



BUILDING ENVELOPE MOISTURE INSPECTION

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Houston, TX 77005

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Thank you for choosing Bryan & Bryan Inspections

This is your Stucco Moisture Inspection. The purpose of this moisture inspection is to help assess the condition of the stucco system by looking for visible installation flaws, inadequate water diversion, sealant failures, and conduct random moisture readings by using electronic moisture scan devices.

Please review the report and let us know if you have any further questions. The browser-based version uses advanced web features to allow for easier navigation and expanded photographs. The PDF menu on this webpage includes a version titled "Full Report". Please review all documents and attachments that were sent to you by the inspector.

This report was prepared for a client in accordance with the client's requirements. The report addresses a single system or component and is not intended as a substitute for a complete standard inspection of the property. Standard inspections performed by a license holder and reported on a Texas Real Estate Commission promulgated report form may contain additional information a buyer should consider in making a decision to purchase.

1: INFORMATION

	A	RR	NA	NP
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A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Type of Building

Single Family

Number of Stories

3

Year Built

1980

Occupancy

Occupied, Furnished

Weather Conditions

Cloudy

Temperature (approximate)

84 Fahrenheit (F)



Last Rain

More than 3 Days

Wall Cladding

Stucco

Substrate Type

Pywood/OSB

Type of Window

Metal

Specialty Equipment Used

Infrared (IR) Camera, Delmorst Tech Check Plus, AccuMaster DuoPro Moisture Meter

Invasive Inspection Substrate Note

The condition of the substrate is very important to determine how the stucco or EIFS wall is performing. The substrate is the plywood or OSB that is behind the stucco. This is one of the main reasons for probe testing. This test determines if the substrate is Firm or Soft. If the substrate is firm then the wall system is working and moisture that may be

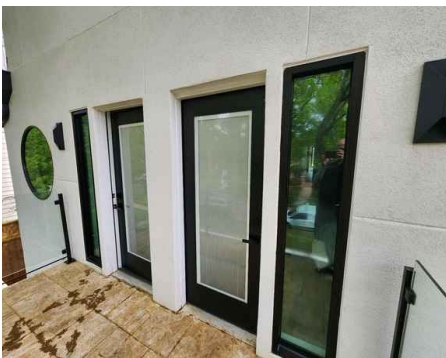
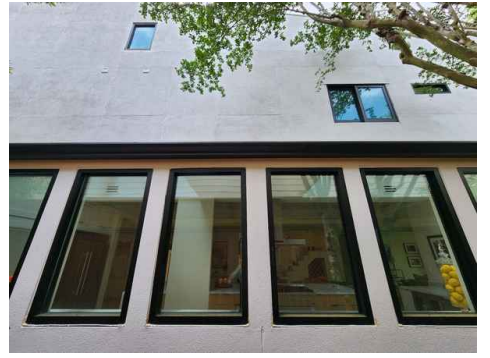
present at the time of inspection does eventually dry. On the other hand if the substrate is soft it would indicate moisture that has gotten behind the stucco or EIFS does not escape and just sits there. When the probe test confirms soft substrate it generally means the wall cladding will have to be removed and rebuilt by a stucco contractor. If the substrate is firm with elevated moisture readings at the time of inspection then it may need caulking and sealing to be performed to help prevent future moisture from entering the wall.

Important Note: The test equipment is used to help locate problem areas and provide useful data for identifying possible problems. It is possible that concealed building materials within wall cavities can cause false readings and measurements. Thus we do not rely solely upon our tools when making our determinations. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. This information is then used to help determine potential problem areas which may warrant more investigation.

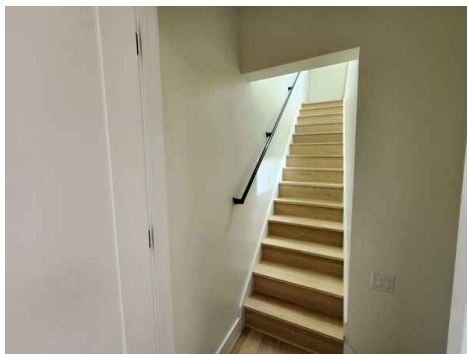
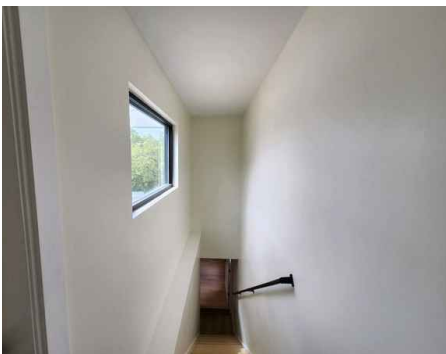
Test Equipment	Test Range
Moisture Probe	Acceptable 0-14% Elevated 15-19% Saturated 20% and greater

