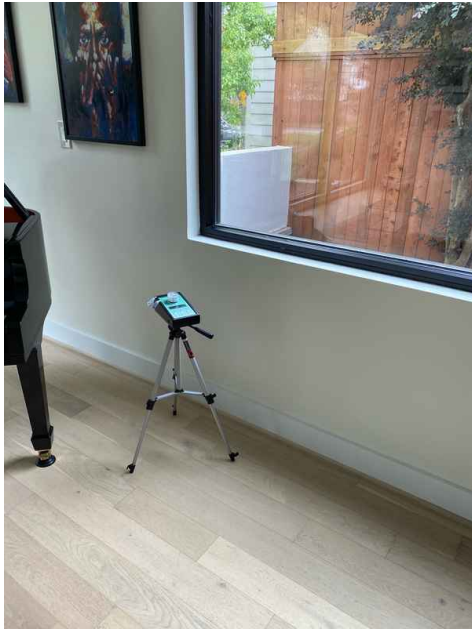
### Observations

## 3.1.1 Indoor Sample Information

**PHOTO OF SAMPLE MEDIUM**

## 3.1.2 Indoor Sample Information

**PHOTO OF SAMPLE COLLECTION AREA**



## 4: SAMPLE #3 - PRIMARY BEDROOM

### Information

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**Indoor Sample Information:****Sample ID:**

40085535

**Indoor Sample Information: Type of Sample:**

Air Sample

**Indoor Sample Information:****Sample Location Area**

2nd Floor Primary Bedroom

**Indoor Sample Information:****Sample Location Chosen Due To:**

High Traffic Area, Common Area

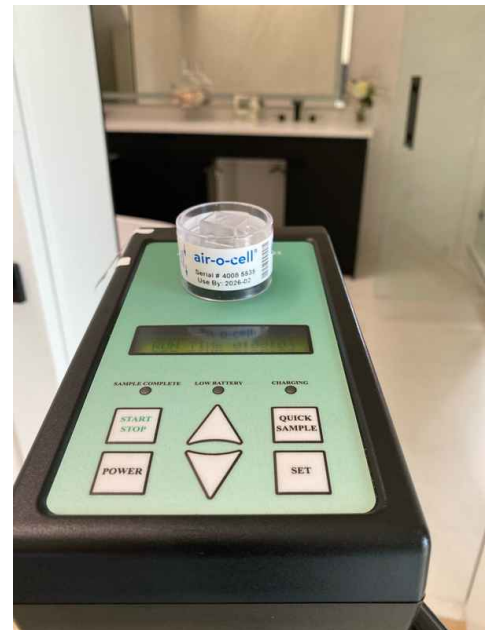
*Please review Conclusions Section for further recommendations.***Indoor Sample Information: Authorized Sample**

The inspector has received authorization to submit this sample to the lab for testing. The customer has paid for this sample to be tested and no other payment or authorization is required.

### Observations

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## 4.1.1 Indoor Sample Information

**PHOTO OF SAMPLE MEDIUM**

## 4.1.2 Indoor Sample Information

**PHOTO OF SAMPLE COLLECTION AREA**



## 5: CONCLUSIONS

		Y	N
5.1	Assessment Details and Lab Reports	X	
5.2	Grading & Drainage Issues		X
5.3	Roof Covering Issues	X	
5.4	Attic Issues	X	
5.5	Exterior Wall & Surface Issues	X	
5.6	Exterior Doors Issues		X
5.7	Window Issues		X
5.8	Interior Surfaces: Visible Growth		X
5.9	Interior Surfaces: Water Damage		X
5.10	Interior Surfaces: Excessive Moisture	X	
5.11	Interior Surfaces: Prior Moisture Contact		X
5.12	Interior: Musty Smells and Odors		X
5.13	Interior: Excessive Humidity		X
5.14	Plumbing Issues	X	
5.15	HVAC Issues		X

Y = Yes N = No

### Information

#### Roof Covering Issues: Types of Roof Covering

Metal

#### Roof Covering Issues: Viewed From

Drone

#### Attic Issues: Viewed From

Decked areas of attic

#### Attic Issues: Approximate Average Depth of Insulation

10 Inches

#### Attic Issues: Type of Attic/Roof Ventillation

None found

#### Attic Issues: Type of Insulation Material

Batt Fiberglass

**Interior Surfaces: Excessive  
Moisture: Dry Standards**



Drywall

Assessment Details and Lab Reports: General Photos of Exterior



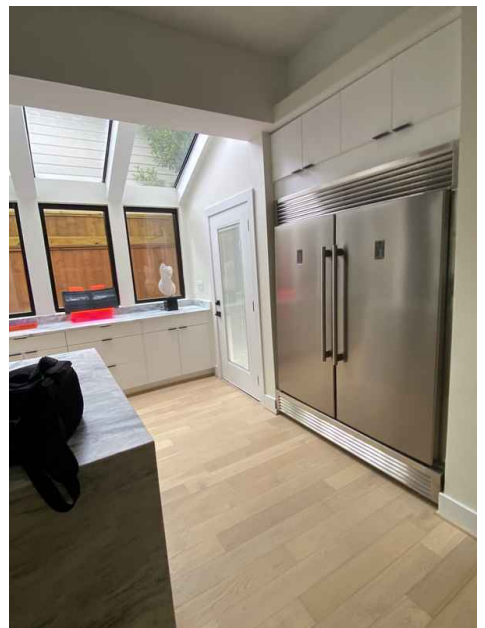
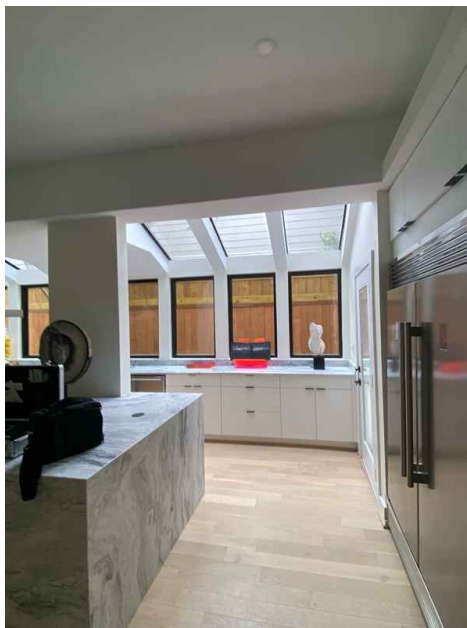
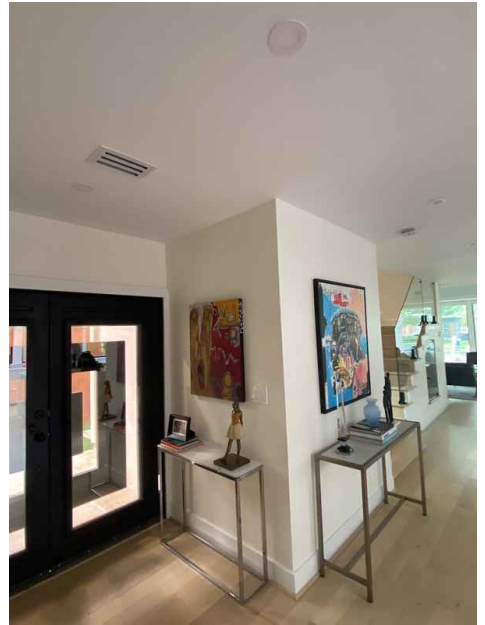
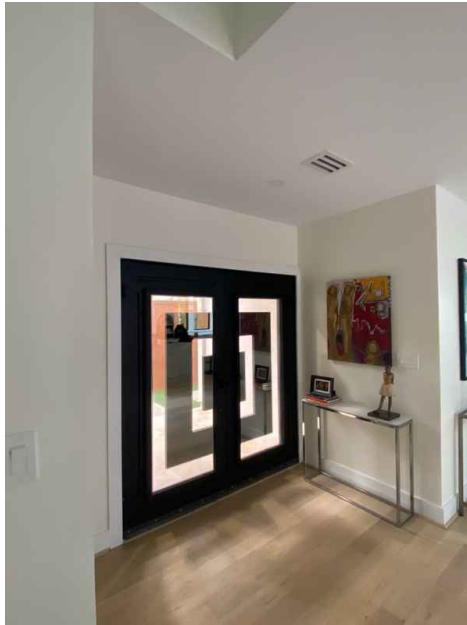
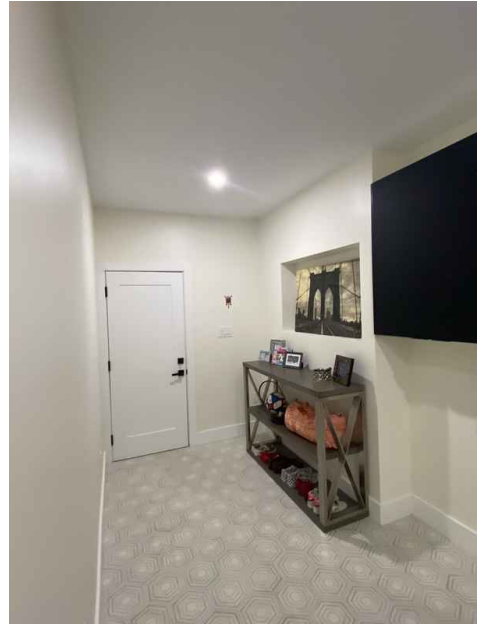
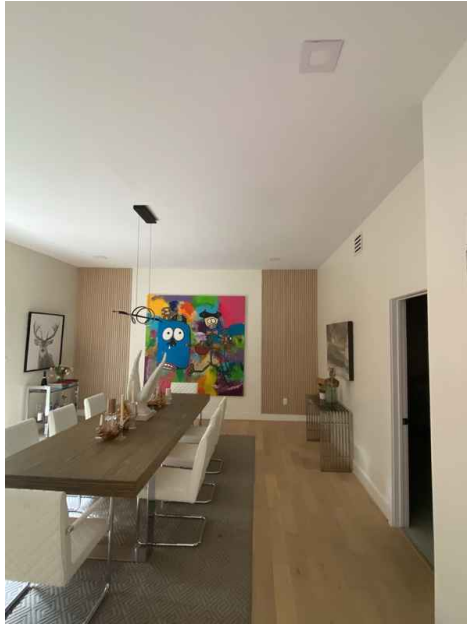
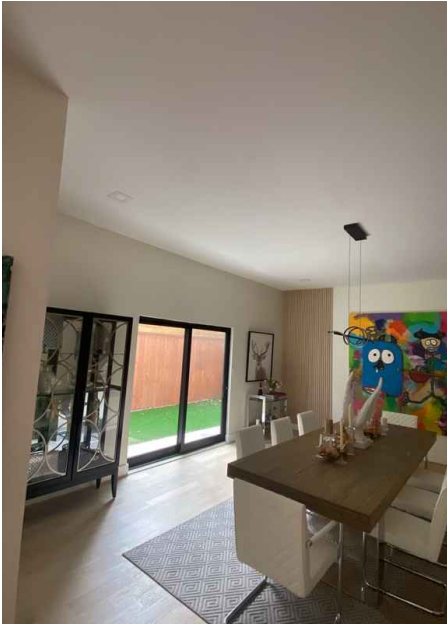


