

ADDRESS : 4624 MAGGIE STREET
HOUSTON, TEXAS 77051

CLIENT : CORNERSTONE CAPITAL
GROUP, INC.

BUYER : -

LENDER : -

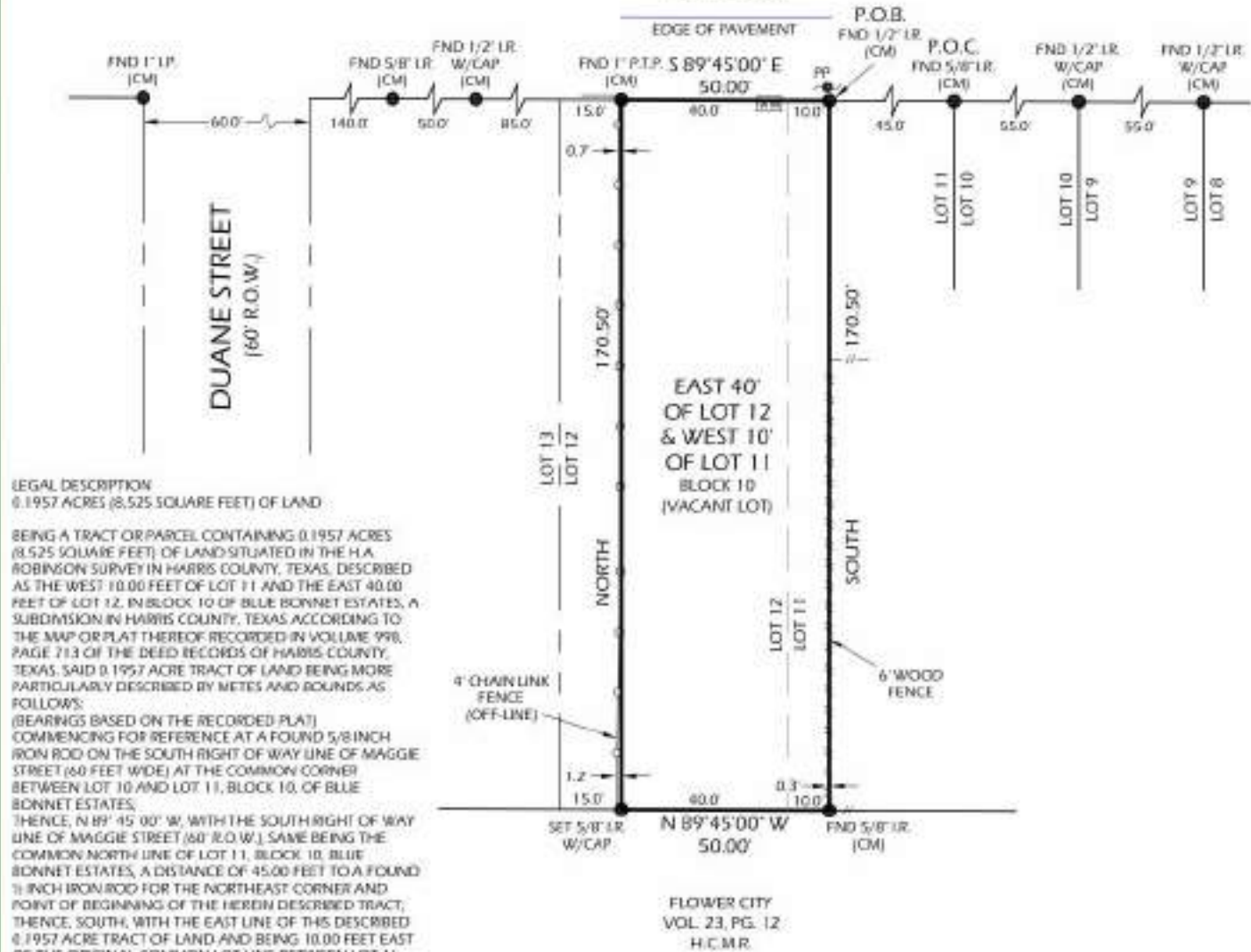
A STANDARD LAND SURVEY OF

WEST 10 FEET OF LOT 11 & EAST 40 FEET OF LOT 12, IN BLOCK 10 OF BLUE BONNET ESTATES, A SUBDIVISION IN HARRIS COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 99B, PAGE 713, OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS SHOWN.

(BEARINGS BASED ON RECORDED PLAT)

MAGGIE STREET

(PLATTED AS CHRISTOPHER AVENUE)
(60' R.O.W.)



LEGAL DESCRIPTION
0.1957 ACRES (8,525 SQUARE FEET) OF LAND

BEING A TRACT OR PARCEL CONTAINING 0.1957 ACRES (8,525 SQUARE FEET) OF LAND SITUATED IN THE H.A. ROBINSON SURVEY IN HARRIS COUNTY, TEXAS, DESCRIBED AS THE WEST 10.00 FEET OF LOT 11 AND THE EAST 40.00 FEET OF LOT 12, IN BLOCK 10 OF BLUE BONNET ESTATES, A SUBDIVISION IN HARRIS COUNTY, TEXAS ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 99B, PAGE 713 OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS, SAID 0.1957 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

(BEARINGS BASED ON THE RECORDED PLAT)
COMMENCING FOR REFERENCE AT A FOUND 5/8 INCH IRON ROD ON THE SOUTH RIGHT OF WAY LINE OF MAGGIE STREET (60 FEET WIDE) AT THE COMMON CORNER BETWEEN LOT 10 AND LOT 11, BLOCK 10, OF BLUE BONNET ESTATES;

THENCE, N 89° 45' 00" W, WITH THE SOUTH RIGHT OF WAY LINE OF MAGGIE STREET (60' R.O.W.), SAME BEING THE COMMON NORTH LINE OF LOT 11, BLOCK 10, BLUE BONNET ESTATES, A DISTANCE OF 45.00 FEET TO A FOUND 1/2 INCH IRON ROD FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH, WITH THE EAST LINE OF THIS DESCRIBED 0.1957 ACRE TRACT OF LAND AND BEING 10.00 FEET EAST OF THE ORIGINAL COMMON LOT LINE BETWEEN LOT 11 AND LOT 12, BLOCK 10 OF BLUE BONNET ESTATES, A DISTANCE OF 170.50 FEET TO A FOUND 5/8 INCH IRON ROD FOR THE SOUTHEAST CORNER;

THENCE, N 89° 45' 00" W, WITH THE SOUTH LINE OF THE HEREIN DESCRIBED 0.1957 ACRE TRACT AND THE ORIGINAL LOT 11 AND LOT 12, BLOCK 10 BLUE BONNET ESTATES, SAME BEING THE COMMON NORTH LINE OF LOT 12 AND LOT 13, BLOCK 1, OF FLOWER CITY SUBDIVISION RECORDED IN VOLUME 23, PAGE 12, HARRIS COUNTY MAP RECORDS, A DISTANCE OF 50.00 FEET TO A SET 5/8 INCH IRON ROD WITH CAP (GREENLEAF) FOR THE SOUTHWEST CORNER;

THENCE, NORTH, WITH THE WEST LINE OF THIS DESCRIBED 0.1957 ACRE TRACT OF LAND, AND BEING 15.00 FEET EAST OF THE ORIGINAL LOT LINE BETWEEN LOT 12 AND LOT 13, BLOCK 10, BLUE BONNET ESTATES, A DISTANCE OF 170.50 FEET TO A FOUND 1 INCH PINCHED TOP PIPE (P.T.P.) FOR THE NORTHWEST CORNER;

THENCE, S 89° 45' 00" E, WITH THE NORTH LINE OF THE HEREIN DESCRIBED TRACT, SAME BEING THE COMMON SOUTH RIGHT OF WAY LINE OF MAGGIE STREET (60' R.O.W.), A DISTANCE OF 50.00 FEET TO THE PLACE OF BEGINNING AND CONTAINING 0.1957 ACRES (8,525 SQUARE FEET) OF LAND.

NOTES

1. SURVEYOR HAS NOT ABSTRACTED PROPERTY, SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT, AND IS BASED ON LEGAL DESCRIPTION(S) PROVIDED BY CLIENT; THERE MAY BE ADDITIONAL BUILDING LINES AND/OR EASEMENTS AFFECTING SUBJECT PROPERTY; ALL BUILDING LINES AND/OR EASEMENTS SHOWN HEREON ARE PER RECORDED PLAT UNLESS OTHERWISE SHOWN.
2. NOTHING IN THIS SURVEY IS INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
3. THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF.
4. SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY; IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
5. THIS SURVEY IS BEING PROVIDED SOLELY FOR THE USE OF THE CURRENT PARTIES AND NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED, TO COPY THE SURVEY EXCEPT AS IS NECESSARY IN CONJUNCTION WITH THE ORIGINAL TRANSACTION.



SCALE : 1"=40'

DATE: 10-24-18

REVISION:

DRAWN BY: AFB

APPROVED BY: DWG

PROJECT NO: GL-GV314

LEGEND:

H.C.M.R. - HARRIS COUNTY MAP RECORD
H.C.D.R. - HARRIS COUNTY DEED RECORD
H.C.C.F. - HARRIS COUNTY CLERK FILE
R.O.W. - RIGHT OF WAY
CM - CONTROL MONUMENT
I.R./I.P. - IRON ROD/IRON PIPE
WM - WATER METER
PP - POWER POLE

DANIEL W. GOODALE, R.P.L.S. NO. 4919

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND UNDER MY SUPERVISION AND THAT IT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THE SURVEY. THERE WERE NO ENCROACHMENTS APPARENT ON THE GROUND EXCEPT AS SHOWN HEREON.



FLOOD INFORMATION

PROPERTY IS NOT IN THE 100 YEAR FLOOD ZONE. THIS PROPERTY LIES IN ZONE 'X' ACCORDING TO F.L.R.M. MAP NO. 482010090L DATED 6-18-2007.

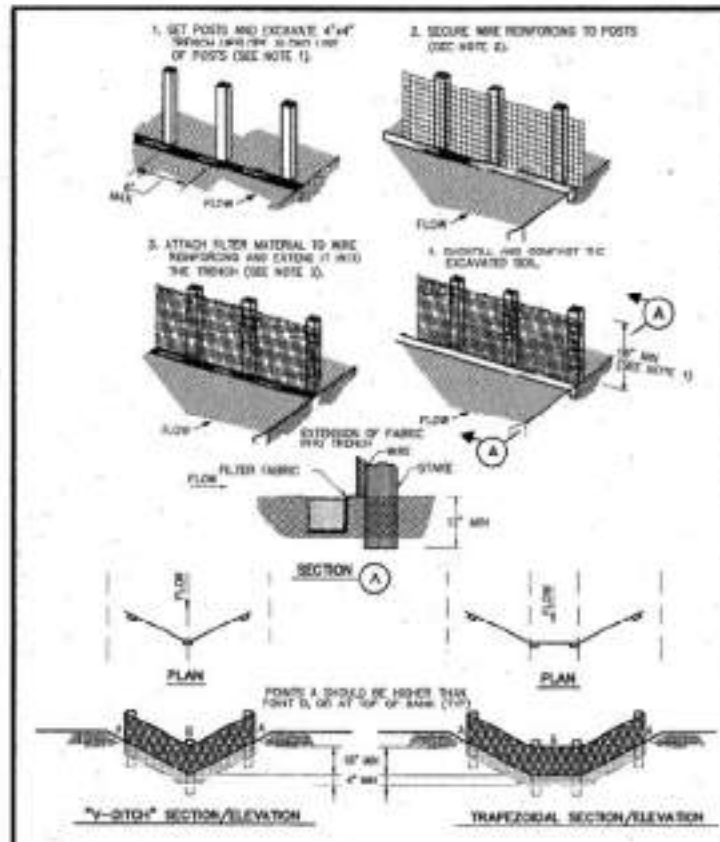
BY GRAPHIC PLOTTING ONLY, WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION. BEFORE ANY DEVELOPMENT PLANNING, DESIGN, OR CONSTRUCTION IS STARTED, THE COMMUNITY, CITY AND COUNTY IN WHICH SUBJECT TRACT EXISTS SHOULD BE CONTACTED. SAID ENTITIES MAY IMPOSE LARGER FLOOD PLAIN AND FLOODWAY AREAS THAN SHOWN BY F.L.R.M. MAPS THAT WILL AFFECT DEVELOPMENT.

GREENLEAF LAND SURVEYS, LLC
10900 NORTHWEST FWY
SUITE # 129
HOUSTON, TEXAS 77092



DIR: 832-668-5003 FAX: 832-553-7210
FIRM # 10193977
orders@gllsurveys.com
www.greenleaflandsurveys.com

Performance of this work shall not release the applicant's responsibility to comply with applicable codes and regulations.

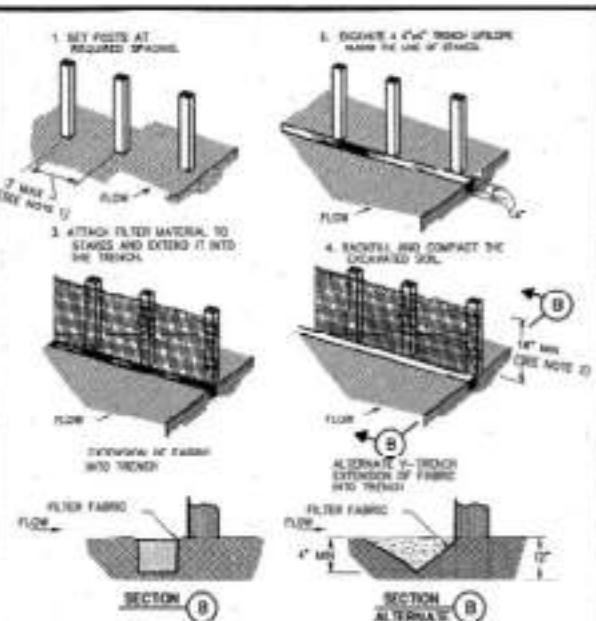


CONSTRUCTION NOTES:

1. SET 2 INCH BY 2 INCH WOODEN STAKES A MAX OF 5 FEET APART AND EMBEDDED A MIN OF 6 INCHES.
2. WHEN WIRE REINFORCING IS TO BE FASTENED SECURELY TO BARRIER POSTS USE STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE REINFORCING, WITH 1/2" SPACES EVERY 24 INCHES AT TOP AND MIDSECTION.
4. MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 8 INCHES AT THE POSTS AND FOLDED.
6. SEE CDM STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.