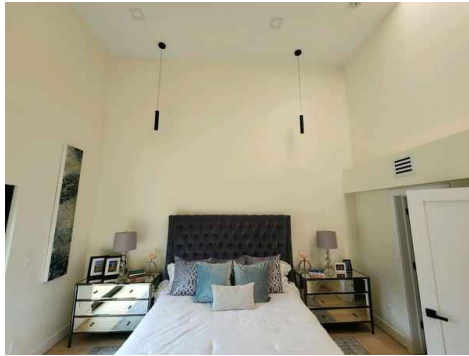
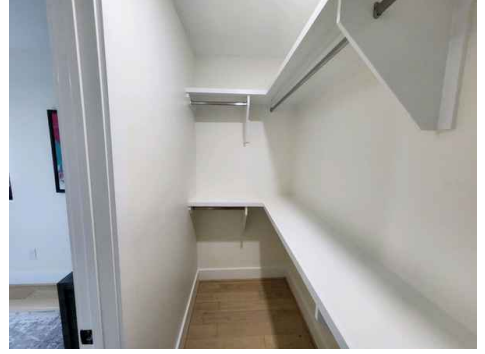
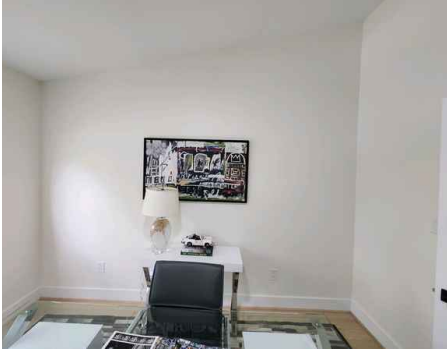
Exterior Photos