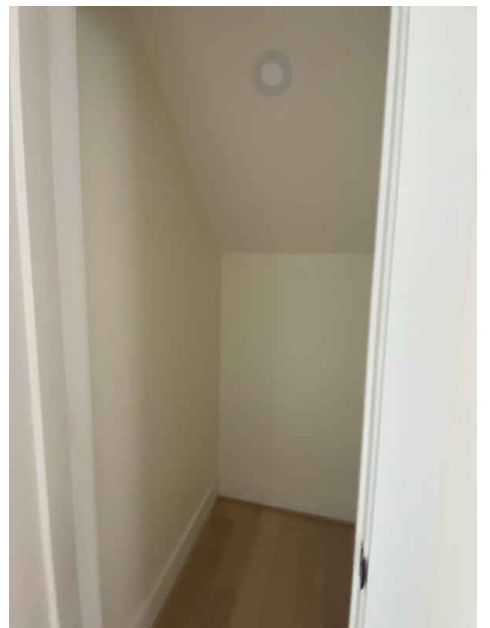
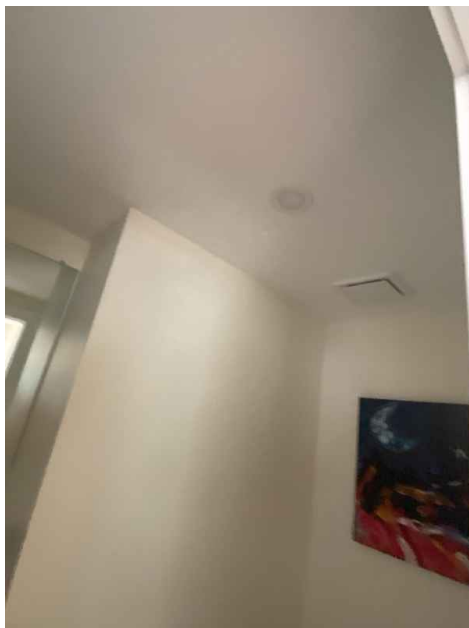
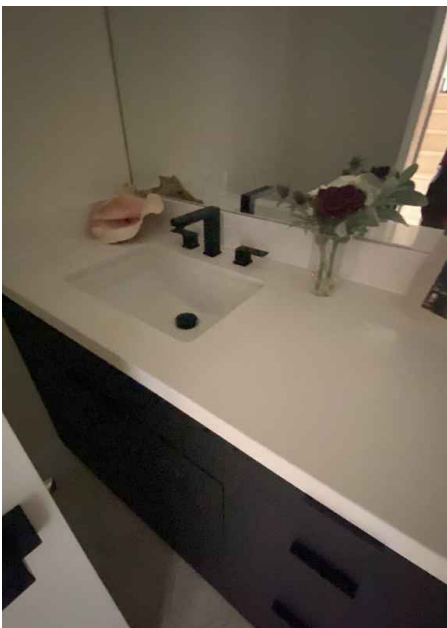
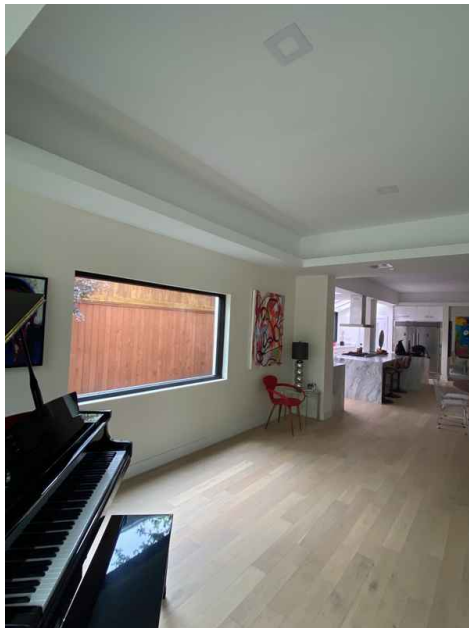
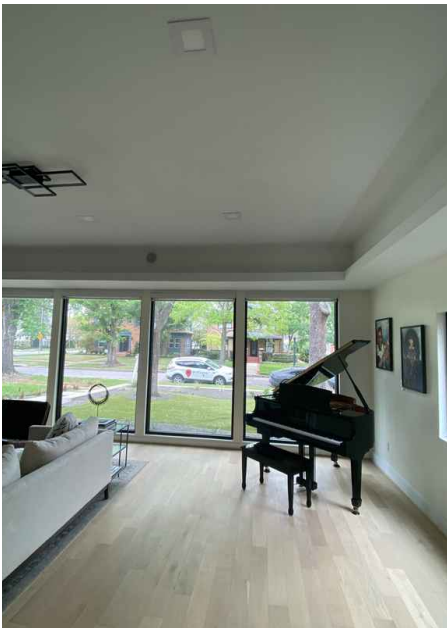
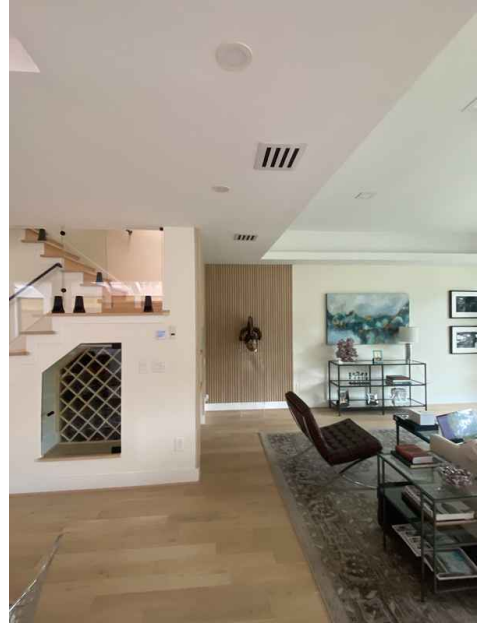
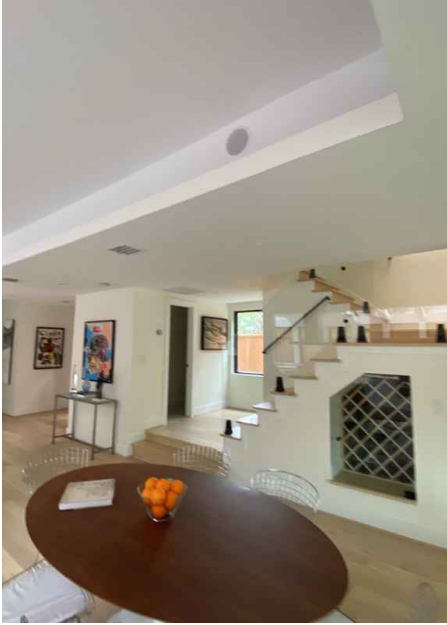
Assessment Details and Lab Reports: General Photos of Roof Coverings