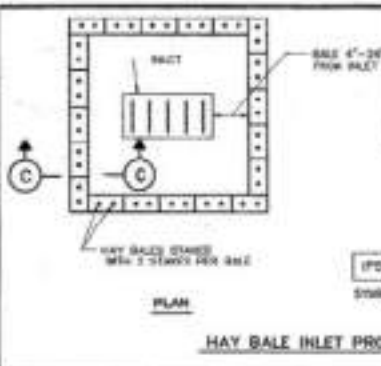
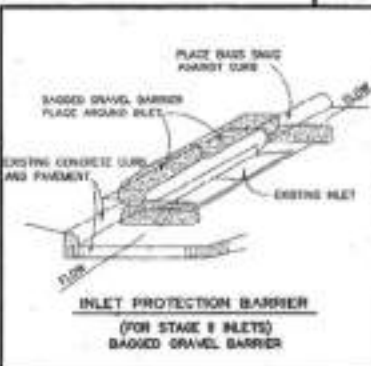
REINFORCED FILTER FABRIC BARRIER



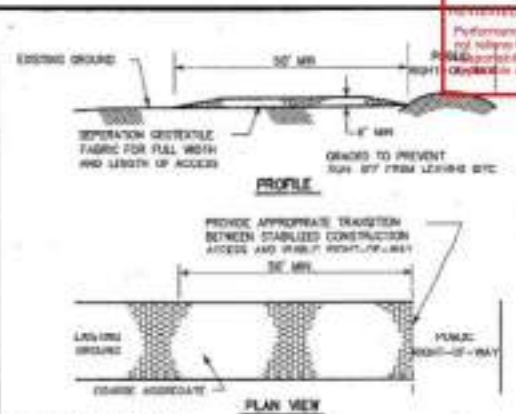
CONSTRUCTION NOTES:

1. 2 INCH 1/2 INCH BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 5 FEET AND EMBEDDED A MIN OF 6 INCHES. IF PREASSEMBLED BARRIER METAL SUPPORT SYSTEM IS USED, SPACING OF STAKES MAY BE INCREASED TO 8 FEET MAX.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC BARRIER SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 8 INCHES AT THE POSTS AND FOLDED.
4. SEE CDM STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.

FILTER FABRIC BARRIER



HAY BALE INLET PROTECTION BARRIER

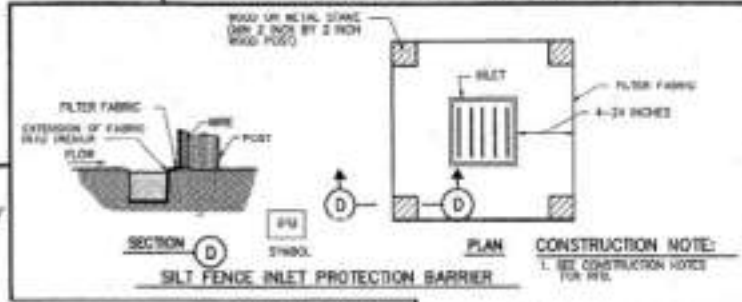


CONSTRUCTION NOTES:

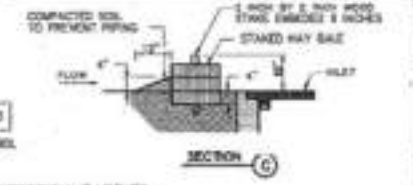
1. LENGTH SHALL BE AS SHOWN OR, ETC. CONSTRUCTION SHOWING, BUT NOT LESS THAN 30 FEET.
2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL PORTS OF BARRIS OR EGRESS.
4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION ACCESS UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
5. STABILIZED AREA MAY BE NEEDED OR LENGTHENED TO ACCOMMODATE A WALKWAY AREA. AN OUTLET EQUIPMENT SHALL NOT BE PROVIDED FOR THE WALKWAY AREA.
6. USE STANDARD SPECIFICATION FOR STABILIZED CONSTRUCTION ACCESS.
7. STABILIZED CONSTRUCTION ACCESS SHALL BE MAINTAINED FREE OF DEBRIS FOR THE DURATION OF THE PROJECT.



STABILIZED CONSTRUCTION ACCESS



SILT FENCE INLET PROTECTION BARRIER



CITY OF HOUSTON
 DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

STORM WATER POLLUTION PREVENTION PLAN DETAILS
 (NOT TO SCALE)

[Signature]
 CITY ENGINEER

[Signature]
 CHIEF OF PUBLIC WORKS AND ENGINEERING

ST-2476-8.17-02-2010 PWD NO. 01571-01

FOR OFFICE USE ONLY

Log Number:	2021-01560	Private Building ILMS Project #:	21080195	Public Plan ILMS Project #:		PW Record Drawing #:	
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The Office of the City Engineer reviews and approves development plans to ensure the proper design and construction of storm sewer utilities in addition to enforcing private storm design criteria and parameters as stated in City of Houston Code of Ordinances and the current City of Houston Infrastructure Design Manual. When a property owner proposes new development or redevelopment of property, the applicant must submit this form with their plans. *Completion of this form does not represent an approval or commitment by the City of Houston. This form is informational only to assist in the review and approval of your plans.*

Fee Simple Title Owner Information		Authorized Representative Information	
Name	TREVOR CHERRY	Name	FRED HARRIS
Company	KYKO GROUP LLC	Company	
Address	4617 MAGGIE STREET	Address	1201 MCGREGOR ST
City, State ZIP	HOUSTON, TEXAS 77051	City, State ZIP	HOUSTON, TEXAS 77031
Phone	8327299430	Phone	4098443929
Email	MVH3@FLASH.NET	Email	RUNPLANS@YAHOO.COM
Signature*		Signature	

* As the fee simple owner of the property referenced in this form, I hereby authorize the referenced representative on this form (if applicable) to submit this form on my behalf. My authorized representative is also approved to make changes or corrections.

Property Information					
Service Address	4619 MAGGIE STREET A				
City	HOUSTON	State	TEXAS	ZIP Code	77051
Property Tax Account Number(s)	0690150070024				
Lot(s)	2	Block	1	Reserve	
Subdivision	CHERRY ESTATES AT MAGGIE STREET		Section		

Development Information							
<i>Provide description of development with associated footprint (in square feet).</i>							
<input checked="" type="checkbox"/>	Single Family Residential Development	<input type="checkbox"/>	Multiple Family Residential Development	<input type="checkbox"/>	Commercial Development	<input type="checkbox"/>	Other
Existing Development:	VACANT						
Development to be Removed:							
Proposed Development:	SINGLE FAMILY RESIDENCE						

Flood Plain Information											
FIRM Panel Number:	48201C0890L										
Property is located within the following FEMA Flood Zone:											
<input type="checkbox"/>	X (shaded)	<input checked="" type="checkbox"/>	X (unshaded)	<input type="checkbox"/>	AE	<input type="checkbox"/>	A	<input type="checkbox"/>	AO	<input type="checkbox"/>	Other:



STORMWATER INFORMATION FORM

PROVIDE FOR COMPLIANCE
 WITH ALL
 REGULATIONS
 12/18/22

Impervious Cover Information

Improvements	Area of Existing Impervious Cover (Sq Ft.)	Area of Final Impervious Cover (Sq Ft.)
Building	0	1200
Parking Lot/Driveway	0	200
Sidewalk/Patio	0	0
Detention Pond	0	0
Pool	0	0
Total Area	0	1400

Tract Size (Square Feet)	2705	Total Impervious Cover (Square Feet)	1400	Percentage of Impervious Cover (%)	51
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Storm Sewer Information

Storm Infrastructure Is Maintained By:

NOTE: Any infrastructure maintained by outside agencies will require their respective approval prior to final City plan approval.

<input checked="" type="checkbox"/>	City of Houston	HCFCD	TXDOT
<input type="checkbox"/>	Clear Lake City Water Authority	Fort Bend County	Montgomery County
<input type="checkbox"/>	Other:		

Proposed Storm Connection Development Will Be Connected To:

<input checked="" type="checkbox"/>	Existing on-site storm sewer system that outfalls to:	MAGGIE STREET	(STREET NAME / PIPE SIZE)
<input checked="" type="checkbox"/>	Public storm sewer located in:	MAGGIE ST	Pipe Size:
		(STREET NAME)	
<input checked="" type="checkbox"/>	Public roadside ditch located in:	MAGGIE ST	(STREET NAME)
<input type="checkbox"/>	Off-Road Ditch/Watershed:		

Detention Criteria

Stormwater detention volume was determined utilizing City of Houston Infrastructure Design Manual:

<input type="checkbox"/>	9.2.01.H.3(b)	<input type="checkbox"/>	9.2.01.H.3(d)	<input type="checkbox"/>	9.2.01.H.3(e)	<input type="checkbox"/>	9.2.01.H.3(f)	<input type="checkbox"/>	9.2.01.H.3(c)
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Documentation

This form must be accompanied with:

<input checked="" type="checkbox"/>	A recorded deed or title report in the owner's name	<input checked="" type="checkbox"/>	HCAD printout	<input checked="" type="checkbox"/>	survey and/or recorded plat
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The applicant can also provide the following documentation if applicable to their project:

<input type="checkbox"/>	Previous Stormwater Letter of Availability	<input type="checkbox"/>	Copy of outside agency approval
<input type="checkbox"/>	Storm Water Quality Permit: Per Section 47-631 of the City of Houston Drainance, SWQ permit is required when the development is meeting the definition of "new development" or "significant redevelopment".		
<input type="checkbox"/>	Drainage Study/Hydraulic Analysis: Please submit Drainage Study when you have more than one (1) section or a larger commercial or subdivision tract. Hard copy must be accompanied with a CD or USB Flash Drive containing the drainage study file.		

Developer Drainage Impact Fee Rate Information

Service Area Rate is per service unit (1 service unit = 1,000 sf of impervious area) of increased impervious area. Please select one.

<input type="checkbox"/>	Clear Creek \$0.43	<input type="checkbox"/>	Greens Bayou \$14.62	<input type="checkbox"/>	Buffalo Bayou \$17.85	<input type="checkbox"/>	Addicks Reservoir \$0.00
<input checked="" type="checkbox"/>	Brays Bayou \$9.41	<input type="checkbox"/>	Hunting Bayou \$11.16	<input type="checkbox"/>	Sims Bayou \$19.31	<input type="checkbox"/>	Barker Reservoir \$0.00
<input type="checkbox"/>	San Jacinto \$0.00	<input type="checkbox"/>	Ship Channel \$0.00	<input type="checkbox"/>	Vince Bayou \$19.31	<input type="checkbox"/>	White Oak Bayou \$17.85

FOR OFFICE USE ONLY

Employee:	Comments:
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21080195

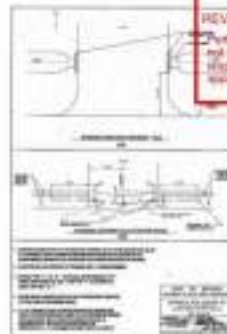
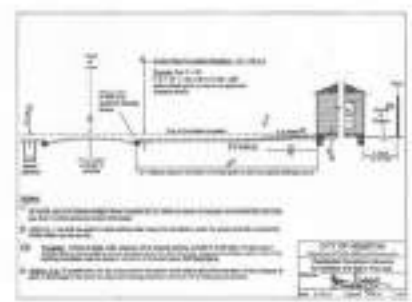
REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/20

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	DATE	BY	REVISION
1	01/11/2021	...	...
2	01/11/2021	...	...
3	01/11/2021	...	...
4	01/11/2021	...	...
5	01/11/2021	...	...
6	01/11/2021	...	...

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 3. ALL DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE.
 4. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE CURB UNLESS NOTED OTHERWISE.
 5. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS NOTED OTHERWISE.
 6. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE SIDEWALK UNLESS NOTED OTHERWISE.
 7. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE DRIVE UNLESS NOTED OTHERWISE.
 8. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE LOT UNLESS NOTED OTHERWISE.
 9. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE STREET UNLESS NOTED OTHERWISE.
 10. ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ALLEY UNLESS NOTED OTHERWISE.