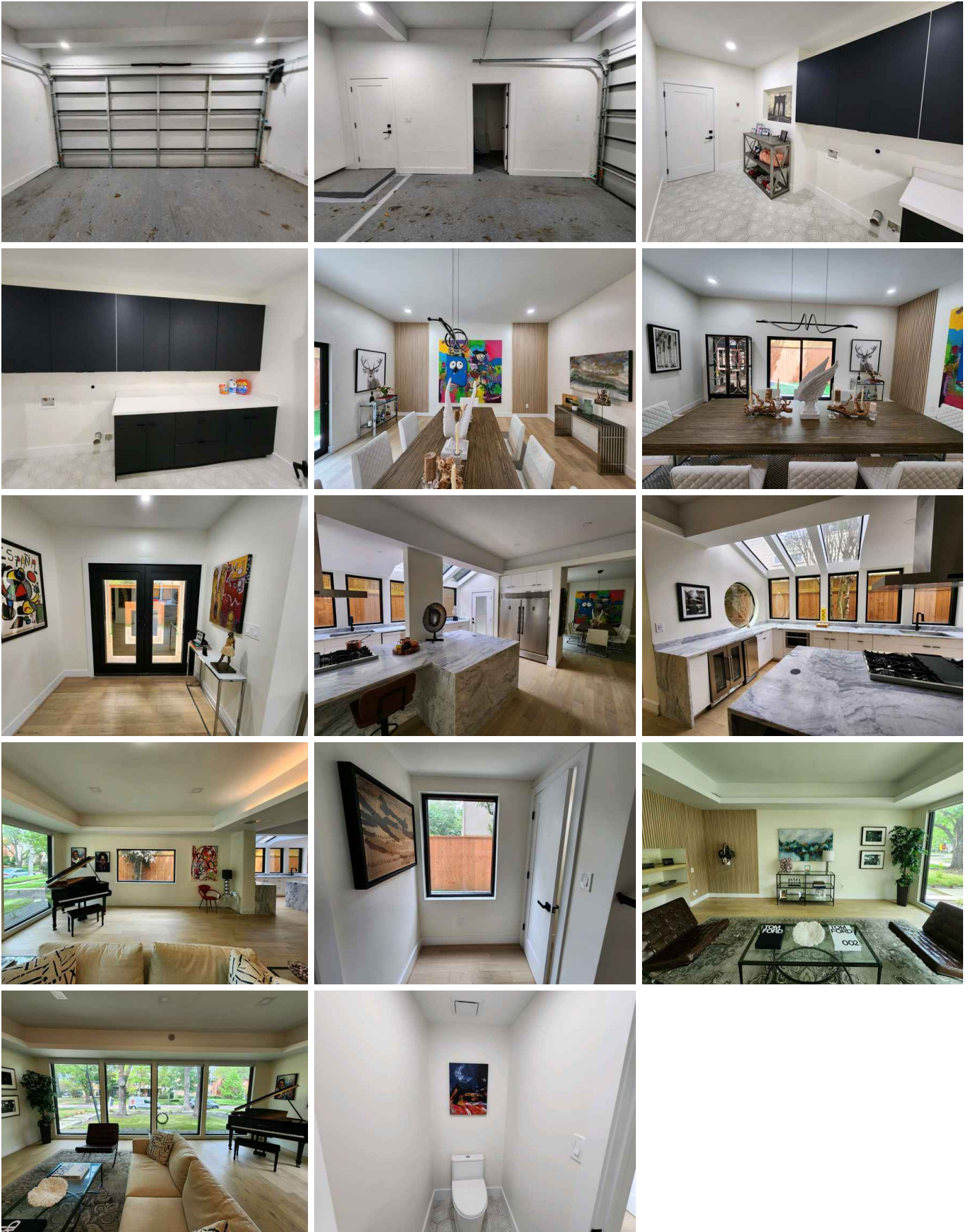




Interior Photos

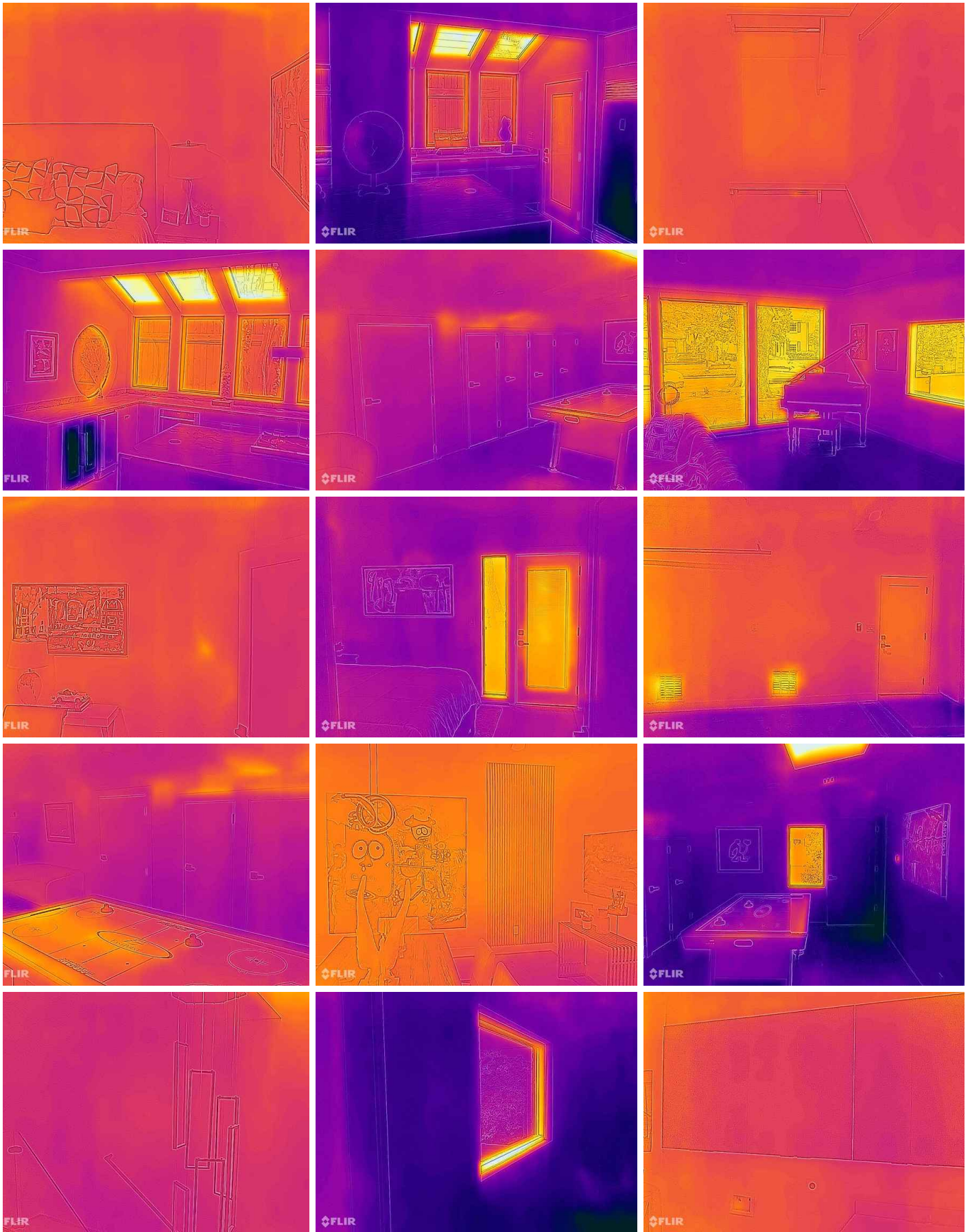


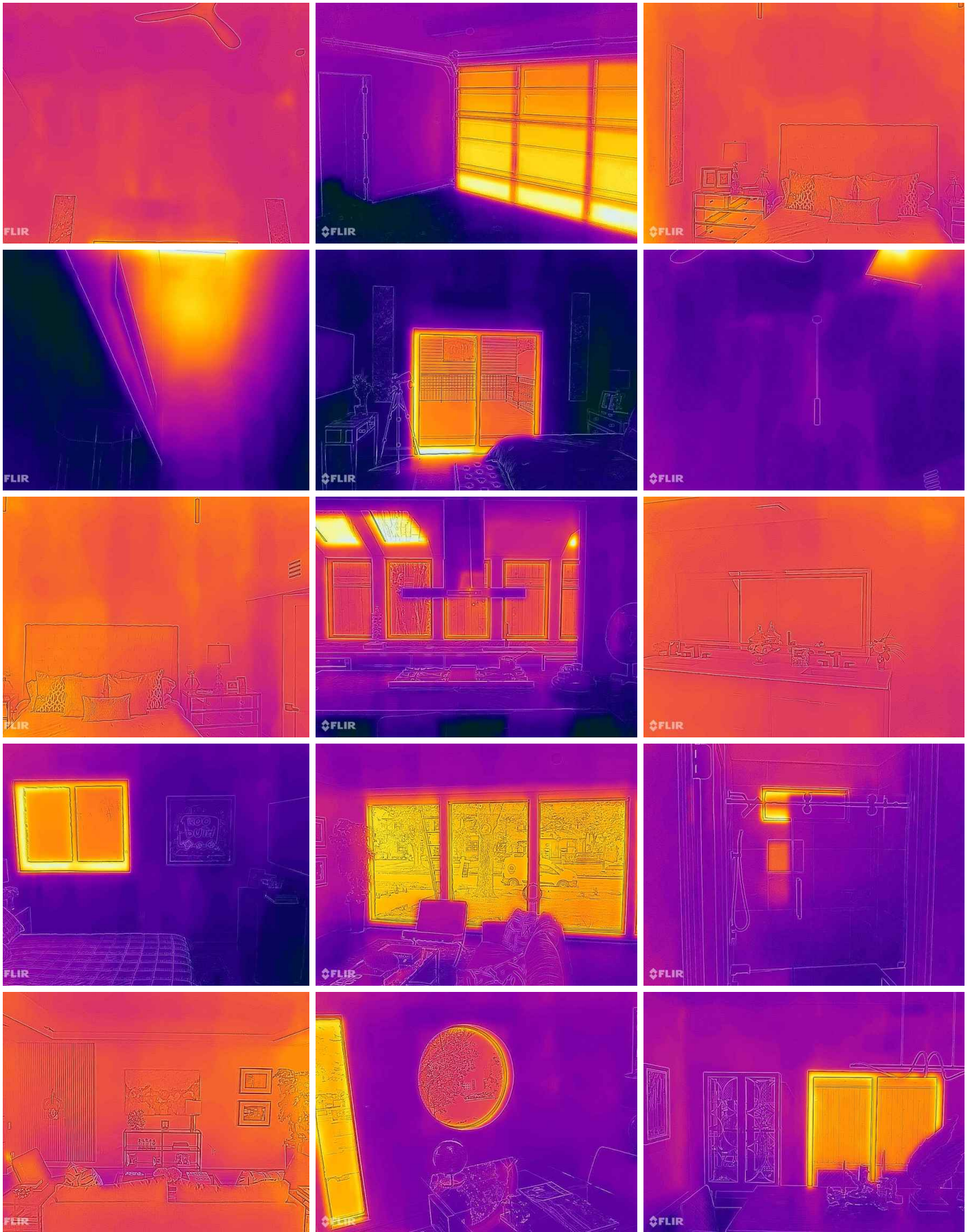




Thermal images of interior walls with stucco exteriors

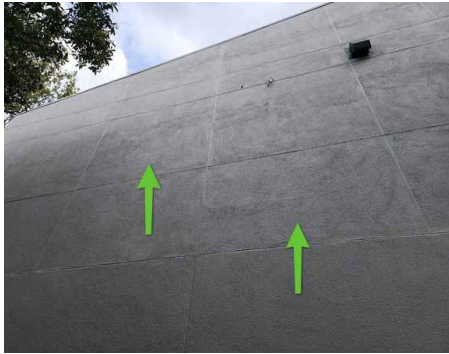




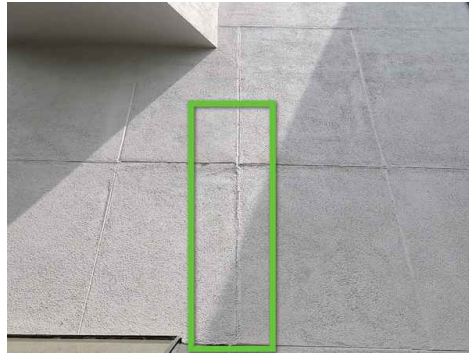




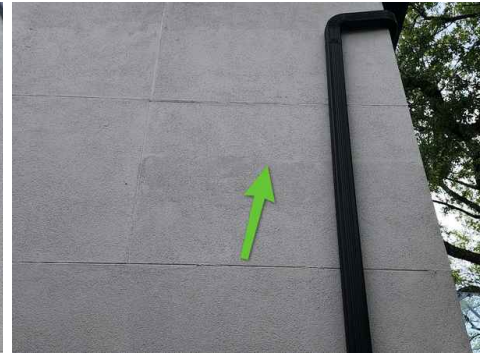
Previous Repairs



Right Elevation



Right Elevation



Left Elevation



Rear Elevation



Painted Mesh: Left Elevation

Limitations

General

STORAGE ITEMS/OCCUPIED HOME

The home was occupied at the time of inspection. The inspector does not move storage items or furnishings that prevent the visual observation of components. Items blocked by storage/furnishing are not inspected.

General

ROOF ACCESS LIMITED

Due to height, steepness, condition of the roof, type of roofing, material, and/or inclement weather the roof and stucco accessible from the roof could not be closely inspected.

2: FRONT ELEVATION

		A	RR	NA	NP
2.1	Photo of elevation with test sites		X		
2.2	Test Site 1		X		
2.3	Test Site 2		X		