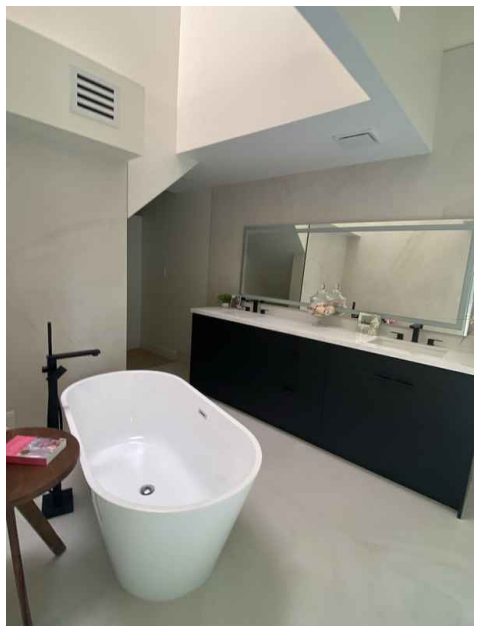
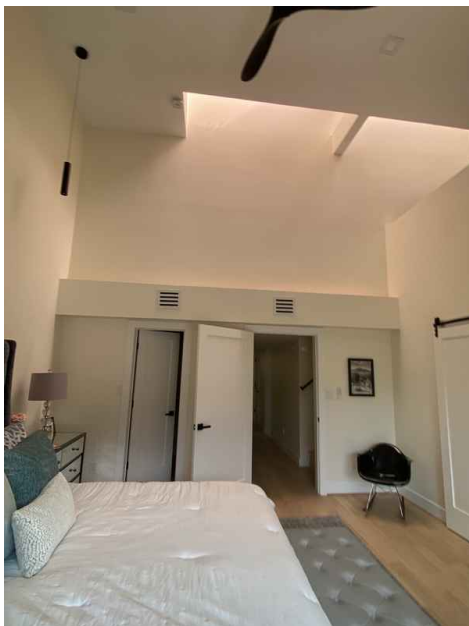
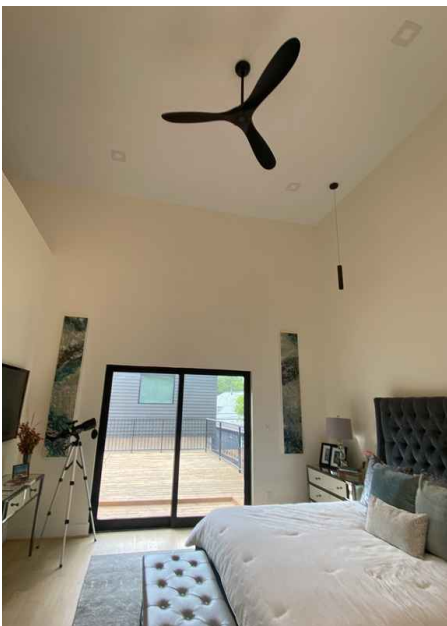
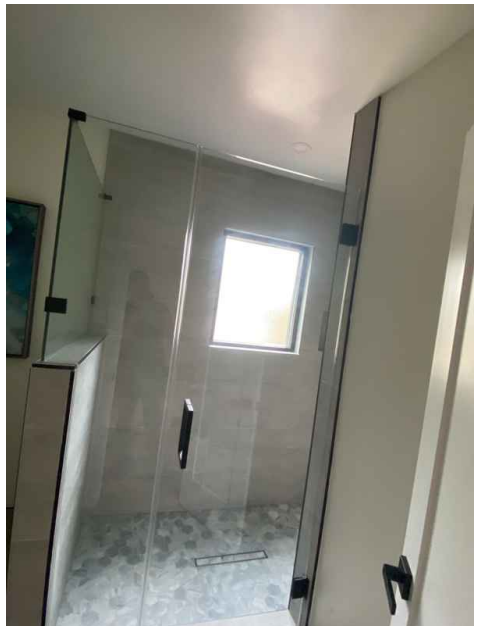
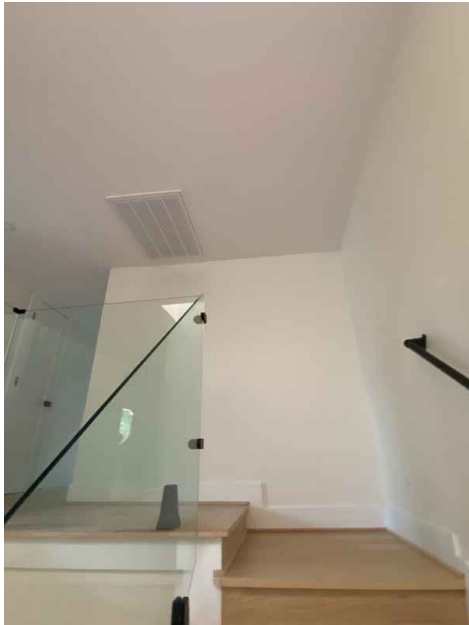


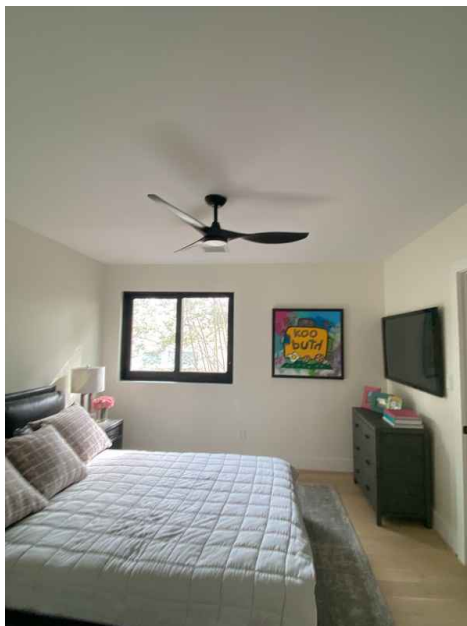
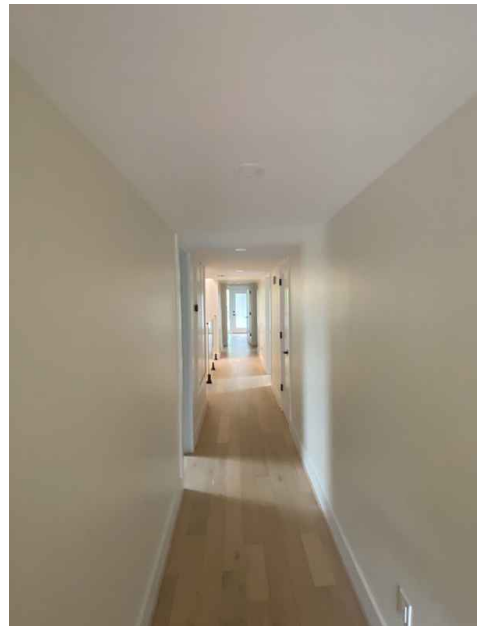
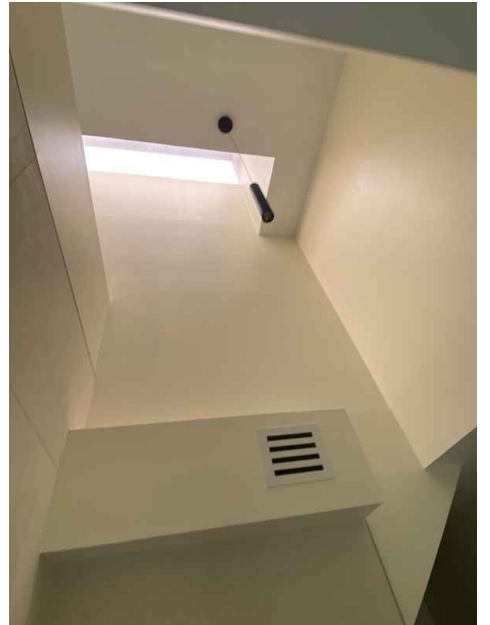
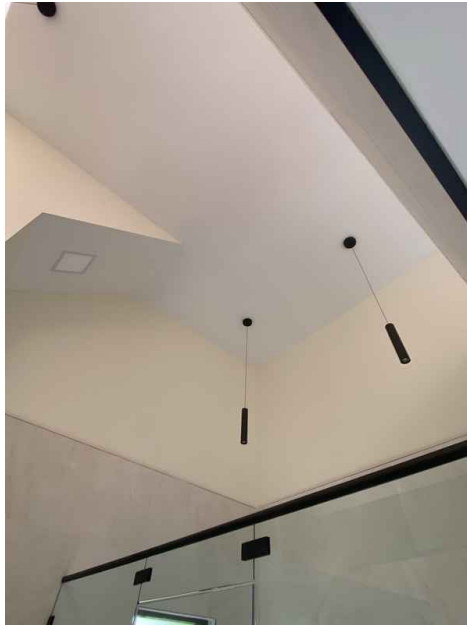