NO.	DESCRIPTION	UNIT	LOAD	UNIT
1	Dead Load	psf	10	10
2	Live Load	psf	40	40
3	Wind Load	psf	15	15
4	Seismic Load	psf	0	0
5	Impact Load	psf	0	0
6	Temperature Load	psf	0	0
7	Soil Load	psf	0	0
8	Other Load	psf	0	0
9	Total Load	psf	65	65

NO.	DESCRIPTION	UNIT	LOAD	UNIT
1	Water Closet	1.0	1.0	1.0
2	Water Closet	1.0	1.0	1.0
3	Water Closet	1.0	1.0	1.0
4	Water Closet	1.0	1.0	1.0
5	Water Closet	1.0	1.0	1.0
6	Water Closet	1.0	1.0	1.0
7	Water Closet	1.0	1.0	1.0
8	Water Closet	1.0	1.0	1.0
9	Water Closet	1.0	1.0	1.0
10	Water Closet	1.0	1.0	1.0
11	Water Closet	1.0	1.0	1.0
12	Water Closet	1.0	1.0	1.0
13	Water Closet	1.0	1.0	1.0
14	Water Closet	1.0	1.0	1.0
15	Water Closet	1.0	1.0	1.0
16	Water Closet	1.0	1.0	1.0
17	Water Closet	1.0	1.0	1.0
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68	Water Closet	1.0	1.0	1.0
69	Water Closet	1.0	1.0	1.0
70	Water Closet	1.0	1.0	1.0
71	Water Closet	1.0	1.0	1.0
72	Water Closet	1.0	1.0	1.0
73	Water Closet	1.0	1.0	1.0
74	Water Closet	1.0	1.0	1.0
75	Water Closet	1.0	1.0	1.0
76	Water Closet	1.0	1.0	1.0
77	Water Closet	1.0	1.0	1.0
78	Water Closet	1.0	1.0	1.0
79	Water Closet	1.0	1.0	1.0
80	Water Closet	1.0	1.0	1.0
81	Water Closet	1.0	1.0	1.0
82	Water Closet	1.0	1.0	1.0
83	Water Closet	1.0	1.0	1.0
84	Water Closet	1.0	1.0	1.0
85	Water Closet	1.0	1.0	1.0
86	Water Closet	1.0	1.0	1.0
87	Water Closet	1.0	1.0	1.0
88	Water Closet	1.0	1.0	1.0
89	Water Closet	1.0	1.0	1.0
90	Water Closet	1.0	1.0	1.0
91	Water Closet	1.0	1.0	1.0
92	Water Closet	1.0	1.0	1.0
93	Water Closet	1.0	1.0	1.0
94	Water Closet	1.0	1.0	1.0
95	Water Closet	1.0	1.0	1.0
96	Water Closet	1.0	1.0	1.0
97	Water Closet	1.0	1.0	1.0
98	Water Closet	1.0	1.0	1.0
99	Water Closet	1.0	1.0	1.0
100	Water Closet	1.0	1.0	1.0

THERE IS NO WORK TO BE DONE ON LOT 1 - THERE IS AN EXISTING RESIDENCE THAT WILL REMAIN

DRIVEWAY CLEARANCE: THE DISTANCE BETWEEN NEIGHBORING CURBS SHALL BE GREATER THAN 8' (8.00').
 ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO THE PROPOSED LOT SHALL BE RELOCATED AND REPLACED WITH NEW CURB AND GUTTER OR REGRADE THE DRIVE ONLY WITH SLOPED GRASS.

ELECTRIC METERS WITH WOOD SCREENING: HEIGHT OF SCREEN WALL, OBSOLETE VIEW OF METERS WITH 3' OF FRONT FACE OF METER AND 2' FOR THE SIDE OF METER.

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA.
 NOTE: MAXIMUM DEVELOPED LENGTH OF PVC FROM METERS TO FURTHEST FIXTURE, APPROX. 150' MAX HEIGHT OF FEATURE, APPROX. 24' ABOVE NATURAL GRADE.
 NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.
 CENTER POINTS NOTE: THE OWNER IS RESPONSIBLE FOR THE CONTACT/RELOCATION PROCESS OF THE GUY WIRE AND THE FEES ASSOCIATED WITH CENTER POINTS. ENOUGH THE OWNER HAS ALREADY CONTACTED CENTER POINTS AND THE LETTER IS UPLOADED.



PROJECT ENGINEER
 Larry Deavers
 FERM F-36177
 11/14/22

PROPOSED RESIDENCES LOCATED AT 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6 HOUSTON, TEXAS

**RESPONSIBILITY FOR MAINTENANCE OF THE DETENTION FACILITY WILL BE BY THE PROPERTY OWNER.
SUBSURFACE DRAINAGE SYSTEM WILL BE DRAINED IN 48 HOURS.**

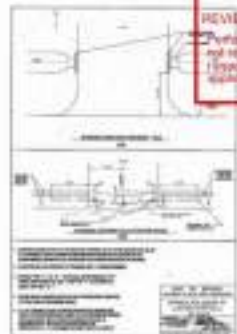
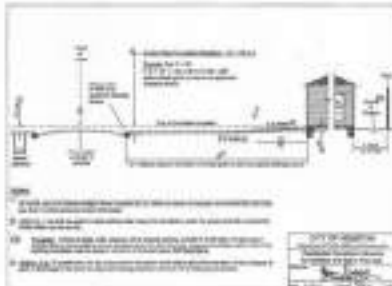


REVIEWED FOR COMPLIANCE
Performance of this review does not release the applicant from full responsibility to comply with all applicable codes and regulations.
12/15/22

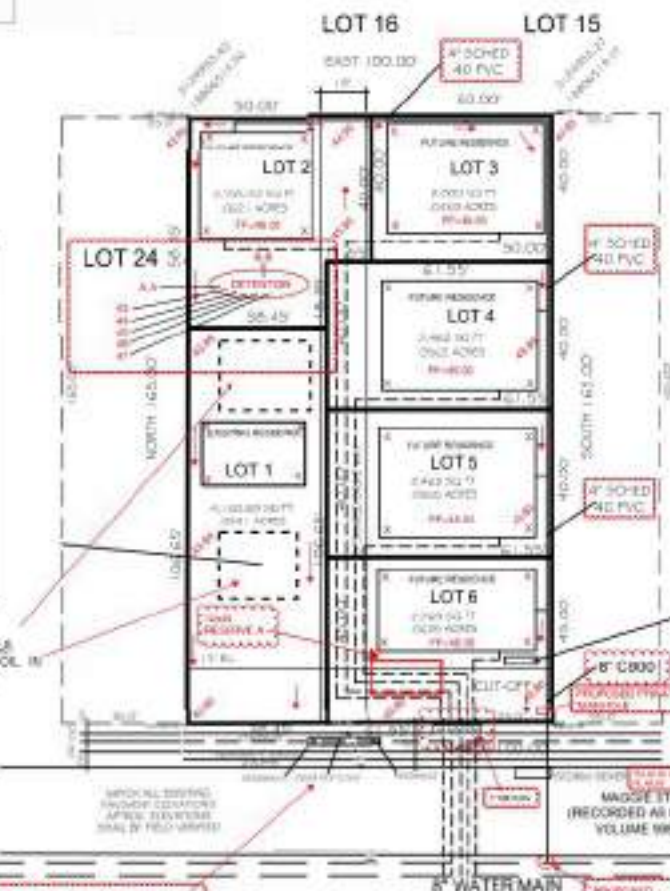
NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	DATE	DESCRIPTION	BY	APP. BY
1	12/15/22	ISSUED FOR PERMITS	...	...
2	12/15/22	...	...	...
3	12/15/22	...	...	...
4	12/15/22	...	...	...
5	12/15/22	...	...	...

NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS FOR SANITARY SEWER COLLECTION SYSTEMS, LATEST EDITION.



PROPOSED DETENTION FACILITY
 FILL VOLUME OF HOUSING DEAR BELOW FLOOD PLANE = 0 CF
 VOLUME OF SHARED DRIVEWAY DEAR BELOW FLOOD PLANE = 0 CF
 VOLUME OF HOUSING DEAR BELOW FLOOD PLANE = 0 CF
 TOTAL ACCUMULATED FILL = 0.00 CF
 TOTAL SOL. REMOVED = 280.00 CF + 371.00 CF = 651.00 CF
 A. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 B. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 C. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 D. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 E. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 F. 8" SCHED. 40 RCP PROPOSED GRADE = 40.00' ± 0.00'
 NOTE: METGATE 50" OF 18" I.D. 50" OF 18" I.D. BY REMAINS SOL. AS SHOWN ON PLAN.
 SET OF WORKING - 50" OF 18" I.D. METGATE 18"



NO.	DESCRIPTION	AMOUNT	UNIT
1
2
3

NO.	DESCRIPTION	AMOUNT	UNIT
1
2
3

A 24" MIN RCP REINF. CONC. PIPE IS CALLED OUT



PROJECT ENGINEER
 Larry Deavers
 FERM F-36177
 11/4/22

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA.
 NOTE: MAXIMUM DEVELOPED LENGTH OF PVC FROM METERS TO FURTHEST FITTURE, APPROX. 150' MAX. HEIGHT OF FITTURE, APPROX. 24' ABOVE NATURAL GRADE.
 NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.
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PROPOSED RESIDENCES LOCATED AT
 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6
 HOUSTON, TEXAS

RESPONSIBILITY FOR MAINTENANCE OF THE DETENTION FACILITY WILL BE BY THE PROPERTY OWNER. SUBSURFACE DRAINAGE SYSTEM WILL BE DRAINED IN 48 HOURS.

City of Houston



2108085

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable state and regulatory requirements.

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

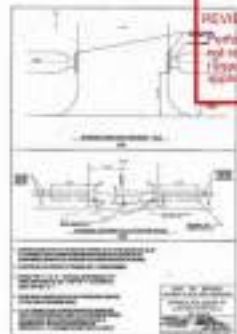
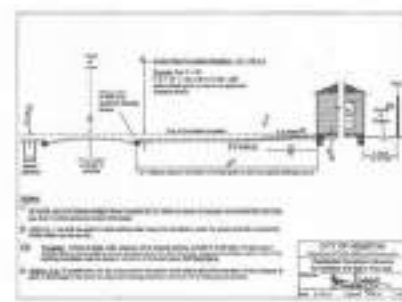
NO.	REV.	DESCRIPTION	DATE
1	1	ISSUED FOR PERMITS	08/21/2024
2	1	ISSUED FOR PERMITS	08/21/2024
3	1	ISSUED FOR PERMITS	08/21/2024
4	1	ISSUED FOR PERMITS	08/21/2024
5	1	ISSUED FOR PERMITS	08/21/2024
6	1	ISSUED FOR PERMITS	08/21/2024

NO.	DESCRIPTION
R1	30 LF 18" PVC @ 0.12%
R2	30 LF 18" PVC @ 0.12%
R3	30 LF 18" PVC @ 0.12%
R4	30 LF 18" PVC @ 0.12%

RESTRICTOR PIPES

NO.	DESCRIPTION
M1	TOO = 42.00' N.F.L. = 30.00' S.F.L. = 30.00'
M2	TOO = 42.00' N.F.L. = 30.00' S.F.L. = 30.00'
M3	TOO = 42.00' N.F.L. = 30.00' S.F.L. = 30.00'
M4	TOO = 42.00' N.F.L. = 30.00' S.F.L. = 30.00'

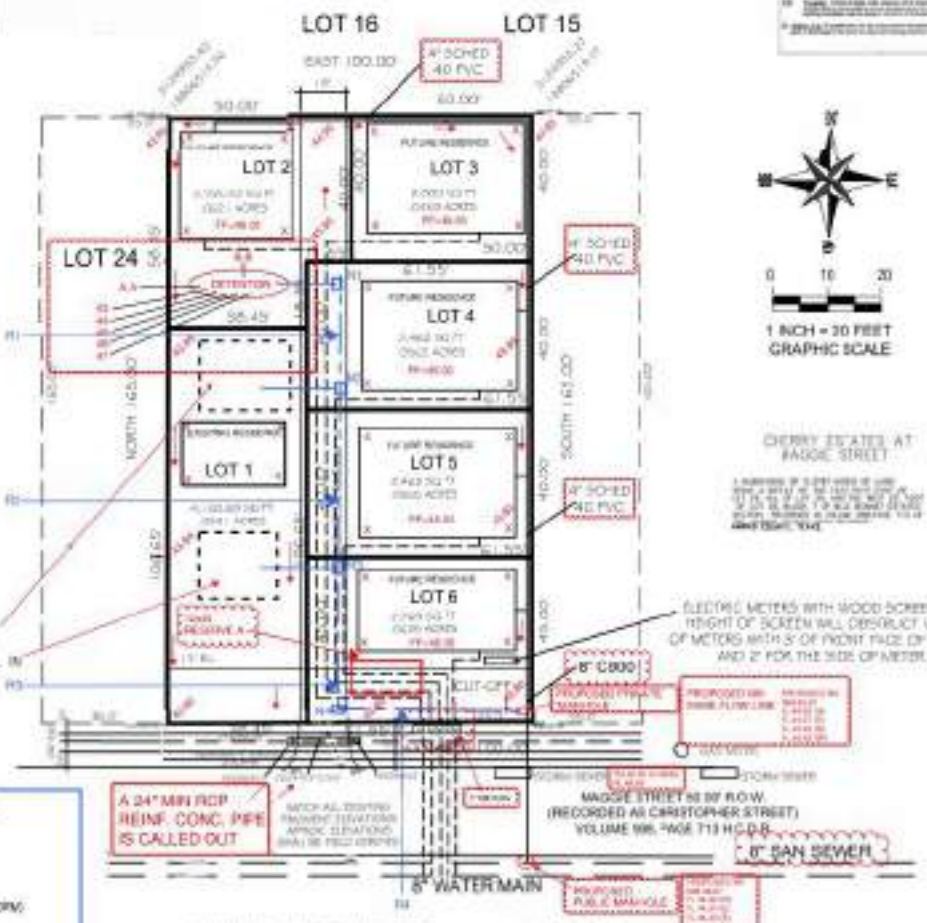
REETS



PROPOSED DETENTION FACILITY TO BE CONSTRUCTED AT THE INTERSECTION OF CHERRY STREET AND MAGDO STREET. THE PROPOSED DETENTION FACILITY SHALL BE CONSTRUCTED AT THE INTERSECTION OF CHERRY STREET AND MAGDO STREET. THE PROPOSED DETENTION FACILITY SHALL BE CONSTRUCTED AT THE INTERSECTION OF CHERRY STREET AND MAGDO STREET.

PERMITS REQUIRED: PERMITS REQUIRED FOR THE PROPOSED DETENTION FACILITY SHALL BE OBTAINED FROM THE CITY OF HOUSTON AND THE STATE OF TEXAS.