2.4	Test Site 3		X		
2.5	Test Site 4		X		
2.6	Test Site 5		X		
2.7	Test Site 6		X		

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Photo of elevation with test sites:
Photo of Elevation



Observations

2.1.1 Photo of elevation with test sites

 **Repair Recommended**

DETERIORATED SITES

Test Sites	%	Substrate Condition
1	None Taken	Soft

Recommendation

Contact a qualified professional.

2.1.2 Photo of elevation with test sites

**ELEVATED SITES**

MULTIPLE LOCATIONS

Test Site	%	Substrate Condition
2	31% (Saturated)	Firm
3	54% (Saturated)	Firm
4	21% (Saturated)	Firm
5	24% (Saturated)	Firm
6	55% (Saturated)	Firm

Recommendation

Contact a qualified professional.

3: RIGHT ELEVATION

		A	RR	NA	NP
3.1	Photo of elevation with test sites		X		
3.2	Test Site 1		X		
3.3	Test Site 2		X		
3.4	Test Site 3		X		
3.5	Test Site 4		X		
3.6	Test Site 5		X		
3.7	Test Site 6	X			
3.8	Test Site 7		X		
3.9	Test Site 8	X			

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Photo of elevation with test sites: Photo of Elevation



Observations

3.1.1 Photo of elevation with test sites

Maintenance Item

ELEVATED SITES

MULTIPLE LOCATIONS

Test Site	%	Substrate Condition
1	25% (Saturated)	Firm
2	33% (Saturated)	Firm
3	24% (Saturated)	Firm
4	21% (Saturated)	Firm
5	26% (Saturated)	Firm
7	23% (Saturated)	Firm

Recommendation

Contact a qualified professional.

3.1.2 Photo of elevation with test sites



ACCEPTABLE SITES

MULTIPLE LOCATIONS

Test Sites	%	Substrate Condition
6	14%	Firm
8	12%	Firm

Recommendation

Contact a qualified professional.

4: REAR ELEVATION

		A	RR	NA	NP
4.1	Photo of elevation with test sites		X		
4.2	Test Site 1		X		
4.3	Test Site 2	X			
4.4	Test Site 3		X		
4.5	Test Site 4		X		
4.6	Test Site 5		X		

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Photo of elevation with test sites: Photo of Elevation



Observations

4.1.1 Photo of elevation with test sites

Maintenance Item

ELEVATED SITES

MULTIPLE LOCATIONS

Test Site	%	Substrate Condition
1	19%	Firm
3	24% (Saturated)	Firm
4	17%	Firm
5	21% (Saturated)	Firm

Recommendation

Contact a qualified professional.