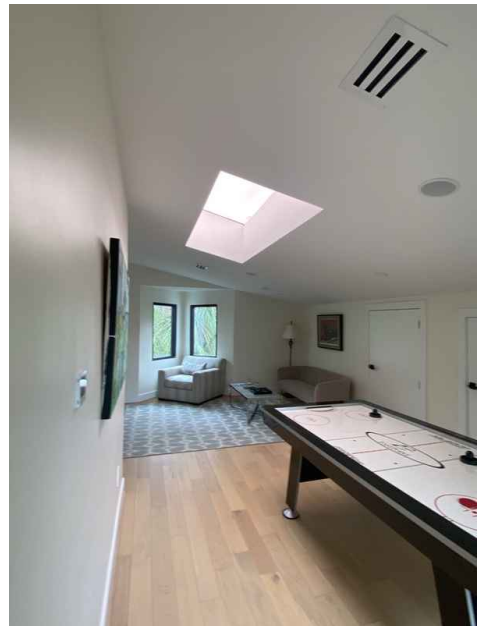
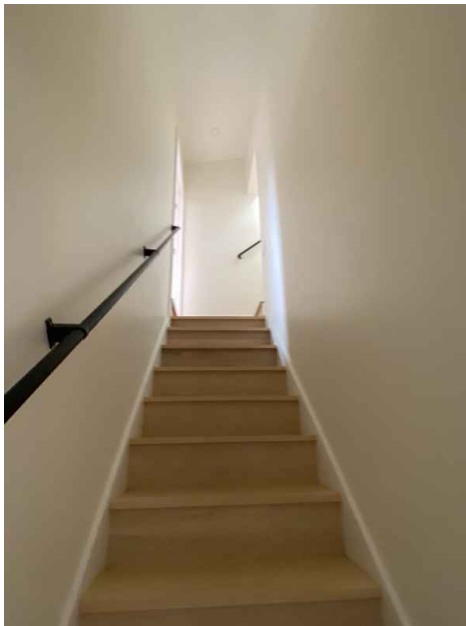
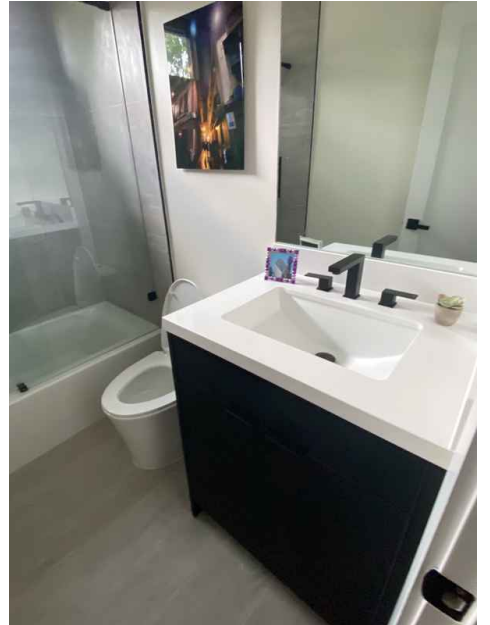
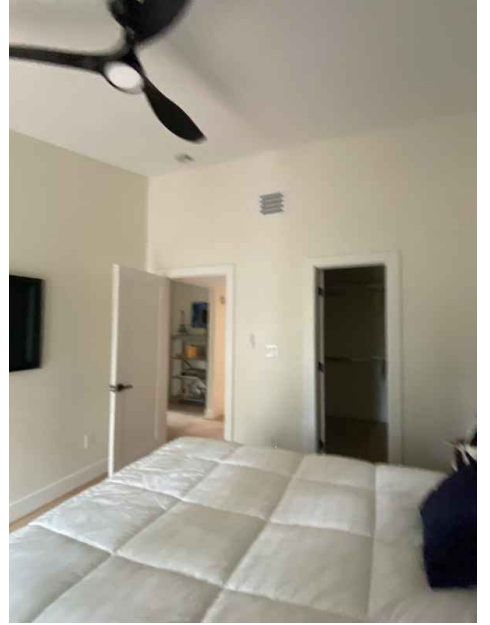
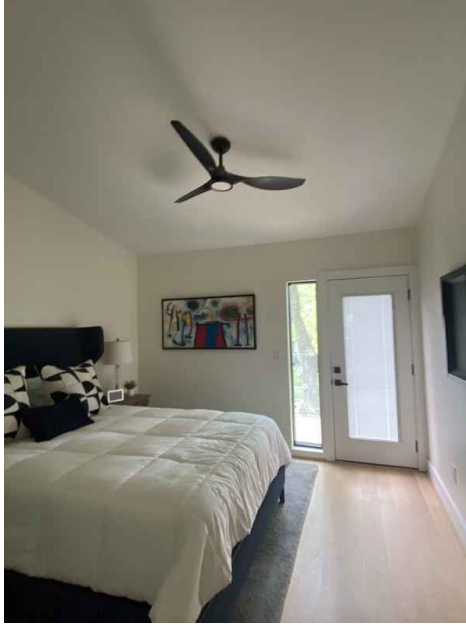
Assessment Details and Lab Reports: General Photos of Interior

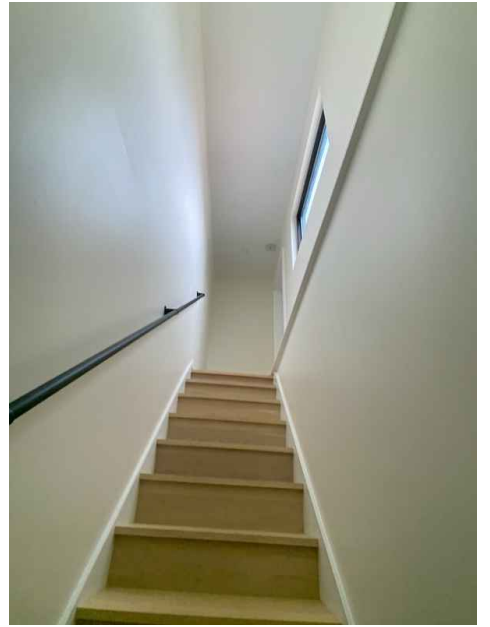
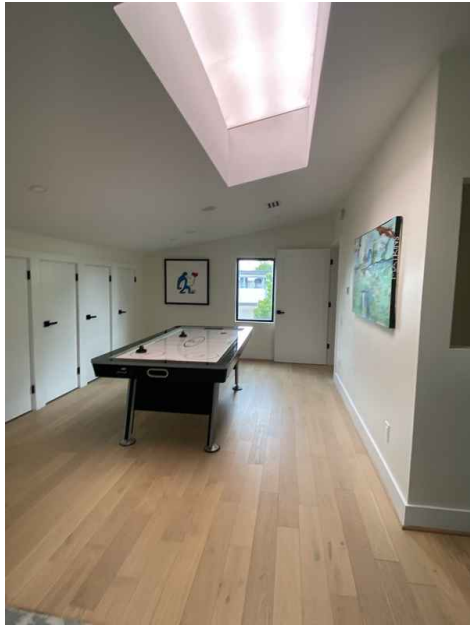