NOTE: THE PROPOSED DETENTION FACILITY SHALL BE CONSTRUCTED AT THE INTERSECTION OF CHERRY STREET AND MAGDO STREET. THE PROPOSED DETENTION FACILITY SHALL BE CONSTRUCTED AT THE INTERSECTION OF CHERRY STREET AND MAGDO STREET.



SITE CALCULATIONS

NO.	DESCRIPTION	UNIT	VALUE
1	Lot 1	SQ FT	1,500
2	Lot 2	SQ FT	1,500
3	Lot 3	SQ FT	1,500
4	Lot 4	SQ FT	1,500
5	Lot 5	SQ FT	1,500
6	Lot 6	SQ FT	1,500

WATERFURNITURE UNIT TABLE (GA UNIT)

NO.	DESCRIPTION	UNIT	VALUE
1	Manhole	EA	100
2	Storm Inlet	EA	100
3	Storm Outlet	EA	100
4	Storm Valve	EA	100
5	Storm Gate	EA	100
6	Storm Filter	EA	100
7	Storm Screen	EA	100
8	Storm Catcher	EA	100
9	Storm Collector	EA	100
10	Storm Ditch	EA	100
11	Storm Drain	EA	100
12	Storm Pipe	EA	100
13	Storm Manhole	EA	100
14	Storm Valve	EA	100
15	Storm Gate	EA	100
16	Storm Filter	EA	100
17	Storm Screen	EA	100
18	Storm Catcher	EA	100
19	Storm Collector	EA	100
20	Storm Ditch	EA	100
21	Storm Drain	EA	100
22	Storm Pipe	EA	100
23	Storm Manhole	EA	100
24	Storm Valve	EA	100
25	Storm Gate	EA	100
26	Storm Filter	EA	100
27	Storm Screen	EA	100
28	Storm Catcher	EA	100
29	Storm Collector	EA	100
30	Storm Ditch	EA	100
31	Storm Drain	EA	100
32	Storm Pipe	EA	100
33	Storm Manhole	EA	100
34	Storm Valve	EA	100
35	Storm Gate	EA	100
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37	Storm Screen	EA	100
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40	Storm Ditch	EA	100
41	Storm Drain	EA	100
42	Storm Pipe	EA	100
43	Storm Manhole	EA	100
44	Storm Valve	EA	100
45	Storm Gate	EA	100
46	Storm Filter	EA	100
47	Storm Screen	EA	100
48	Storm Catcher	EA	100
49	Storm Collector	EA	100
50	Storm Ditch	EA	100
51	Storm Drain	EA	100
52	Storm Pipe	EA	100
53	Storm Manhole	EA	100
54	Storm Valve	EA	100
55	Storm Gate	EA	100
56	Storm Filter	EA	100
57	Storm Screen	EA	100
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68	Storm Catcher	EA	100
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70	Storm Ditch	EA	100
71	Storm Drain	EA	100
72	Storm Pipe	EA	100
73	Storm Manhole	EA	100
74	Storm Valve	EA	100
75	Storm Gate	EA	100
76	Storm Filter	EA	100
77	Storm Screen	EA	100
78	Storm Catcher	EA	100
79	Storm Collector	EA	100
80	Storm Ditch	EA	100
81	Storm Drain	EA	100
82	Storm Pipe	EA	100
83	Storm Manhole	EA	100
84	Storm Valve	EA	100
85	Storm Gate	EA	100
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87	Storm Screen	EA	100
88	Storm Catcher	EA	100
89	Storm Collector	EA	100
90	Storm Ditch	EA	100
91	Storm Drain	EA	100
92	Storm Pipe	EA	100
93	Storm Manhole	EA	100
94	Storm Valve	EA	100
95	Storm Gate	EA	100
96	Storm Filter	EA	100
97	Storm Screen	EA	100
98	Storm Catcher	EA	100
99	Storm Collector	EA	100
100	Storm Ditch	EA	100

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA.

NOTE: MAXIMUM DEVELOPED LENGTH OF PVC FROM METERS TO FURTHEST FEATURE, APPROX. 150' MAX. HEIGHT OF FEATURE, APPROX. 24' ABOVE NATURAL GRADE.

NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.

CENTER POINTS NOTE: THE OWNER IS RESPONSIBLE FOR THE CONSTRUCTION AND RELOCATION PROCESS OF THE GUY WIRE AND THE FEES ASSOCIATED WITH CENTER POINTS ENDS OF THE DRAIN HAS ALREADY DEDUCTED CENTER POINTS AND THE LETTER IS UPLOADED.

SITE RUNOFF CALCULATIONS (EXISTING)

TRACT AREA = 0.007 ACRES

$C = 0.8 + 0.4 \cdot C_1$ PER COH 2020 EM 9.1 OF 8.3a(2)

$C = 0.8 + 0.4 \cdot 0.2 = 0.72$

$TC = 10 + 30.7 \cdot C = 15 = 25.38 \text{ IN/S}$

$Q_{15M} = \frac{1}{360} \cdot (0.47 \cdot C) \cdot (0.39 \cdot C) \cdot (0.47 \cdot C) \cdot (10.7 \cdot C) \cdot (10.7 \cdot C)$

$Q_{15M} = \frac{1}{360} \cdot (0.47 \cdot 0.72) \cdot (0.39 \cdot 0.72) \cdot (0.47 \cdot 0.72) \cdot (10.7 \cdot 0.72) \cdot (10.7 \cdot 0.72)$

$Q_{15M} = 0.0007 \text{ CFS}$

A 24" MPP RCP REINFORCED CONCRETE PIPE IS CALLED OUT

MAGDO STREET IS BY R.O.W. (RECORDED AS CHRISTOPHER STREET) VOLUME 986 PAGE 113 HC 05



SITE RUNOFF CALCULATION (DEVELOPED)

DR 1 (RCP) 18" (24')

DR 2 (RCP) 18" (24')

DR 3 (RCP) 18" (24')

UNDEVELOPED RATE OF DISCHARGE

$Q = 0.0007 \text{ CFS}$

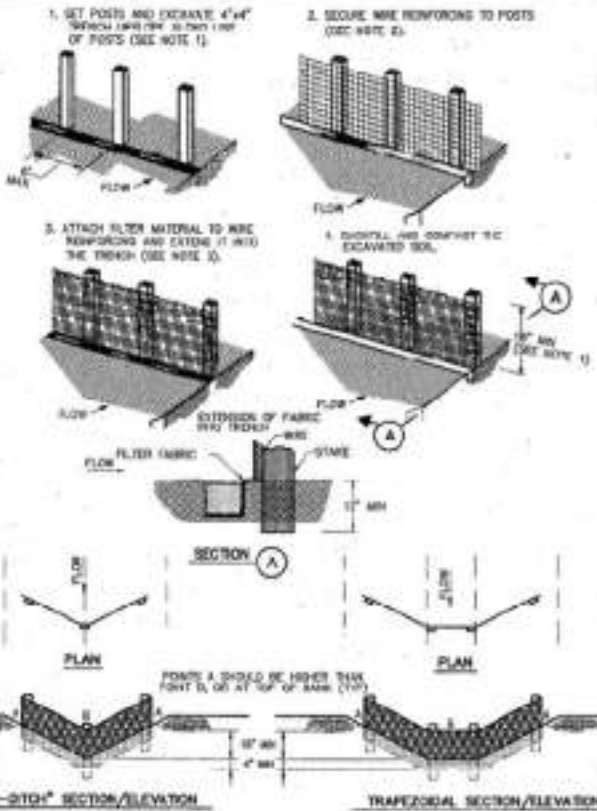
$Q = 0.0007 \text{ CFS} \cdot 0.0007 \text{ CFS} \cdot 0.0007 \text{ CFS} \cdot 0.0007 \text{ CFS} \cdot 0.0007 \text{ CFS}$

$Q = 0.0007 \text{ CFS}$

ILMS#22114501



Performance of this work shall not release the applicant from liability to the City of Houston for any and all claims.

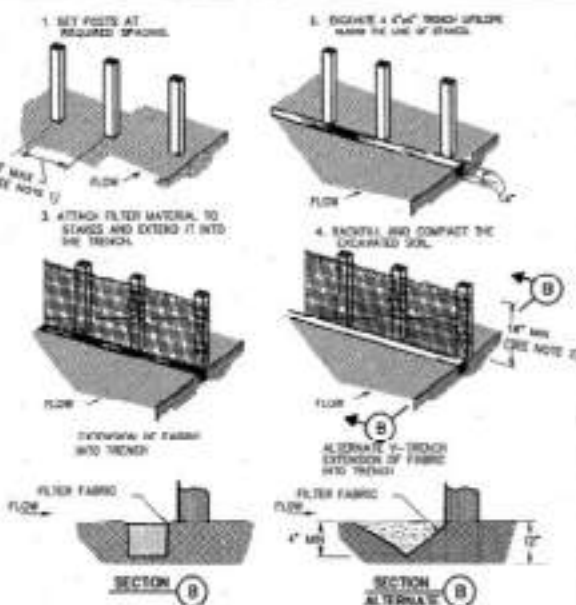


CONSTRUCTION NOTES:

1. SET 2 INCH BY 2 INCH WOODEN STAKES A MAX OF 5 FEET APART AND EMBEDDED A MIN OF 12 INCHES.
2. WHEN WIRE REINFORCING IS TO BE FASTENED SECURELY TO BARRIER POSTS WITH STAPLES.
3. FILTER CLOTH TO BE FASTENED SECURELY TO WOODEN WIRE REINFORCING, WITH 1/2" SPACES EVERY 24 INCHES AT TOP AND MIDSECTION.
4. MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
5. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 8 INCHES AT THE POSTS AND FOLDED.
6. SEE CDM STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.



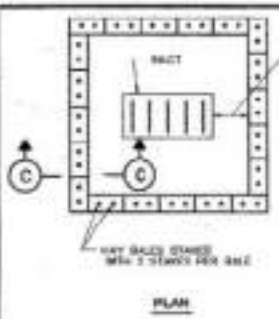
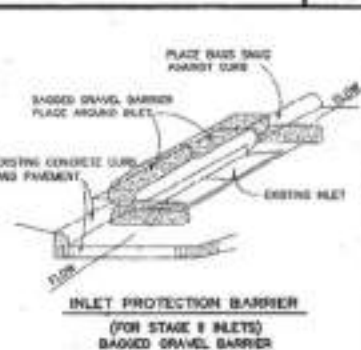
REINFORCED FILTER FABRIC BARRIER



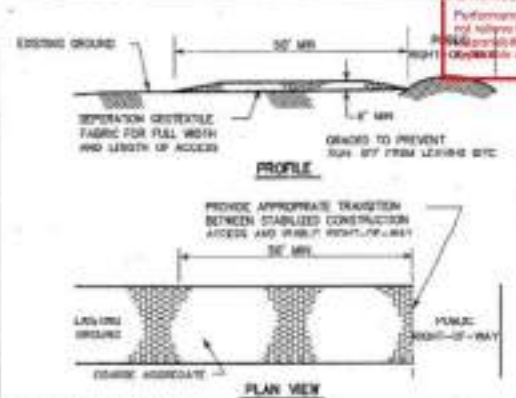
CONSTRUCTION NOTES:

1. 2 INCH 1/2 INCH BY 2 INCH WOODEN STAKES TO BE SET AT MAX SPACING OF 5 FEET AND EMBEDDED A MIN OF 8 INCHES. IF PREASSEMBLED BARRIER WITH SUPPORT NETTING IS USED, SPACING OF STAKES MAY BE INCREASED TO 8 FEET MAX.
2. ATTACH FILTER FABRIC TO WOODEN STAKES. FILTER FABRIC BARRIER SHALL HAVE A MIN HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED 8 INCHES AT THE POSTS AND FOLDED.
4. SEE CDM STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.

FILTER FABRIC BARRIER



HAY BALE INLET PROTECTION BARRIER

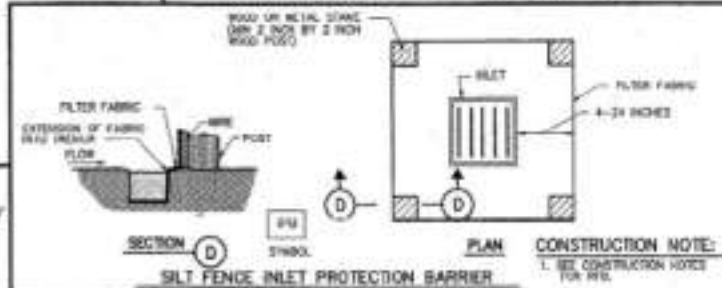


CONSTRUCTION NOTES:

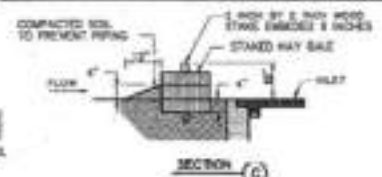
1. LENGTH SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS, BUT NOT LESS THAN 30 FEET.
2. THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
3. WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL PORTS OF BARRIS OR EGRESS.
4. STABILIZATION FOR OTHER AREAS SHALL HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION ACCESS UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
5. STABILIZED AREA MAY BE NEEDED OR LENGTHENED TO ACCOMMODATE A WASHING AREA. AN OUTLET EQUIPMENT SHALL BE PROVIDED FOR THE WASHING AREA.
6. USE STANDARD SPECIFICATION FOR STABILIZED CONSTRUCTION ACCESS.
7. STABILIZED CONSTRUCTION ACCESS SHALL BE MAINTAINED FREE OF DEBRIS FOR THE DURATION OF THE PROJECT.