4.1.2 Photo of elevation with test sites

 General Notes

ACCEPTABLE SITES

Test Sites	%	Substrate Condition
2	14%	Firm

Recommendation

Contact a qualified professional.

5: LEFT ELEVATION

		A	RR	NA	NP
5.1	Photo of elevation with test sites		X		
5.2	Test Site 1		X		
5.3	Test Site 2		X		
5.4	Test Site 3		X		
5.5	Test Site 4		X		
5.6	Test Site 5		X		
5.7	Test Site 6		X		
5.8	Test Site 7		X		
5.9	Test Site 8		X		
5.10	Test Site 9		X		
5.11	Test Site 10		X		
5.12	Test Site 11	X			

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Photo of elevation with test sites: Photo of Elevation



Observations

5.1.1 Photo of elevation with test sites

 Repair Recommended

DETERIORATED SITES

MULTIPLE LOCATIONS

Test Sites	%	Substrate Condition
1	None Taken	Soft
6	None Taken	Soft

Recommendation

Contact a qualified professional.

5.1.2 Photo of elevation with test sites

 Maintenance Item

ELEVATED SITES

MULTIPLE LOCATIONS

Test Site	%	Substrate Condition
2	15%	Firm
3	29% (Saturated)	Firm
4	22% (Saturated)	Firm
5	21% (Saturated)	Firm
7	18%	Firm
8	27% (Saturated)	Firm
9	29% (Saturated)	Firm
10	21% (Saturated)	Firm

Recommendation

Contact a qualified professional.

5.1.3 Photo of elevation with test sites

 General Notes

ACCEPTABLE SITES

Test Sites	%	Substrate Condition
11	13	Firm

Recommendation

Contact a qualified professional.

6: TERRACE ELEVATION

		A	RR	NA	NP
6.1	Photo of elevation with test sites		X		
6.2	Test Site 1		X		
6.3	Test Site 2		X		

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Photo of elevation with test sites:

Photo of Elevation



Observations

6.1.1 Photo of elevation with test sites

 Maintenance Item

ELEVATED SITES

MULTIPLE LOCATIONS

Test Site	%	Substrate Condition
1	15%	Firm
2	16%	Firm

Recommendation

Contact a qualified professional.

7: GENERAL

		A	RR	NA	NP
7.1	Visible Cracking or Damage		X		
7.2	Flat Accents	X			
7.3	Sprinkler System	X			
7.4	Gutters	X			
7.5	Foliage	X			

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Limitations

Gutters

GUTTER HEIGHT: LIMITED VIEW

Due to the height of the gutters it could not be determined if they are clogged or not. Recommend cleaning out gutters as a regular maintenance item.

Observations

7.1.1 Visible Cracking or Damage

 Maintenance Item

CRACKED OR DAMAGED STUCCO

MULTIPLE LOCATIONS

There are multiple hairline cracks at the exterior stucco material. These cracks may be an indication of poor fastener patterns in the lathe supporting the stucco or be caused by typical settlement . Repairs may be necessary to prevent moisture intrusion and further cracking.

Recommendation

Contact a qualified professional.



Discoloration: Front Elevation



Right Elevation



Rear Elevation



Front Elevation



Right Elevation

7.1.2 Visible Cracking or Damage

 Repair Recommended

RUSTING AGGREGATES AND ACCESSORIES

MULTIPLE LOCATIONS

There is visible rusting on or in the Stucco material near metal components such as near windows and the bottom of the wall. This may indicate long term moisture contact. Recommend modifying or repairing these areas by a stucco contractor.

Recommendation

Contact a qualified professional.



Right Elevation



Right Elevation



Right Elevation



Left Elevation

8: SEALANT

		A	RR	NA	NP
8.1	Wall Penetrations		X		
8.2	Window/Door Frames		X		
8.3	Fascia and Frieze Boards			X	

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Observations

8.1.1 Wall Penetrations

 Maintenance Item

MISSING OR DETERIORATED SEALANT

MULTIPLE LOCATIONS

Missing or deteriorated sealant was observed at one or more wall penetrations or items that are mounted to the walls. Sealing anything that is mounted to or passes through the walls to help prevent moisture intrusion is recommended.