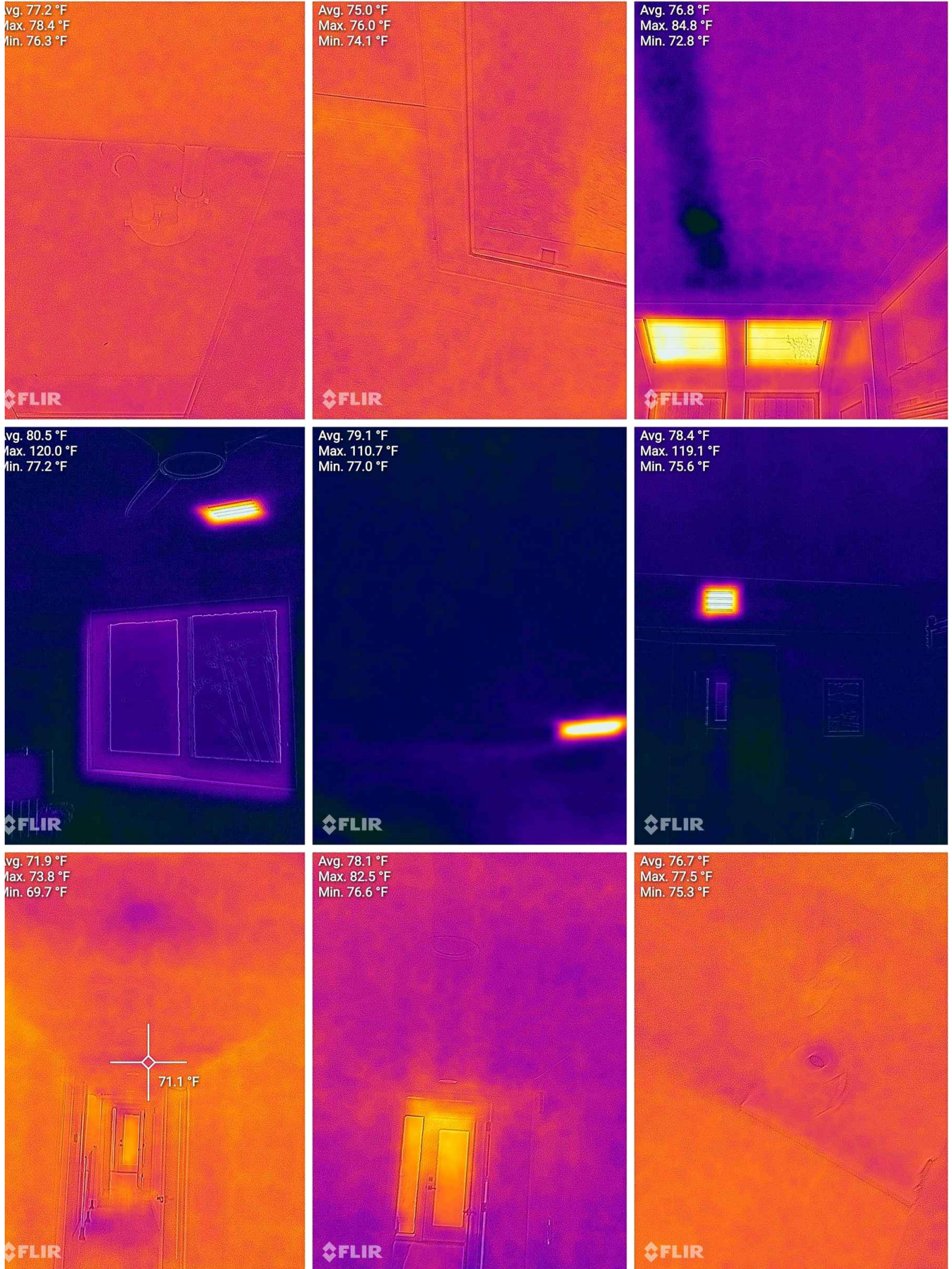


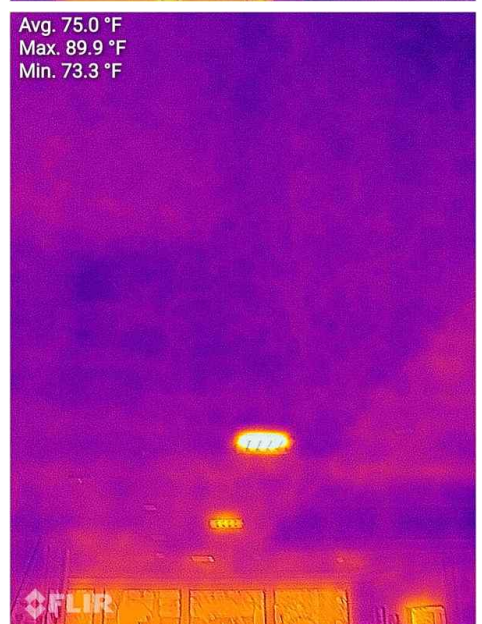
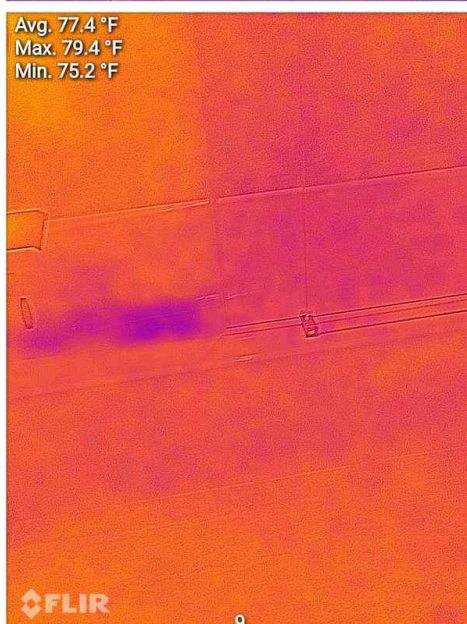
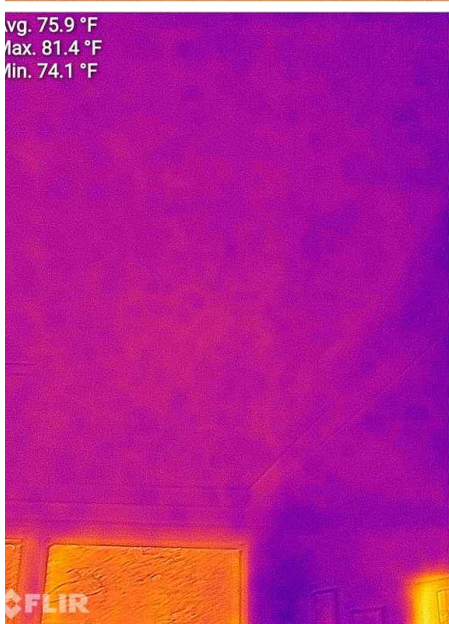
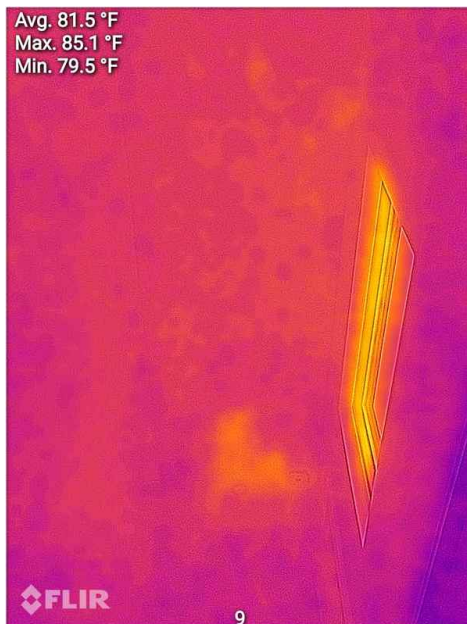
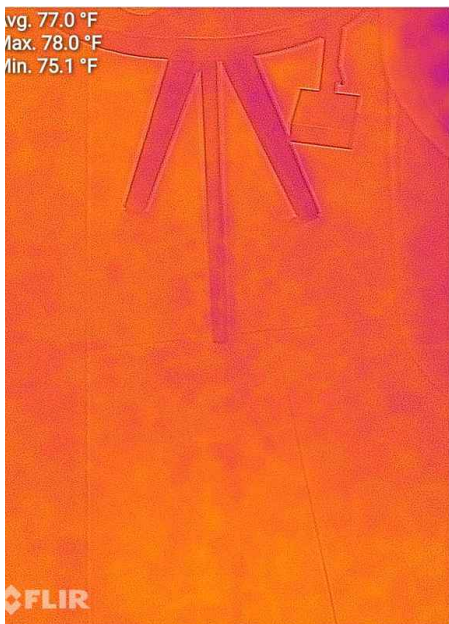
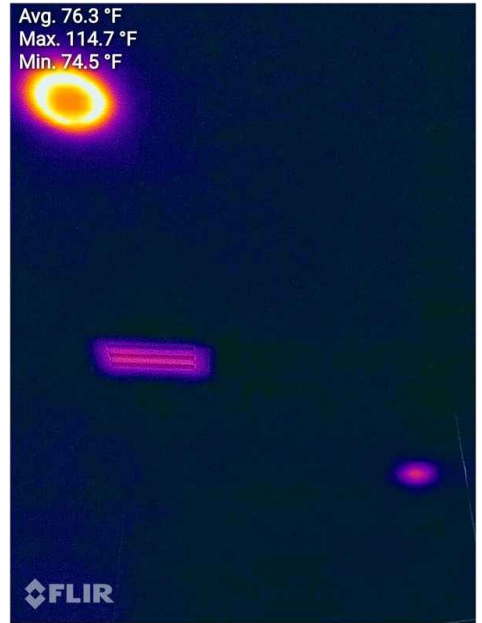
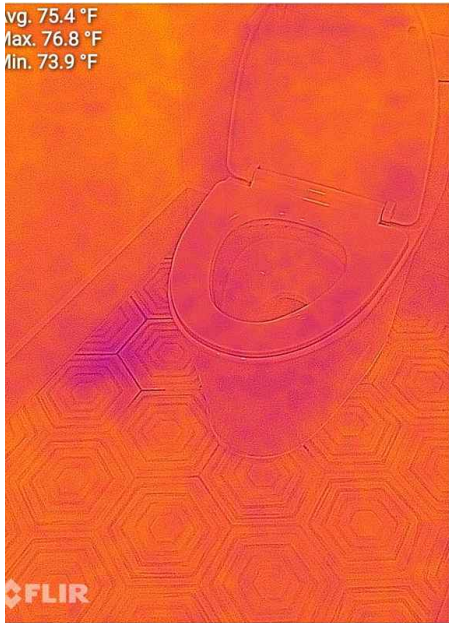