STABILIZED CONSTRUCTION ACCESS



SILT FENCE INLET PROTECTION BARRIER



CITY OF HOUSTON
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING

STORM WATER POLLUTION PREVENTION PLAN DETAILS
(NOT TO SCALE)

DATE: 8/17/07

PROJECT NO: 01571-01



21080234

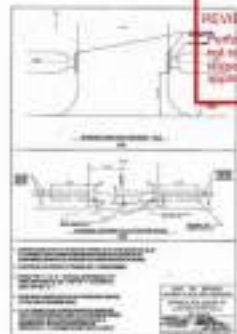
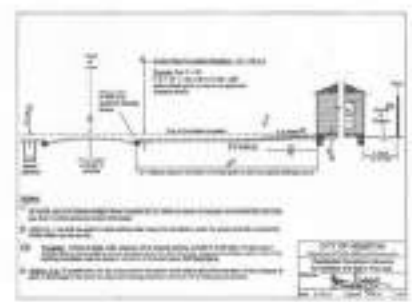
REVIEWED FOR COMPLIANCE

Performance of this review does not release the applicant from full responsibility to comply with all applicable codes and regulations. 12/15/2022

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	REV.	DATE	DESCRIPTION
1	1	08/15/2022	ISSUED FOR PERMITS
2	2	08/15/2022	REVISIONS TO PERMITS
3	3	08/15/2022	REVISIONS TO PERMITS
4	4	08/15/2022	REVISIONS TO PERMITS
5	5	08/15/2022	REVISIONS TO PERMITS
6	6	08/15/2022	REVISIONS TO PERMITS
7	7	08/15/2022	REVISIONS TO PERMITS
8	8	08/15/2022	REVISIONS TO PERMITS
9	9	08/15/2022	REVISIONS TO PERMITS
10	10	08/15/2022	REVISIONS TO PERMITS

NOTES:
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NO.	DESCRIPTION	UNIT	AMOUNT
1	Sanitary Sewer	ft	150
2	Storm Sewer	ft	150
3	Water Main	ft	150

NO.	DESCRIPTION	UNIT	AMOUNT
1	Water Closet	1.0	1.0
2	Water Closet	1.0	1.0
3	Water Closet	1.0	1.0
4	Water Closet	1.0	1.0
5	Water Closet	1.0	1.0
6	Water Closet	1.0	1.0
7	Water Closet	1.0	1.0
8	Water Closet	1.0	1.0
9	Water Closet	1.0	1.0
10	Water Closet	1.0	1.0
11	Water Closet	1.0	1.0
12	Water Closet	1.0	1.0
13	Water Closet	1.0	1.0
14	Water Closet	1.0	1.0
15	Water Closet	1.0	1.0
16	Water Closet	1.0	1.0
17	Water Closet	1.0	1.0
18	Water Closet	1.0	1.0
19	Water Closet	1.0	1.0
20	Water Closet	1.0	1.0
21	Water Closet	1.0	1.0
22	Water Closet	1.0	1.0
23	Water Closet	1.0	1.0
24	Water Closet	1.0	1.0
25	Water Closet	1.0	1.0
26	Water Closet	1.0	1.0
27	Water Closet	1.0	1.0
28	Water Closet	1.0	1.0
29	Water Closet	1.0	1.0
30	Water Closet	1.0	1.0
31	Water Closet	1.0	1.0
32	Water Closet	1.0	1.0
33	Water Closet	1.0	1.0
34	Water Closet	1.0	1.0
35	Water Closet	1.0	1.0
36	Water Closet	1.0	1.0
37	Water Closet	1.0	1.0
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43	Water Closet	1.0	1.0
44	Water Closet	1.0	1.0
45	Water Closet	1.0	1.0
46	Water Closet	1.0	1.0
47	Water Closet	1.0	1.0
48	Water Closet	1.0	1.0
49	Water Closet	1.0	1.0
50	Water Closet	1.0	1.0

THERE IS NO WORK TO BE DONE ON LOT 1 - THERE IS AN EXISTING RESIDENCE THAT WILL REMAIN

DRIVEWAY CLEARANCE: THE DISTANCE BETWEEN NEIGHBORING CURBS SHALL BE GREATER THAN 8' (8.00').
 ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO THE PROPOSED DRIVEWAY SHALL BE RELOCATED WITH NEW CURBS AND CURBS TO BE RELOCATED THE OTHER SIDE WITH 3000 GRADE.

ELECTRIC METERS WITH WOOD SCREENING - HEIGHT OF SCREEN WALL, OBSOLETE VIEW OF METERS WITH 3' OF FRONT FACE OF METER AND 2' FOR THE SIDE OF METER.

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PROPOSED RESIDENCES LOCATED AT 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6 HOUSTON, TEXAS



PROJECT ENGINEER
 Larry Deavers
 EXPIRES 12/31/27
 111402

ILMS#22114501

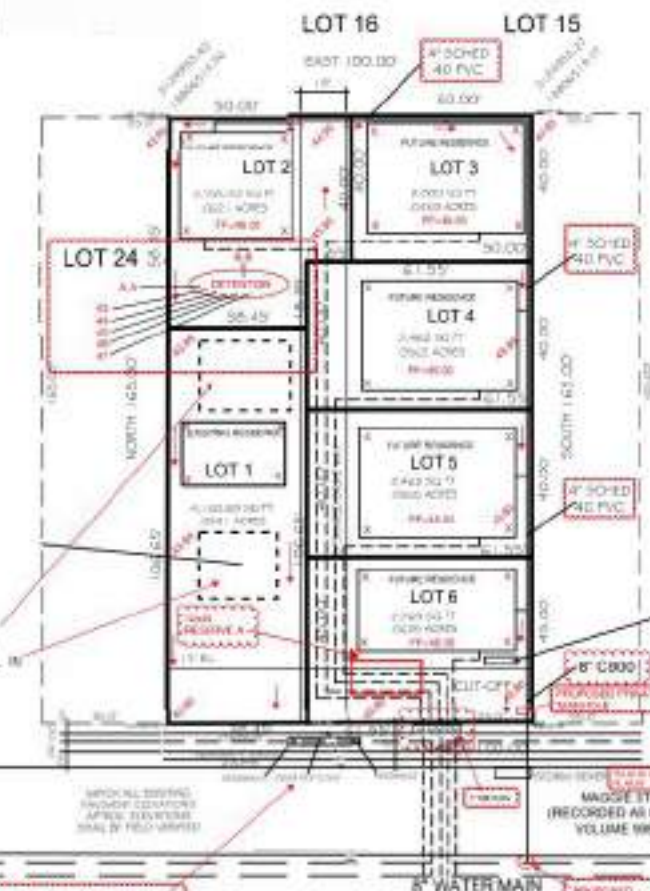
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City of Houston

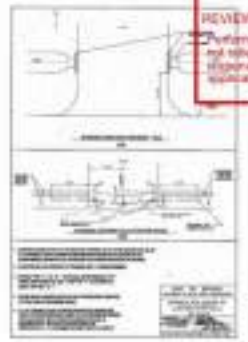
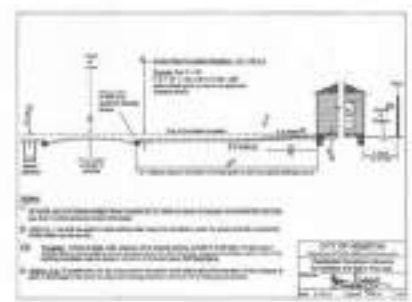
 2108224
 REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
 12/13/20

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	DATE	DESCRIPTION	BY	APP.
1	11/13/20	ISSUED FOR PERMITS	...	...
2	11/13/20	...	...	...
3	11/13/20	...	...	...
4	11/13/20	...	...	...
5	11/13/20	...	...	...



PROPOSED DETENTION FACILITY
 BASE FLOOD ELEVATION 41.00'
 FILL VOLUME OF HOUSING DEAR BELOW FLOOD PLANE = 0 CF
 VOLUME OF DRIVE DEAR BELOW FLOOD PLANE = 0 CF
 VOLUME OF ROOSTER PUL BELOW FLOOD PLANE = 0 CF
 TOTAL ROOF VOLUME = 0 CF
 TOTAL ROOF REMOVED = 0 CF + 0 CF + 0 CF = 0 CF
 A. 24\"/>



JOB CALCULATIONS

NO.	DESCRIPTION	AMOUNT	UNIT
1
2
3

WATERFURNITURE UNIT TABLE (GA UNIT)

NO.	DESCRIPTION	AMOUNT	UNIT
1
2
3

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA
 NOTE: MAXIMUM DEVELOPED LENGTH OF PVC FROM METERS TO FURTHEST FITTURE, APPROX. 150' MAX HEIGHT OF FITTURE, APPROX. 24' ABOVE NATURAL GRADE.
 NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.
 CENTER POINTS NOTE: THE OWNER IS RESPONSIBLE FOR THE CONTRACT/RELOCATION PROCESS OF THE GUY WIRE AND THE FEES ASSOCIATED WITH CENTER POINTS. THE OWNER HAS ALREADY DEDICATED CENTER POINTS AND THE LETTER IS UPLOADED.

A 24" MIN RCP REINF. CONC. PIPE IS CALLED OUT



PROJECT ENGINEER
 Larry Deavers
 FERM F-36177
 11/14/20

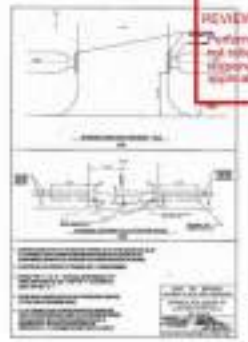
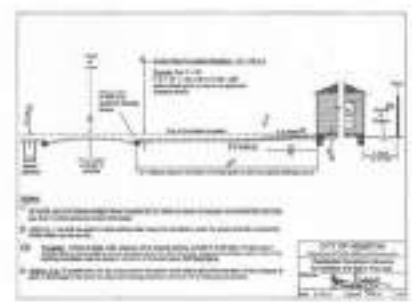
PROPOSED RESIDENCES LOCATED AT
 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6
 HOUSTON, TEXAS

ILMS#22114501

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	DATE	DESCRIPTION	BY	APP. BY
1	08/11/2021	ISSUED FOR PERMITS	W. J. ...	W. J. ...
2	08/11/2021	REVISIONS	W. J. ...	W. J. ...
3	08/11/2021	REVISIONS	W. J. ...	W. J. ...
4	08/11/2021	REVISIONS	W. J. ...	W. J. ...
5	08/11/2021	REVISIONS	W. J. ...	W. J. ...

- RESTRICTOR PIPES**
- R1 30 LF 18" PVC @ 0.12%
 - R2 30 LF 18" PVC @ 0.12%
 - R3 30 LF 18" PVC @ 0.12%
 - R4 30 LF 18" PVC @ 0.12%
- NOTES**
- R1 TO 5 - 4207 N.F.L. - 30.00 S.F.L. - 30.00
 - R2 TO 6 - 42 00 / N.F.L. - 37.00 S.F.L. - 37.00
 - R3 TO 6 - 42 08 / N.F.L. - 37.00 S.F.L. - 37.00
 - R4 TO 6 - 42 08 / N.F.L. - 30.00 S.F.L. - 30.00



PROPOSED DETENTION FACILITY

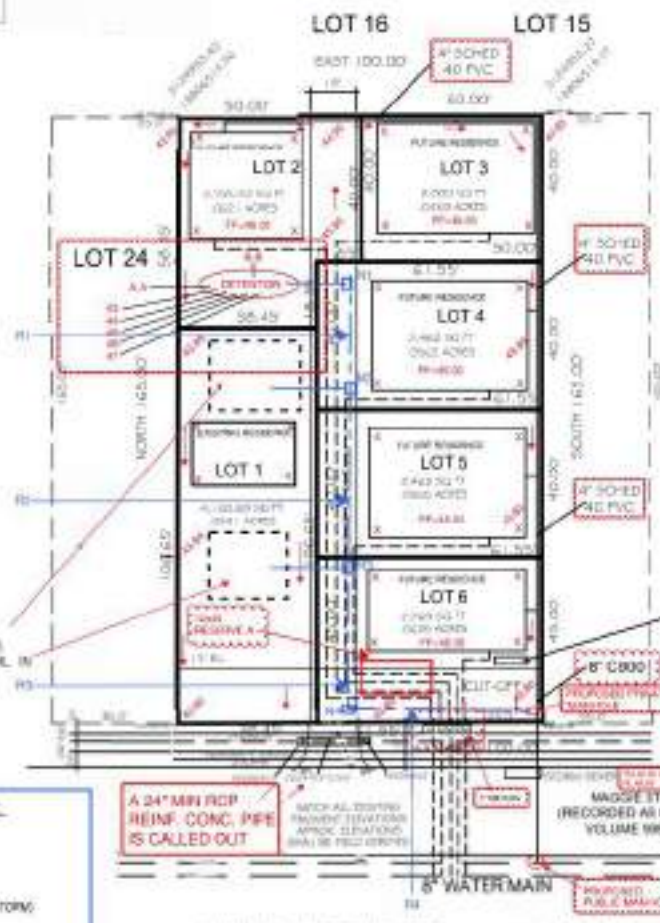
PROPOSED DETENTION FACILITY TO BE CONSTRUCTED AS PER ATTACHED DRAWING @ PRESCRIBED SLOPE. BASE FLOOD ELEVATION 46.00'

FILL
 VOLUME OF FILLING BEHIND FLOOD PLANE = 0.00
 VOLUME OF SHARP'S DRIVEWAY BEHIND FLOOD PLANE = 0.00
 VOLUME OF FILLING BEHIND FLOOD PLANE = 0.00
 TOTAL ACCUMULATED FILL = 0.00
 TOTAL SOL. REMOVED = 280.00 SF + 371.00 FT = 651.00

A. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'
 B. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'
 C. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'
 D. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'
 E. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'
 F. EAST GRADE = 42.00 PROPOSED GRADE = 42.00 + 1.0'

NOTE: METEORIC SWAY OF THIS LOT LOC OF THESE BY REMAINS SOL. AS SHOWN ON PLAN.