Recommendation

Contact a stucco repair contractor



Right Elevation



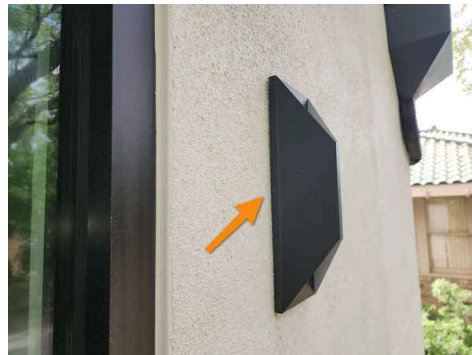
Right Elevation



Left Elevation



Front Elevation



Front Elevation

8.2.1 Window/Door Frames

 Maintenance Item

DAMAGED/DETERIORATED SEALANT

MULTIPLE LOCATIONS

Sealant was damaged or deteriorated around the door/window frames. Damaged or deteriorated sealant can lead to moisture intrusion.

Recommendation

Contact a qualified professional.



Front Elevation



Front Elevation



Right Elevation



Right Elevation



Right Elevation



Left Elevation



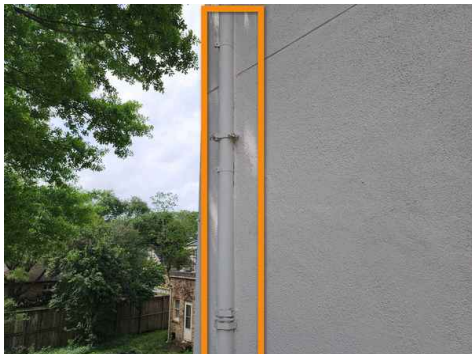
Left Elevation



Left Elevation



Left Elevation



Rear Elevation



Left Elevation

8.2.2 Window/Door Frames

STUCCO INSTALLED UP TO WINDOW/DOOR FRAME

Stucco/EIFS was installed directly against window/door frame. Current building standards call for a proper caulk joint between the cladding and the window/door frame.

Recommendation

Contact a stucco repair contractor



Front Elevation

9: FLASHING

		A	RR	NA	NP
9.1	Kick-outs and Diverters	X			
9.2	Parapet Wall Cap Flashings	X			
9.3	Window/Door Headers	X			

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

10: TERMINATION

		A	RR	NA	NP
10.1	At Roofline	X			
10.2	At Grade and Flatwork		X		
10.3	Transition joints (stucco to brick, etc.)			X	
10.4	Expansion joints/ Control joints		X		
10.5	Provisions for Drainage		X		

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Observations

10.2.1 At Grade and Flatwork

 Maintenance Item

STUCCO IN CONTACT WITH GRADE OR FLAT WORK

MULTIPLE LOCATIONS

Stucco is touching flat work or grading. Stucco should terminate above flat work or grading to prevent moisture wicking up into the wall. Modification by a stucco contractor is recommended.

Recommendation

Contact a stucco repair contractor



Right Elevation



Right Elevation



Left Elevation



Front Elevation



Rear Elevation

10.4.1 Expansion joints/ Control joints

MISSING/INADEQUATE EXPANSION/TRANSITION JOINTS

Expansion/Transition joints are required a maximum spacing in walls of 18 ft o/c both horizontally and vertically enclosing an area no more than 144 sf.

Recommendation

Contact a qualified professional.

Maintenance Item



Caulked Over: Terrace

10.5.1 Provisions for Drainage

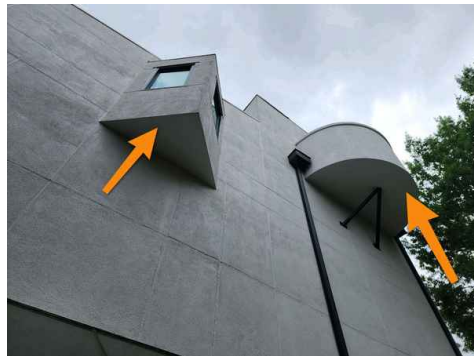
MISSING DRAINAGE

A relief or drainage track was missing. Current building standards call for some type of drainage to be installed. Without some type of drainage any moisture that gets behind the stucco will be trapped and prematurely deteriorate the wooden beams.