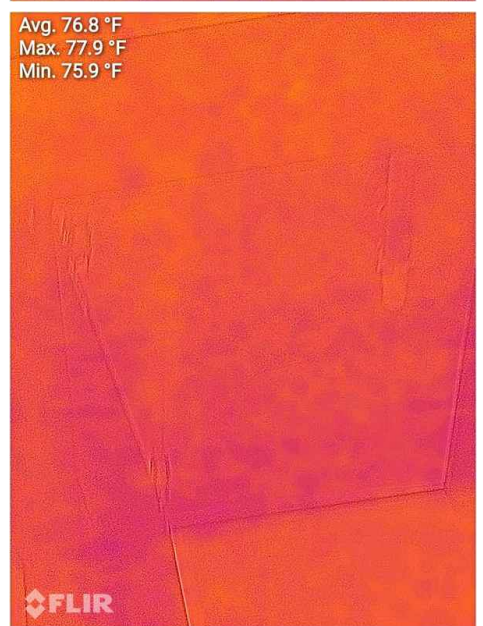
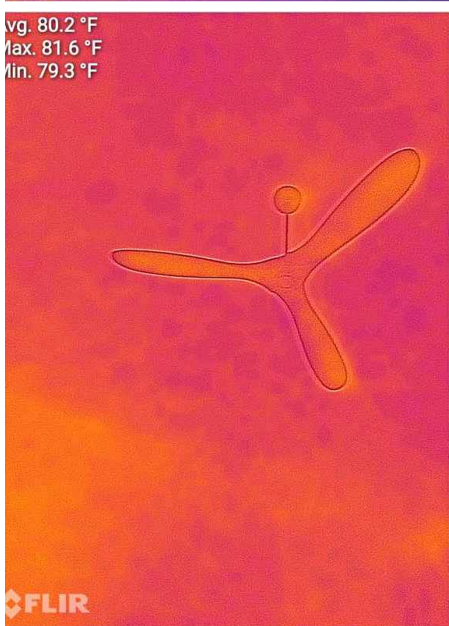
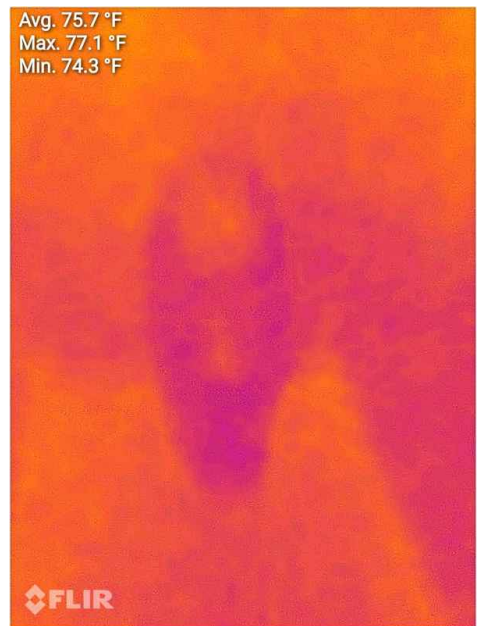
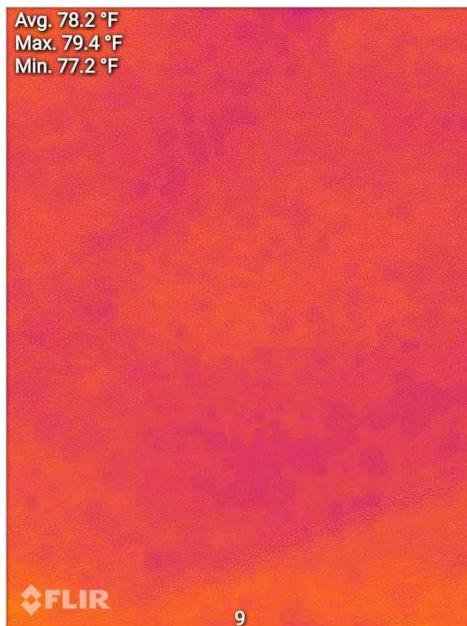
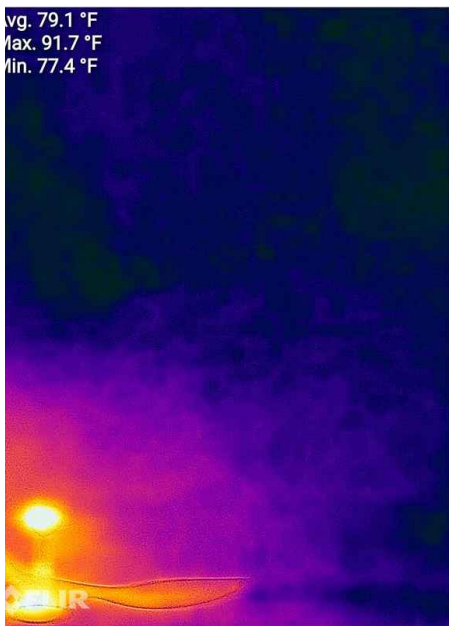


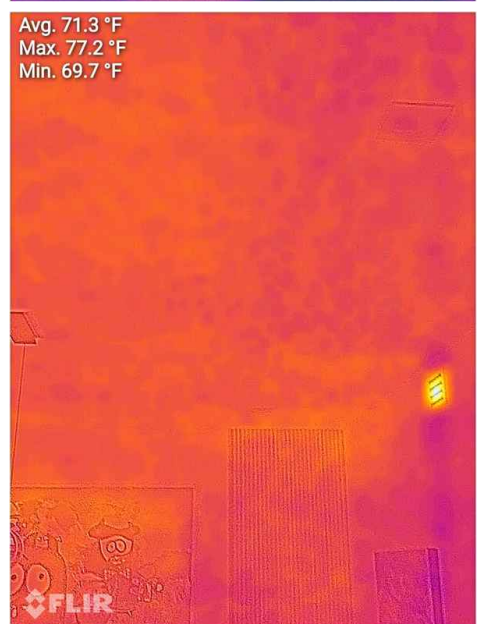
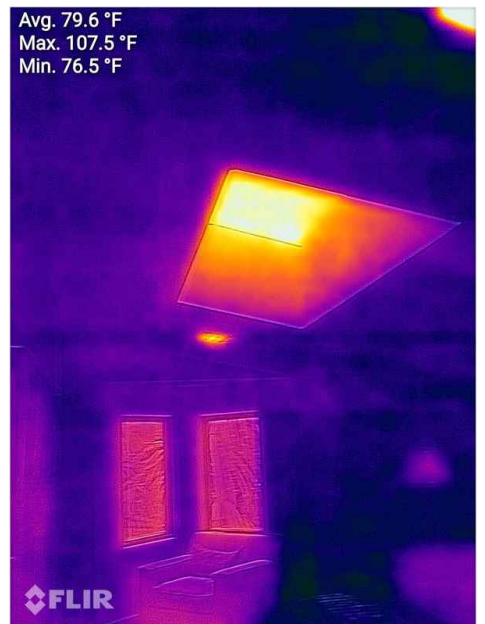
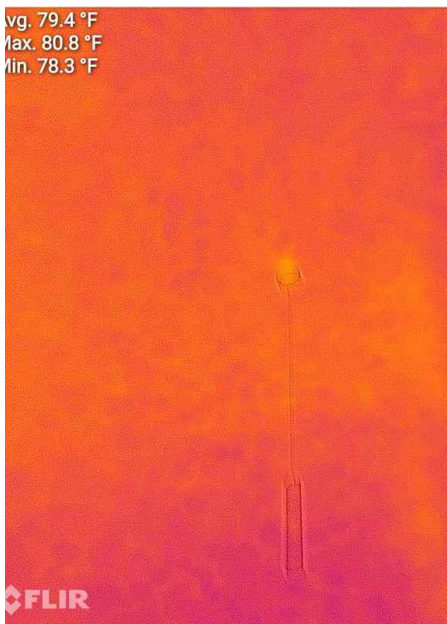
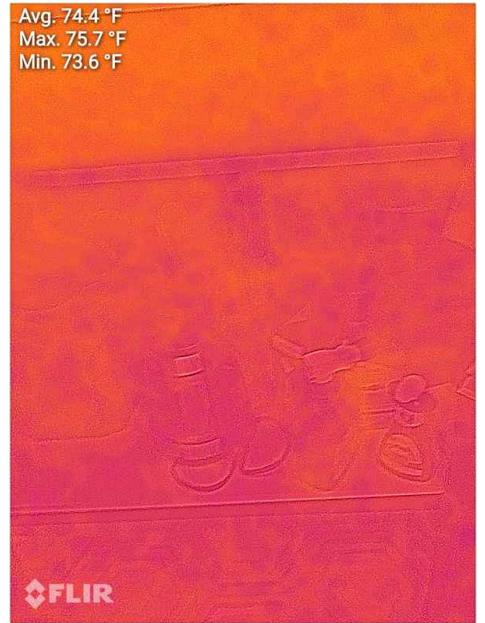
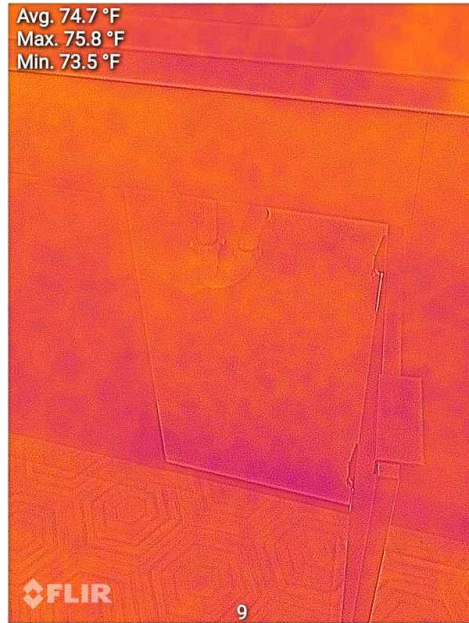
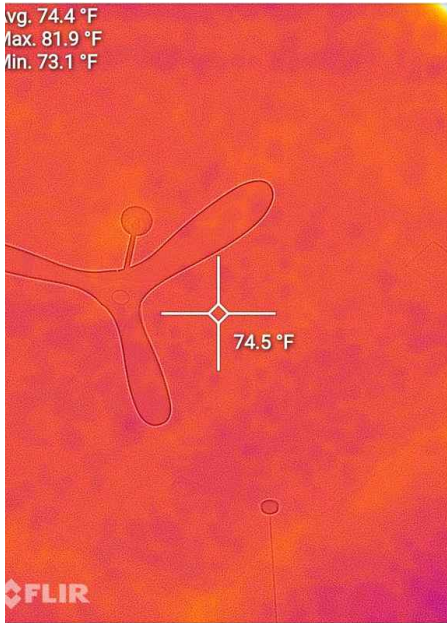