LOT OF LOTS - 0.00 OF AREAS
 DETENTION IN



LOAD CALCULATIONS

NO.	DESCRIPTION	UNIT	LOAD	TYPE
1	Dead Load	psf	10	DL
2	Live Load	psf	40	LL
3	Wind Load	psf	15	WL
4	Seismic Load	psf	0	SL
5	Total Load	psf	65	TL

WATERFURNITURE UNIT TABLE (GA. UNIT)

NO.	DESCRIPTION	UNIT	LOAD	TYPE
1	Sanitary	gpm	1.0	San
2	Drainage	gpm	1.0	Drain
3	Storm	gpm	1.0	Storm
4	Other	gpm	1.0	Other
5	Total	gpm	4.0	Total

SITE RUNOFF CALCULATIONS (EXISTING)

TRACT AREA = 0.097 ACRES

$C = 0.8 + 0 + 0.2$ (PER COH 2020 EM 9.1 OF 8.3a(2))
 $C = 0.8 + 0.0 + 0.2 = 1.0$
 $TC = 10 + 30.7(0.1) = 15 = 25.39$ SWS
 $Q(15) = 0.017(1.0) / (0.470) (0.097) (0.017) (0.017) = 3.72$ IN / HR
 $Q(15) = 3.72 \times 4.35 = 16.18$ CFS
 $Q(15) = 3.72 / (0.470) (0.097) (0.017) (0.017) = 3.72$ IN / HR
 $Q(15) = 3.72 \times 4.35 = 16.18$ CFS

A 24" MPN RCP REINF. CONC. PIPE IS CALLED OUT

MADGE STREET IS BY R.O.W. (RECORDED AS CHRISTOPHER STREET) VOLUME 986 PAGE 113 HC 08



SITE RUNOFF CALCULATION (DEVELOPED)

DR (15) = 0.017 (1.0) / (0.470) (0.097) (0.017) (0.017) = 3.72 IN / HR
 Q(15) = 3.72 x 4.35 = 16.18 CFS

UNDEVELOPED RATE OF DISCHARGE

$Q = 0.017 (1.0) / (0.470) (0.097) (0.017) (0.017) = 3.72$ IN / HR
 $Q = 3.72 \times 4.35 = 16.18$ CFS



2108024

REVIEWED FOR COMPLIANCE
 Performance of the reviewer does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

RIDGE TIES

Tie straps spaced at 32" max and connected with 8-8d nails. (Section AL 103.9)

ROOF MEMBERS TO WALL TIES

Tie straps shall be placed at every roof-framing member and connected with a minimum of 8-8d nails. (Section AL 103.8)



FLOOR TO FLOOR TIES

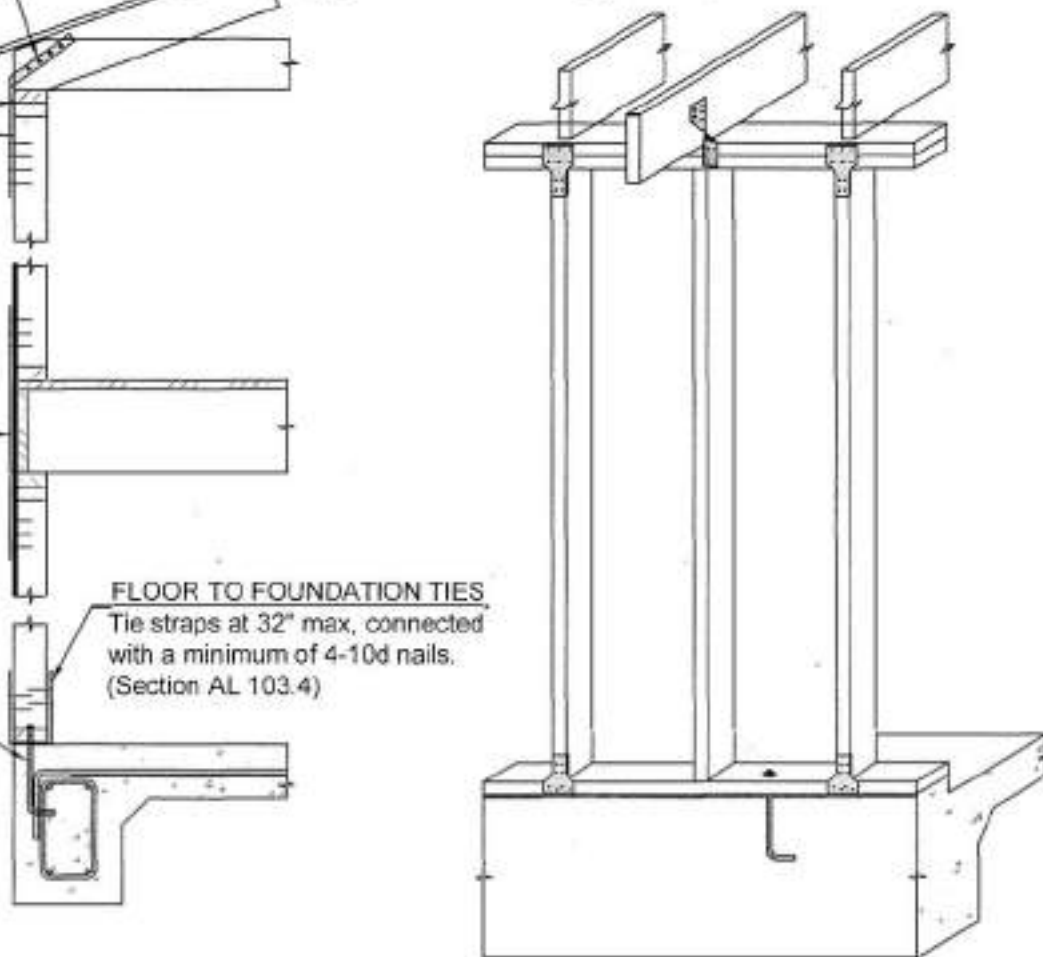
Tie straps at 32" max, connected with a minimum of 6-8d nails. (Section AL 103.7)

FLOOR TO FOUNDATION TIES

Tie straps at 32" max, connected with a minimum of 4-10d nails. (Section AL 103.4)

SILL TO FOUNDATION TIES

1/2" X 10" J-bolt, spaced @ 4' max. o.c. (Section AL 103.3)



WALL FRAMING DETAILS

Mechanical fasteners shall be installed at a maximum of 32" o.c. to connect studs to top plates, sole plates and sill plates. Fasteners shall be nailed with a minimum of 8-8d nails. (Section AL 103.5)

NOTES

1. Tie straps shall be 1 1/8" x .036" (20 gage) sheet steel and shall be corrosion-resistant.
2. Pre-manufactured connectors that provide equal or greater tie-down capacity may be used provided that their application complies with all the manufacturer's specifications.



STANDARD DRAWING

CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

APPENDIX L ILLUSTRATION

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY:

ISSUING OFFICER

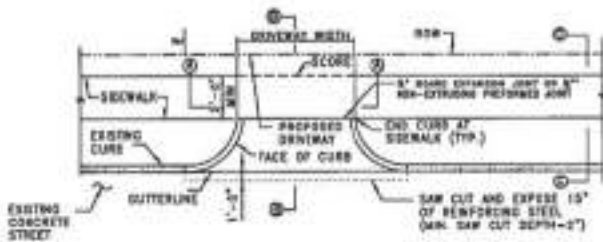
DATE: 11 / 17 / 2016

DWG No: 16-06-R

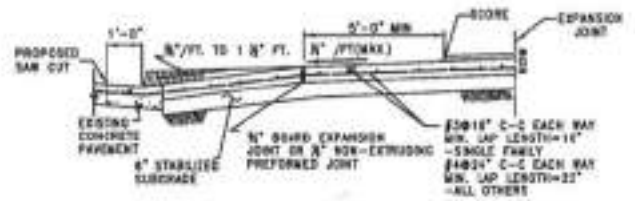
1 of 1



REVIEWED FOR COMPLIANCE
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 12/13/22



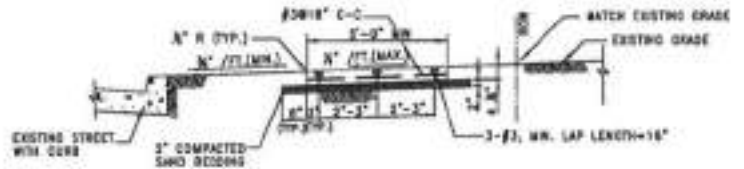
PLAN VIEW - DRIVEWAY
 NTS



SECTION (B)
 TYPICAL DRIVEWAY SECTION
 NTS



SECTION (A)
 PROPOSED SIDEWALK THROUGH DRIVEWAY
 WITH EXCESSIVE ELEVATION DIFFERENCE
 WITH EXISTING SIDEWALK
 NTS



SECTION (C)
 TYPICAL SIDEWALK SECTION
 NTS

NOTES

1. ALL JOINTS SHALL CONFORM TO CITY OF HOUSTON 01752 STANDARD SPECIFICATION.
2. DRIVEWAYS SHALL BE MINIMUM 8" THICK FOR SINGLE FAMILY USE AND MINIMUM 7" THICK FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ETC.)
3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 3-1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE.

4. STANDARD CONSTRUCTION SPECIFICATIONS LOCATED AT

http://documents-publicworks.houstontx.gov/document-center/csl_view/85-engineering-csl-construction.html

CITY OF HOUSTON	
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING	
DRIVEWAY DETAIL WITH 6" CURBED STREETS	
 CITY ENGINEER	 DIRECTOR OF PUBLIC WORKS AND ENGINEERING
EFF. DATE: FEB-13-2014	DWG NO: 02754-01B



2108024

REVIEWED FOR COMPLIANCE
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EMERGENCY ESCAPE AND RESCUE WINDOWS

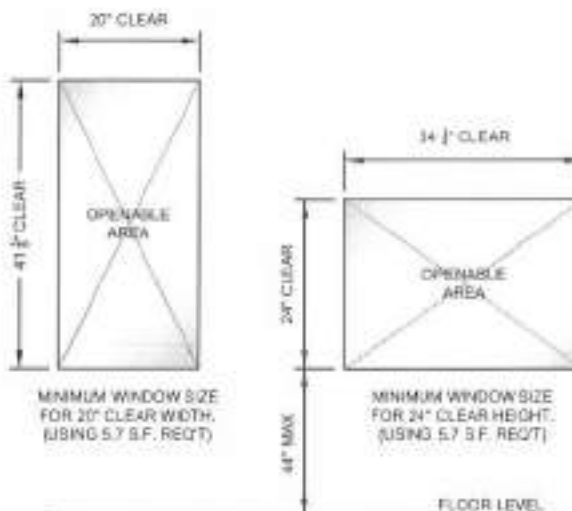
THIS DRAWING DEPICTS MINIMUM CODE REQUIREMENTS PER CITY OF HOUSTON RESIDENTIAL CODE. INFORMATION IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT.

CODE REQUIREMENT:

BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. THE MINIMUM NET CLEAR OPENING AREA SHALL BE 5.7 SQ. FT. (OR 5.0 SQ. FT. FOR GROUND FLOOR OPENINGS). OPENING HEIGHT SHALL BE 20" MINIMUM CLEAR AND OPENING WIDTH SHALL BE 20" MINIMUM CLEAR. THE MAXIMUM OPENING SILL HEIGHT SHALL BE 44" TO ACTUAL WINDOW OPENING.

MINIMUM DIMENSIONS:

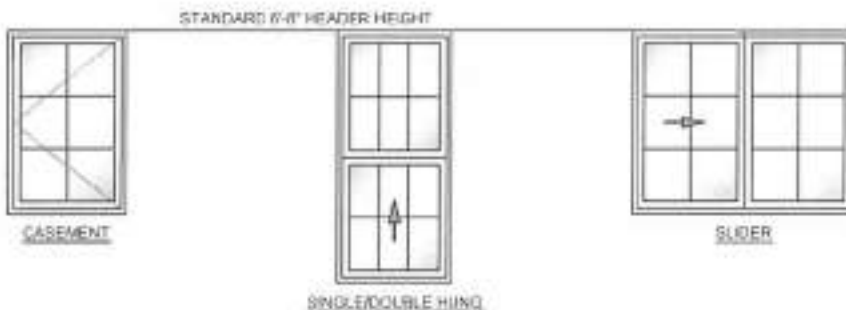
- 1. 20" MINIMUM CLEAR WIDTH
- 2. 24" MINIMUM CLEAR HEIGHT
- 3. 5.7 SQ. FT. MINIMUM OPENABLE AREA (EXCEPT FOR GROUND FLOOR)
- 4. 5.0 SQ. FT. MINIMUM OPENABLE AREA FOR GROUND FLOOR



THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR EGRESS UNLESS MANUFACTURER'S DATA IS PROVIDED, PROVING ACCEPTABLE OPENING SIZE.

NOTE:

SIZES ARE GENERAL DIMENSIONS TAKEN FROM DATA SUPPLIED BY SOME WINDOW MANUFACTURERS. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE ACTUAL WINDOWS INSTALLED MEET THE MINIMUM EGRESS REQUIREMENTS.