Recommendation

Contact a stucco repair contractor

Maintenance Item



Right Elevation



Left Elevation



Terrace

11: INTERIOR

		A	RR	NA	NP
11.1	Interior Observation		X		

A = Acceptable RR = Repair/Recommendation NA = Not Applicable NP = Not Present

Information

Interior Observation: Interior Wall Covering Type
Drywall

Interior Observation: Test Type
Surface Test, Visual Inspection, Infrared Camera

Observations

11.1.1 Interior Observation

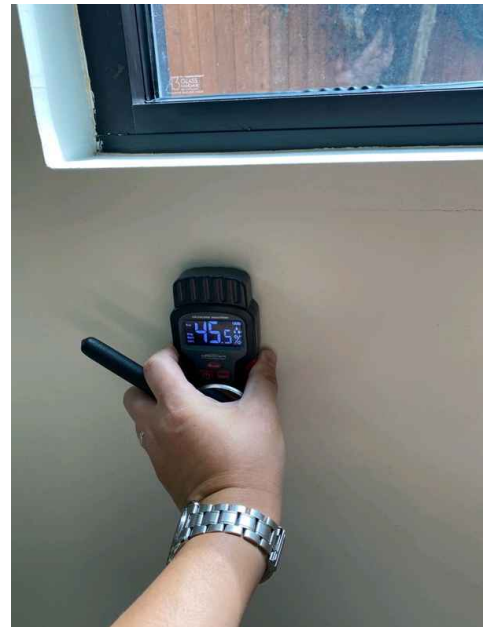
MOISTURE READING LEVEL: ELEVATED

Elevated moisture levels for standard building materials generally fall within the range of 15-19%.

Recommendation

Contact a stucco repair contractor

 Maintenance Item



12: SUMMARY

		A	RR	NA	NP
12.1	Repair recommendations		X		

A = Acceptable

RR = Repair/Recommendation

NA = Not Applicable

NP = Not Present

Limitations

General

HEIGHT LIMITATIONS

Bryan and Bryan Inspections stucco inspectors carry 24 foot ladders, and anything greater will require scaffolding. Any area of the structure unsafe to reach from our ladders is considered inaccessible and cannot be fully tested.

General

ROOF ACCESS

In the inspectors reasonable judgement, areas of the roof were not accessible due to height, steepness, and/or roofing material.

Observations

12.1.1 Repair recommendations



Maintenance Item

INSPECTOR OBSERVATIONS AND RECOMMENDATIONS

This section is a summary of the report and should not be read as a replacement for reading the report in its entirety.

The following issues were seen by the inspectors at the time of inspection.

Recommendation

Contact a qualified professional.

12.1.2 Repair recommendations



Maintenance Item

SOFT OR UNDETECTED SUBSTRATE

The following areas have soft or severely deteriorated substrate:

Front Elevation Site(s): 1

Left Elevation Site(s): 1, 6

The substrate appears soft or severely deteriorated indicating the wall is not performing as intended. A small area of stucco should be removed in this area to verify the inspectors findings and the damaged substrate should be repaired. Further evaluation by a stucco contractor to determine the best method of remedy is recommended. All repairs should be performed by qualified contractors according to industry standard installation instructions.

Recommendation

Contact a qualified professional.

12.1.3 Repair recommendations

**CRACKS**

Hairline cracks are common but can lead to moisture intrusion. Cracks in the stucco walls can be caused by the shifting and movement within the home and or cement slab.

To repair these types of cracks is as follows.

1. Apply a base coat adhesive mixed with Portland cement over the entire wall section showing cracks to the nearest control joint.
2. With base coat cement still wet, embed a fiber mesh over the area that the base coat has been applied to using a metal trowel and let dry overnight.
3. This process allows the base coat mixture to seep into and fill the cracks within the stucco cladding. The fiber mesh allows the wall to stay flexible to movement and less susceptible to cracks reappearing over time.
4. Once dry, apply new texture to the entire panel of the cracked area from joint to closest joint.

All repairs should be performed by qualified contractors according to industry standard installation instructions.

Recommendation

Contact a qualified professional.

12.1.4 Repair recommendations

**RUSTING AGGREGATES OR ACCESSORIES**

Rusting aggregates and accessories should be repaired/replace and the source of the moisture should be remedied to prevent further moisture intrusion and damage. All repairs should be performed by qualified contractors according to industry standard installation instructions.

Recommendation

Contact a qualified professional.

12.1.5 Repair recommendations

**SEALANT**

Missing, damaged, and deteriorated sealant should be removed and replaced to prevent moisture intrusion. The lifespan of most sealants suitable for stucco is **18 to 24 months in high-UV exposure (up to 36 months in low-UV exposure) and should be replaced on a maintenance schedule that reflects that lifespan.** All repairs should be performed by qualified contractors according to industry standard installation instructions.

Recommendation

Contact a qualified professional.

12.1.6 Repair recommendations

**DRAINAGE PROVISIONS AT BALCONIES/OVERHANGS**

Drainage provisions or Relief cuts should be installed at all balconies and overhangs to prevent water accumulation at these locations. Without these provisions, the accumulation of moisture can lead to deterioration of the wooden structure of the building. All repairs should be performed by qualified contractors according to industry standard installation instructions.

Recommendation

Contact a qualified professional.