### Assessment Details and Lab Reports: General Ifrared Photos of Interior



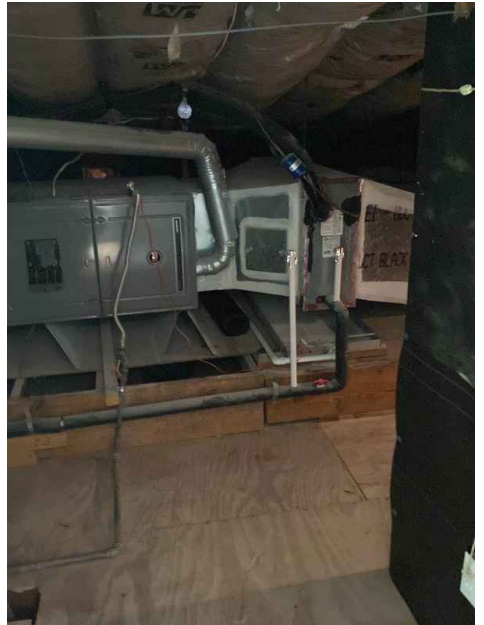








**Assessment Details and Lab Reports: General Photos of Attic(s)**



### Exterior Wall & Surface Issues: Previous Repairs

Previous repairs were observed. It is recommended that all existing repair documentation and warranties are reviewed by client and his or her representatives.



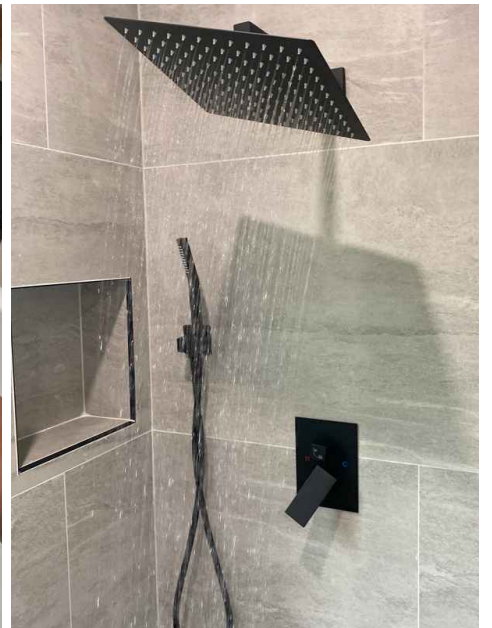
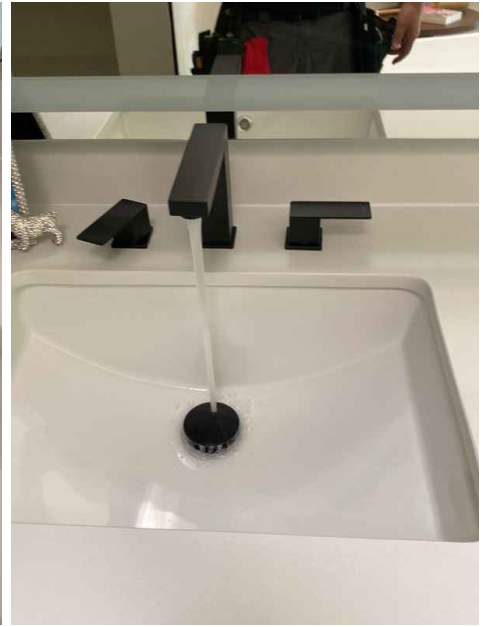
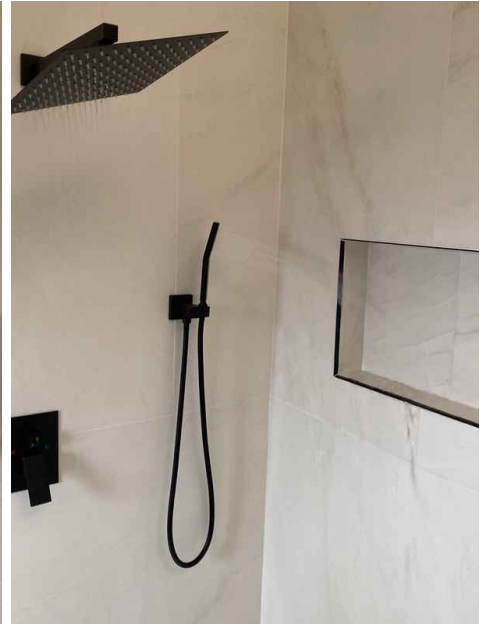
Right Exterior

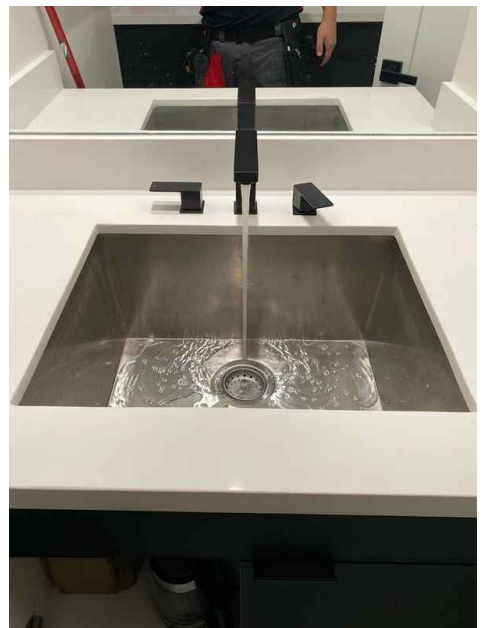
### Exterior Wall & Surface Issues: Stucco/EIFS Present: Regular Maintenance Advised

**Note:** Stucco and EIFS cladding systems rely on being properly sealed at exterior surfaces. They are susceptible to the entrapment of moisture inside the system when seams and seals fail, and around openings (windows, doors, plumbing, etc.). Because of the low vapor permeability of the finish, any water or moisture trapped behind the EIFS cannot dry out quickly. This product should be periodically inspected and maintained.

Bryan & Bryan offers invasive inspections of these products using inspection methods and tools not available on a limited mold assessment. This type of inspection is known as a **Building Envelope Moisture Inspection**, and can be scheduled through our office. If you have any concerns about the Stucco/EIFS system, we strongly recommend that you schedule this service!