SIZES THAT MEET THE 5.7 SQ. FT. REQUIREMENT		
SINGLE CASEMENT	SINGLE/DOUBLE HUNG	SLIDER
3'-4" x 4'-0"	5'-0" x 5'-0"	4'-0" x 4'-0"
2'-6" x 3'-6"	3'-0" x 5'-6"	5'-0" x 3'-6"
	2'-4" x 6'-8"	6'-0" x 3'-0"
DOUBLE CASEMENT	2'-6" x 6'-2"	
4'-8" x 4'-0"	2'-8" x 5'-8"	
5'-0" x 3'-6"		

SIZES THAT MEET THE 5.0 SQ. FT. REQUIREMENT (GROUND FLOOR)		
SINGLE CASEMENT	SINGLE/DOUBLE HUNG	SLIDER
2'-4" x 3'-6"	2'-6" x 5'-0"	4'-0" x 3'-6"
2'-6" x 3'-0"	3'-0" x 4'-6"	5'-0" x 3'-0"
	2'-4" x 5'-8"	6'-0" x 3'-0"
DOUBLE CASEMENT	2'-6" x 5'-0"	
4'-8" x 3'-6"	2'-8" x 5'-2"	
5'-0" x 3'-0"		

NOTE: OTHER WINDOW TYPES SUCH AS AWNING, BAY WITH FIXED CENTER AND SINGLE /FIXED COMBO ARE NOT ALLOWED AS AN EGRESS WINDOW UNLESS MFR'S DATA IS PROVIDED SHOWING ACCEPTABLE OPENING SIZE.



STANDARD DRAWING

CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

EMERGENCY ESCAPE AND RESCUE
 WINDOWS
 (EXAMPLES)

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY

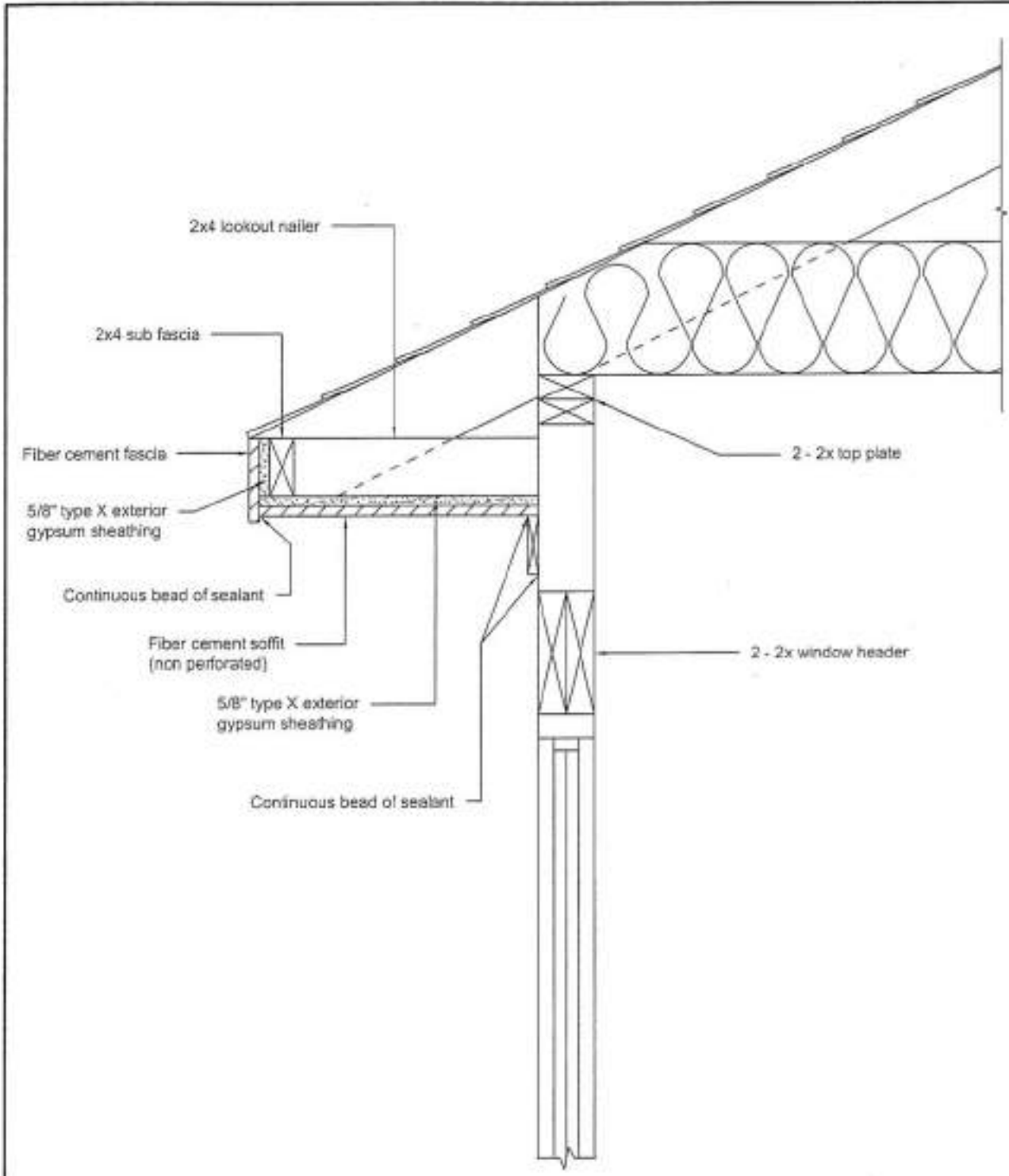
BUILDING OFFICIAL

DATE: 4/18/2017 DWG No: 17-08-R



21090234

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant of full responsibility to comply with all applicable codes and regulations. 12/13/22



STANDARD DRAWING

CITY OF HOUSTON
DEPARTMENT OF PUBLIC
WORKS & ENGINEERING

**FIRE - RESISTANCE RATED
SOFFIT ASSEMBLY**

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY

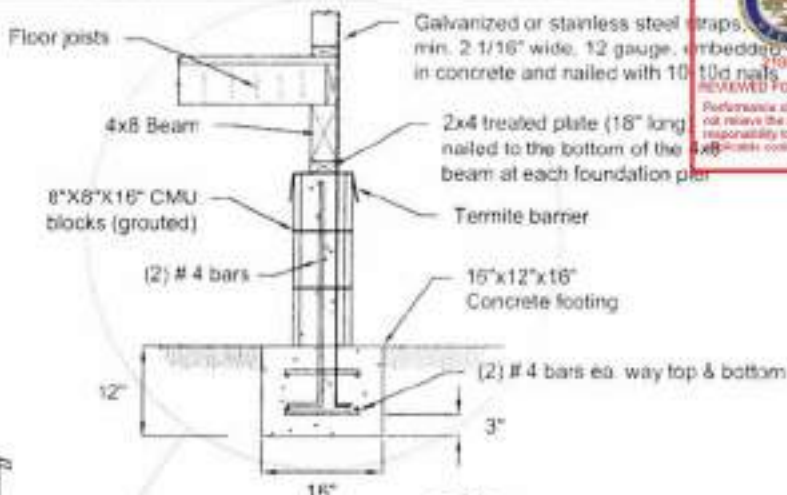
BUILDING OFFICIAL

DATE: 3-15-2018 DWG NO: 16-02-R 1 OF 1

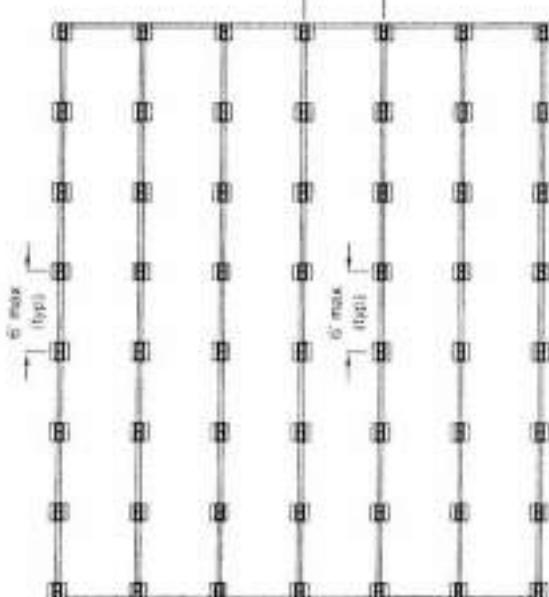
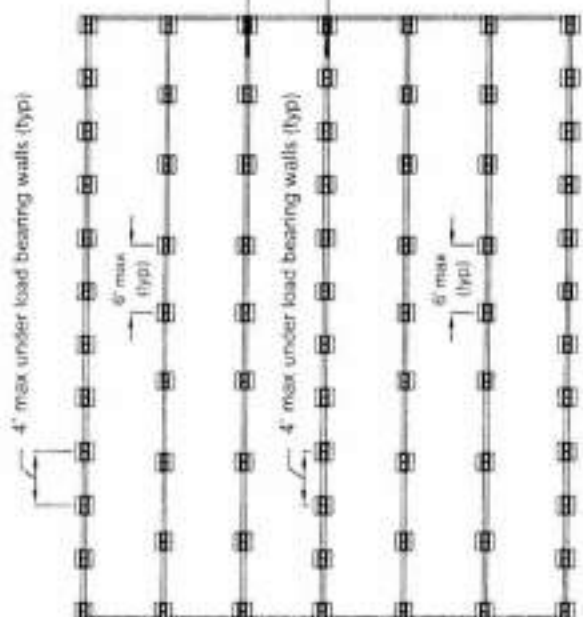
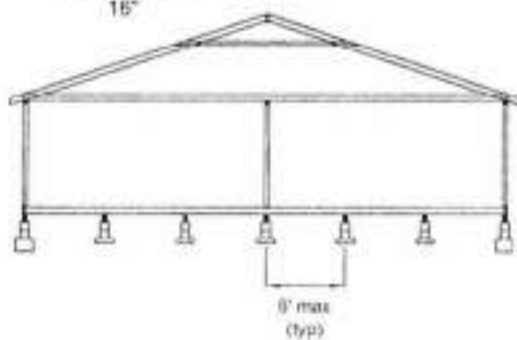
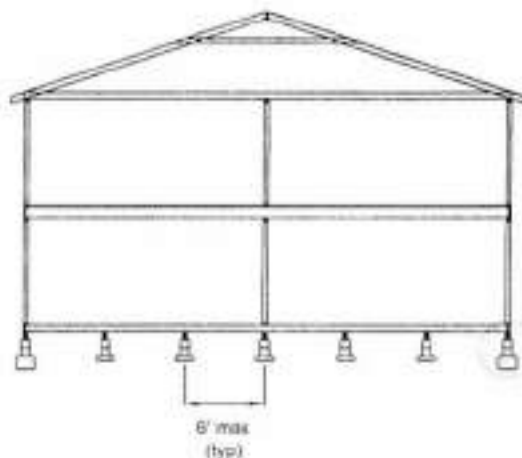


Notes:

1. Provide hurricane strapping as per Appendix L of the City of Houston Residential Code.
2. The under-floor grade shall be cleaned of all vegetation and organic material (section R408.5).
3. All exterior footings shall be placed at least 12 inches below the undisturbed ground surface (section R 403.1.4).



REVIEWED FOR COMPLIANCE
 2/18/2014
 Performance of the reviewer does not relieve the designer from full responsibility to comply with all applicable codes and regulations. 12/13/22



TWO-STORY RESIDENCE

ONE STORY RESIDENCE



STANDARD DRAWING
CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

**BLOCK & BASE FOUNDATIONS
 DETAILS**
 1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY: *[Signature]*
 BUILDING OFFICE
 APPROVED: *[Signature]*
 DATE: 10-03-2012 DRAWING: 13-059 1 OF 1



May 21, 2021

Mr. Trevor Cherry
KYKO Group, LLC
4617 Maggie Street
Houston, Texas 77051

ILMS Project Number:	21048077	WCR File Number:	0033688
Legal Description:	0.3788 acre of land being Lot 25, the east twenty feet (e.20') of Lot 24 and the west twenty five feet (w.25') of Lot 26, Block 7, Blue Bonnet Estates located at 4617 Maggie Street		
Proposed Development:	Construction of five (5) townhomes		

Wastewater:

Impact Fee: \$5,995.55
Admin Fee: \$29.72
Connection Point(s): 8-inch sewer in Maggie Street
Proposed Service Units: 5.0000
Treatment Plant: Chocolate Bayou
Pumping Station:

Water:

Impact Fee: \$3,952.75
Admin Fee: \$29.72
Connection Point(s): 8-inch water main in Maggie Street
Proposed Service Units: 5.0000

Minh Nguyen
For Rudy Moreno, Jr.
Deputy Assistant Director
Infrastructure and Development Services
CEH:RM:MN (Council District D)

For Carol Ellinger Haddock, P.E.
Director
Houston Public Works

This approval is subject to the standard City of Houston requirements and supplemental requirement(s) listed below.

Standard Requirements:

The City Engineer may, from time to time, revise the Houston Public Works Infrastructure Design Manual, resulting in changes to the design criteria and parameters that must be followed in the development of this site.

Wastewater discharges from non-domestic sources must be reviewed for organic loading capacity and industrial wastewater permit requirements. Contact the Industrial Wastewater Service at 832-395-5800 if the sanitary sewer discharge contains non-domestic waste. Failure to comply with industrial wastewater permit requirements may result in termination of service or other enforcement remedies according to Chapter 47 Article V of the City of Houston Code of Ordinances.

Please note, if the sanitary sewer line to which connection will be made is deeper than twenty feet (20'), or is larger than thirty-six

Mr. Trevor Cherry
KYKO Group, LLC
ILMS Project No 21048077
May 21, 2021

inches (36") in pipe diameter, then the connection must be made to the nearest existing manhole of the sanitary sewer line. Please contact Mr. Simon Tung in the City Engineer's Office at (832) 394-9135 prior to engineering the plans for connection.

Failure to pay the Wastewater Impact Fees within six (6) months from the date of this letter will result in the expiration of this reservation and a new application must be submitted. If this project is not under construction within two (2) years from the date of this letter, the water portion of this reservation will expire, and a new application must be submitted. All fees must be paid prior to issuance of a building permit and may be paid online, by mail, or at 1002 Washington Avenue. A copy of the Impact Fee receipts and copy of this letter must be submitted with your construction plans when applying for a building permit. Plans must be approved by the Code Enforcement Branch of the Building and Development Services Division prior to the issuance of a permit.