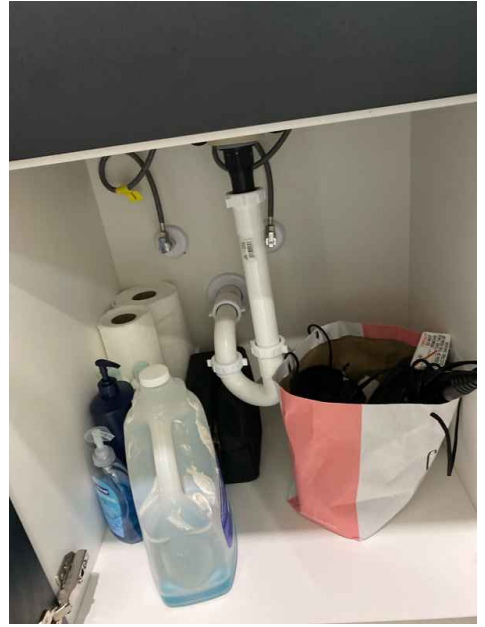
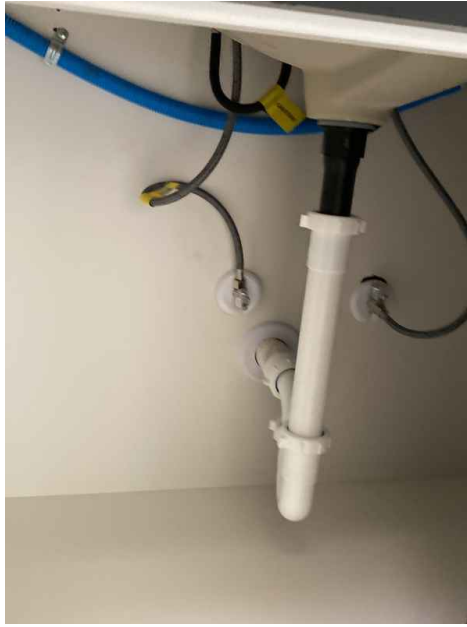
Plumbing Issues: General Photos of Plumbing Fixtures







Plumbing Issues: General Photos of Plumbing Drains



## HVAC Issues: General Photos of HVAC Equipment



## Limitations

Roof Covering Issues

### **ROOF ACCESS WAS LIMITED**

Too high, Unsafe to access

Direct access to the roof was limited because of constraints encountered during the inspection. The inspector did employ other methods in determining the overall functionality of the roof covering. If further evaluation of the roof covering is desired, consult with a qualified roofing contractor.

Roof Covering Issues

### **WALKING MAY DAMAGE ROOF COVER**

The Inspector determined that walking on the roof creates a risk of damage to the roof covering.

## Attic Issues

**ONLY ACCESSIBLE AREAS WERE ENTERED**

**Note:** Only accessible areas of the attic, with proper flooring or decking, were inspected. The inspector does not crawl/walk over areas that may be unsafe or not easily accessible.

## Attic Issues

**RADIANT BARRIER IS PRESENT**

A radiant barrier was installed on the roof decking. This may conceal possible evidence of prior water penetration and limits evaluation of the decking material.

## Exterior Wall &amp; Surface Issues

**FRESH PAINT**

Fresh paint and new finishes can hide defects from the inspector.

**Observations**

## 5.1.1 Assessment Details and Lab Reports

**REPORT INCOMPLETE: LAB RESULTS NOT YET RECEIVED**

The Assessment is incomplete at this time, pending results from the Laboratory to which we submitted your samples. We will notify you when we have received the results, made our final conclusions, and have updated this report.

## 5.3.1 Roof Covering Issues

**FLASHING DEFICIENCIES**

Rusted

One or more flashing deficiencies were present. Further evaluation by a qualified roofing contractor is recommended.

Recommendation

Contact a qualified roofing professional.



## 5.3.2 Roof Covering Issues

**FLAT ROOF: PONDING**

Ponding was observed in one or more areas of the roof. Ponding can lead to accelerated erosion, deterioration, and moisture intrusion. Further evaluation by a qualified roofing contractor is recommended. Remedy as needed.

Recommendation

Contact a qualified roofing professional.



### 5.3.3 Roof Covering Issues

#### **PATCHED ROOFING MATERIALS**

Previous repairs or patched areas of the roofing were observed. Repair documentation from the seller/property owner is recommended in case warranty protections apply.



### 5.4.1 Attic Issues

#### **VENTING: INADEQUATE**

The attic ventilation appears to be inadequate in one or more areas. Proper ventilation is critical to controlling excess humidity, condensation issues, and mold growth in an attic space. Further evaluation by a qualified roofing professional is recommended. Remedy as needed.

Recommendation

Contact a qualified roofing professional.



## 5.5.1 Exterior Wall &amp; Surface Issues

**SEAL AREAS VULNERABLE TO MOISTURE INTRUSION**

Light Fixture(s), Window Frames

All fixtures, electrical boxes, joints, and wall penetrations should be sealed. Modern building practices recommend sealing around components that are mounted on or pass through the exterior wall surfaces to limit moisture intrusion.

Recommendation

Recommended DIY Project



## 5.5.2 Exterior Wall &amp; Surface Issues

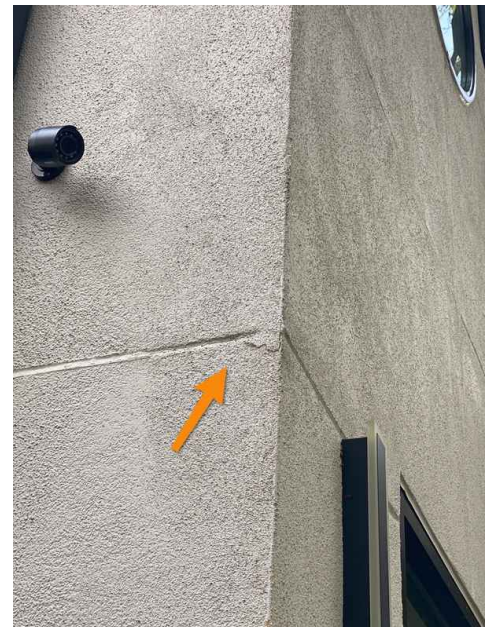
**EXTERIOR MASONRY: DAMAGE**

MULTIPLE LOCATIONS

There was damaged to brick/masonry surfaces. Evaluate and remedy as needed.

Recommendation

Contact a qualified masonry professional.



Left Front Exterior

## 5.5.3 Exterior Wall &amp; Surface Issues

**EXTERIOR MASONRY OR SIDING: TOO CLOSE TO GRADE**

MULTIPLE LOCATIONS

Building standards require 4" to 8" of clearance between the grade and masonry walls & siding. Evaluate and remedy as needed.

Recommendation

Contact a qualified professional.



#### 5.10.1 Interior Surfaces: Excessive Moisture

### **EXCESSIVE MOISTURE**

Excessive moisture levels were detected on one or more interior surfaces and confirmed with electronic equipment. These levels indicate active moisture, which can cause mold to grow or appear. The key to controlling mold is controlling moisture. As long as moisture is present, microbial growth will usually continue unabated until the moisture source is remedied.

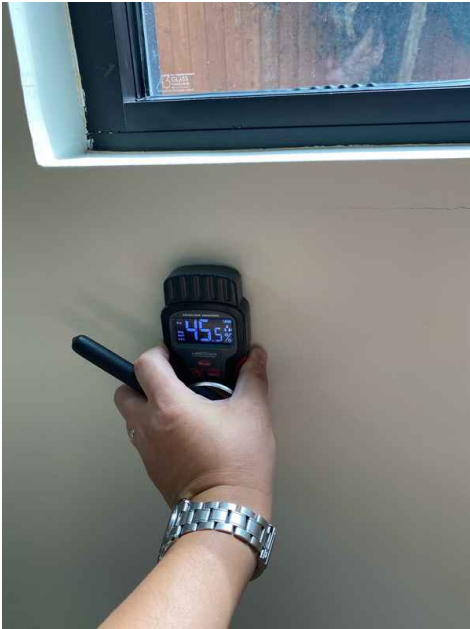
Moisture levels needed for mold growth vary with the type of mold and is dependent on the building material. The inspector uses industry guidelines in determining if moisture levels are excessive. Generally, any interior building materials with a moisture content greater than 15-20% are cause for further investigation.

Mold can form after the inspection on items that were recently wet; conditions may not allow the inspector to see the mold at the time of inspection.

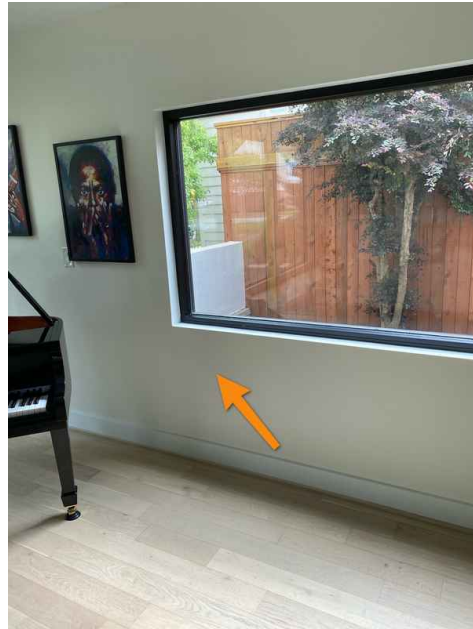
The moisture source should be identified and corrected by qualified contractors. Any mold remediation that is needed should be performed by a Licensed Mold Remediation Contractor under the supervision of an Industrial Hygienist or licensed Mold Assessment Consultant.

Recommendation

Contact a qualified professional.



Under the Living room window



Under the Living Room window



Opposite side of the wall/ possible previous repair

5.14.1 Plumbing Issues

**PLUMBING PROBLEM**

Tub/Shower Enclosure Issues, Possible toilet leaks

Plumbing issues can cause excessive moisture in the home, which can promote mold growth. Further evaluation and correction by a qualified plumbing professional is recommended.

Recommendation

Contact a qualified plumbing contractor.



Primary Bathroom Shower



1st Floor Half Bathroom