Please note, the Wastewater and Water Impact Fees quoted above are not refundable for any reason including failure to obtain a building permit or failure to complete the project for any reason.

This information is based on the City of Houston Geographic Information Management System Maps. These maps are prepared utilizing the best information available to the City and the City cannot warrant their accuracy or completeness. The exact size and location of all utility lines should be field verified.

For direct inquiries, please contact Utility Analysis at (832) 394-8888 or email wrotechs@houstontx.gov. Be sure to reference the ILMS project number listed in this letter.

Supplemental Requirement(s):

- Ordinances provide for a waiver of impact fees for houses (single family residences) that sell to the first-time purchaser for less than the median price of a home in Houston during the month the proposed home is permitted. Currently, the median price is approximately \$265,575. If you feel that your proposed development may qualify for this exemption, please do not pay the impact fees referenced in this letter and make certain that you fill out an Impact Fee Exemption Form at 1002 Washington Avenue when applying for a building permit.
- Each single family residence must be individually connected to the sanitary sewer. Should each single family residence not have direct access to the public sanitary sewer, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to obtaining building permits.
- A public water meter must be provided to each single family residence. Should each single family residence not have direct access to the public water main, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to making application to purchase water meters.

REVIEWED FOR COMPLIANCE
 Performance of this review does not release the applicant from responsibility to comply with all applicable laws and regulations.



LOT 20 LOT 19 LOT 18 LOT 17 LOT 16 LOT 15 LOT 14 LOT 13

LOT 21 LOT 22 LOT 23

LOT 24 LOT 25 LOT 26

BLOCK 3

LOT 27

LOT 28



DUVANE STREET 60.00' R.O.W.
 VOLUME 998, PAGE 713 H.C.D.R.



CONCRETE SURVEY FROM NO. 472486
 TOWN WEBB PROJECT ROAD
 HOUSTON, TEXAS, 77077
 OFFICE: 281-774-9999
 E-MAIL: geosurvey@bluewinch.com
 WWW.BLUEWINCH.COM

NOTES
 1) SUBJECT TRACT AND ALL UTILITIES ARE REPRESENTED AS SHOWN.
 2) THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING ACT AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING, STATE OF TEXAS.
 3) THE SURVEYOR HAS CONDUCTED VISUAL INSPECTION OF THE TRACT AND HAS FOUND NO EVIDENCE OF OTHER SURVEYS OR INTERESTS.
 4) ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
 5) ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 6) ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.
 7) ALL DIMENSIONS ARE TO THE CENTERLINE OF THE ROAD UNLESS OTHERWISE NOTED.

PROPERTY DESCRIPTION
 SURVEY OF THE EAST 36.0 FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 36 FOOT OF LOT 26, BLOCK 3 OF BLUE BONNET
 ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS
 COUNTY, TEXAS.

LEGEND
 P.T.P. - PROPOSED TOP PILE
 P.A. - PROPOSED PILE
 R.O.W. - RIGHT OF WAY
 F.N.D. - FOUND
 L.F. - EXISTING LIVE FENCE
 C.C. - CONSTRUCTION CONTROL LINE
 C.M. - CONTROL MONUMENT

I, DAVID L. BRADSHAW, REGISTERED PROFESSIONAL LAND SURVEYOR OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A
 SURVEY MADE BY ME OR UNDER MY SUPERVISION AND THAT I CORRECTLY REPRESENTED THE
 FACTS AS STATED AT THE TIME OF THE SURVEY. THERE ARE NO ENCUMBRANCES
 AFFECTING THE ABOVE PROPERTY AS SHOWN HEREON. THIS SURVEY IS CONFINED
 TO THE TRACTS SHOWN ONLY.



DAVID L. BRADSHAW, REGISTERED PROFESSIONAL
 LAND SURVEYOR OF TEXAS No. 472486

ADDRESS: 4877 MAGGIE STREET, HOUSTON, TEXAS 77061
 PURCHASER: N/A
 LENDER: N/A
 TITLE COMPANY: N/A SWP: N/A

DRAWN: 10-13-2020 RQG CHECKED: 10-13-2020 DLB OPEN: 10-21-2020 RQG KEY MAP No.: 300 1

FLOOD NOTE
 * THIS TRACT IS IN L.A.S. IN THE 100-YEAR FLOOD PLAIN AND
 IS IN FIRM ZONE X-1 UNLESS OTHERWISE NOTED BY FEDERAL, STATE, OR
 COUNTY FLOOD CONTROL AGENCIES. FLOOD HAZARDS BY
 CONSTRUCTION: 2025, MAP No. 2025, PAGE No. 2613.
 DATE: 08-20-2025
 * THIS INFORMATION IS BASED ON SPATIAL DATA ONLY.
 WE DO NOT ASSUME RESPONSIBILITY FOR DATA OR INFORMATION.

NAME: MAGGIE



This form must be completed for all projects (commercial and residential).

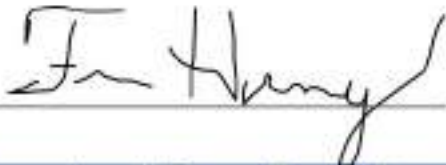
Date: 7/21/21

Project/Permit No.: _____

Address: 4619 C MAGGIE STREET

APPLICANT INFORMATION

Printed name: FRED HARRIS

Signature: 

Improvement Type	Area of Existing Impervious Cover	Area of Final Impervious Cover	Square Feet or Acres (Select one)	
			<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Buildings		1200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Parking Lot/Driveway		200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Sidewalks/Patio		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Detention Pond		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Pools		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
TOTAL AREA		1400	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres

Size of Lot (square feet or acres)		Total Impervious Cover (square feet or acres)		Percentage of Impervious Cover	
2400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	1400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	58	%



Appendix E of the Houston Adopted 2012 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 – Identifies when a separate “Grading Permit” is required. Section 2 – Identifies the type of grading permit required, “Engineered Grading or Regular Grading”, when a “Geotechnical Report” is required in the plans, and when a “Storm Availability Letter” is required to be attached to the submittal documents.

Grading and/or excavation permits is required for any proposed work that includes excavations, grading, or fill, or combination thereof, and includes but is not limited to the following permit types:

- **Excavation Permit(s)** – Work proposing the mechanical removal or relocation of earth material.
- **Fill Permit(s)** – Work proposing deposit(s) and/or relocation of earth material placed by artificial means.

NOTE: THERE SHALL BE NO FILL LOCATED WITHIN A PUBLIC RIGHT-OF-WAY

SECTION 1: Are Permits and Plans Required?

A Grading Excavation permit and plans is required if “Yes” is answered to any question 1 through 4.

- No (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent or contiguous property?
- No (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5-feet after completion of such structure?
- Yes (3) Will there be any excavation greater than 5-feet in depth?
- No (4) Will the excavation create a cut slope 2-feet or more in height but less than 5-feet, with a slope steeper than 1-unit vertical in 1.5-units horizontal? (66.7% slope)

A Grading Fill permit and plans is required if “Yes” is answered to any question 5 through 10.

(50 cubic yards = 1,350 square feet @ 1-foot depth)

- No (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
- No (6) Does the scope of work include fill that is 3-feet or more in depth?
- No (7) Does the scope of work include fill greater than 1-foot but less than 3-feet, with a slope that is equal to or greater than 1-unit vertical in 5-units horizontal? (20% slope)
- No (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
- No (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
- No (10) Is proposed fill greater than 1-foot in depth and intended to support a structure, “now or in the future”?

SECTION 2: What Type of Permits and Plans Are Required?

NOTE: When the building official has cause to believe that site geologic factors exist, grading will be required to conform to recommended grading, inspection, and testing by a *Texas Professional Engineer*.

Engineered grading plans are required if “Yes” is answered to question 11. Plans shall be designed, sealed, signed, and dated by a Texas professional engineer. These grading permits shall be designated as “Engineered Grading”.

(1,000 cubic yards = 27,000 square feet, @ 1-foot depth)

- No (11) Does the proposed project include an aggregate grading in excess of 1,000 cubic yards?

Grading plans shall be designated “Regular Grading” if “Yes” is answered on question 12: (no engineered plans required.)

- Yes (12) Is the grading less than or equal to 1,000 cubic yards?

A Geotechnical Report is required if “Yes” is answered to any one of questions 13, 14 or 15:

- No (13) Will there be any cut slopes steeper than 1-unit vertical in 2-units horizontal (50% slopes)?
- No (14) Is there any grading that requires an engineered design? (Reference item 11 above and Chapter 19 of the City Code.)
- No (15) Does the site include any special geological features and/or considerations?
- Yes (16) Is the property located in the 100- or 500-year flood plain? Review by Flood Department required!

A Storm Availability Letter is required to be included with the submitted documents if “Yes” is answered to questions 16 or 17:

- No (17) Does the scope of work to lots exceeding 15,000 square feet, include any new impervious cover?
- Yes (18) Does the project include connection to the city’s public storm sewer system?

ADDRESS 4619 MAGGIE STREET C

PROJECT # _____

DATE 9/9/21

PRINT

NAME OF APPLICANT Juan G. Castillo

SIGNATURE _____



REScheck Software Version 4.6.4

Inspection Checklist

Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the REScheck software



Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 (PR1) 	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 (PR3) 	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 (PR2) 	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1.1 [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108024

NOTIFIED FOR COMPLIANCE
Performance of the review does
not relieve the applicant from full
responsibility to comply with all
applicable code and regulations.
12/13/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.3.6, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.2, 402.3.3, 402.5 [FR3] ¹	Glazing SHGC value (area-weighted average).	SHGC: ____	SHGC: ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.11 [FR23] ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.1 [FR12] ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



2108024

REVIEWED FOR COMPLIANCE
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.5.3. [FR18] ²	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108024

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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹ 	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ²	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assumptions table for values.
303.1.1.1, 303.2 [F12] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] ¹	Attic access hatch and door insulation \geq R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] ¹	Blower door test @ 50 Pa. \leq 5 ach in Climate Zones 1-2, and \leq 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.3 [F14] ¹	Duct tightness test result of \leq 4 cfm/100 ft ² across the system or \leq 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [F127] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] ¹	Air handler leakage designated by manufacturer at \leq 2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



2108024

REVIEWED FOR COMPLIANCE
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 [Fi7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [Fi18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



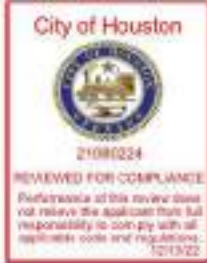
2015 IECC Energy Efficiency Certificate

Insulation Rating		R-Value	
Above-Grade Wall		13.00	
Below-Grade Wall		0.00	
Floor		0.00	
Ceiling / Roof		24.00	
Ductwork (unconditioned spaces):		_____	
Glass & Door Rating		U-Factor	SHGC
Window		0.38	0.18
Door		0.58	
Heating & Cooling Equipment		Efficiency	
Heating System: <u>GAS FORCED AIR</u>		<u>90% AFUE</u>	
Cooling System: <u>CENTRAL A/C</u>		<u>15 SEER</u>	
Water Heater: <u>GAS (STORAGE TYPE)</u>		<u>0.57EF</u>	
Name: <u>MICHAELS, MEP, LLC</u>		Date: <u>7/21/21</u>	
Comments: <u>TECL#24553</u>			

#4357



Generated by REScheck-Web Software Compliance Certificate



Project

Energy Code: **2015 IECC**
 Location: **Houston, Texas**
 Construction Type: **Multi-family**
 Project Type: **New Construction**
 Orientation: **Bldg. faces 270 deg. from North**
 Conditioned Floor Area: **2619 ft2**
 Glazing Area: **13%**
 Climate Zone: **2 (1371 HDD)**
 Permit Date:
 Permit Number:

Construction Site:
4619 C MAGGIE STREET

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **5.4% Better Than Code** Maximum UA: **614** Your UA: **581** Maximum SHGC: **0.25** Your SHGC: **0.25**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules.
 IT DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat Ceiling or Scissor Truss	1,667	30.0	0.0	0.035	58
Front Wall: Wood Frame, 16" o.c. Orientation: Front	726	13.0	0.0	0.082	49
Door: Solid Door (under 50% glazing) Orientation: Front	40			0.600	24
Window: Vinyl Frame SHGC: 0.25 Orientation: Front	89			0.290	26
right Wall: Wood Frame, 16" o.c. Orientation: Right side	838	13.0	0.0	0.082	66
Window: Vinyl Frame SHGC: 0.25 Orientation: Right side	30			0.290	9
Rear Wall: Wood Frame, 16" o.c. Orientation: Back	667	13.0	0.0	0.082	34
Door: Glass Door (over 50% glazing) SHGC: 0.25 Orientation: Back	36			0.290	10
Window: Vinyl Frame SHGC: 0.25 Orientation: Back	216			0.290	63
Left Wall: Wood Frame, 16" o.c. Orientation: Left side	838	13.0	0.0	0.082	66

Project Title:
 Data filename:

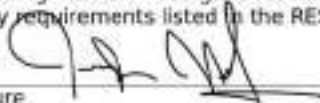
Report date:



Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Window: Vinyl Frame SHGC: 0.25 Orientation: Left side	30			0.190	9
Floor: Slab-On-Grade (Unheated) Insulation depth: 0.0'	160		0.0	1.042	167

2015 IECC COMPLIANCE
 This report does not constitute a warranty or any other form of insurance or protection against any loss or damage. It is the responsibility of the user to verify the accuracy of the information provided and to ensure compliance with all applicable regulations, codes and standards.

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title _____ Signature  Date _____



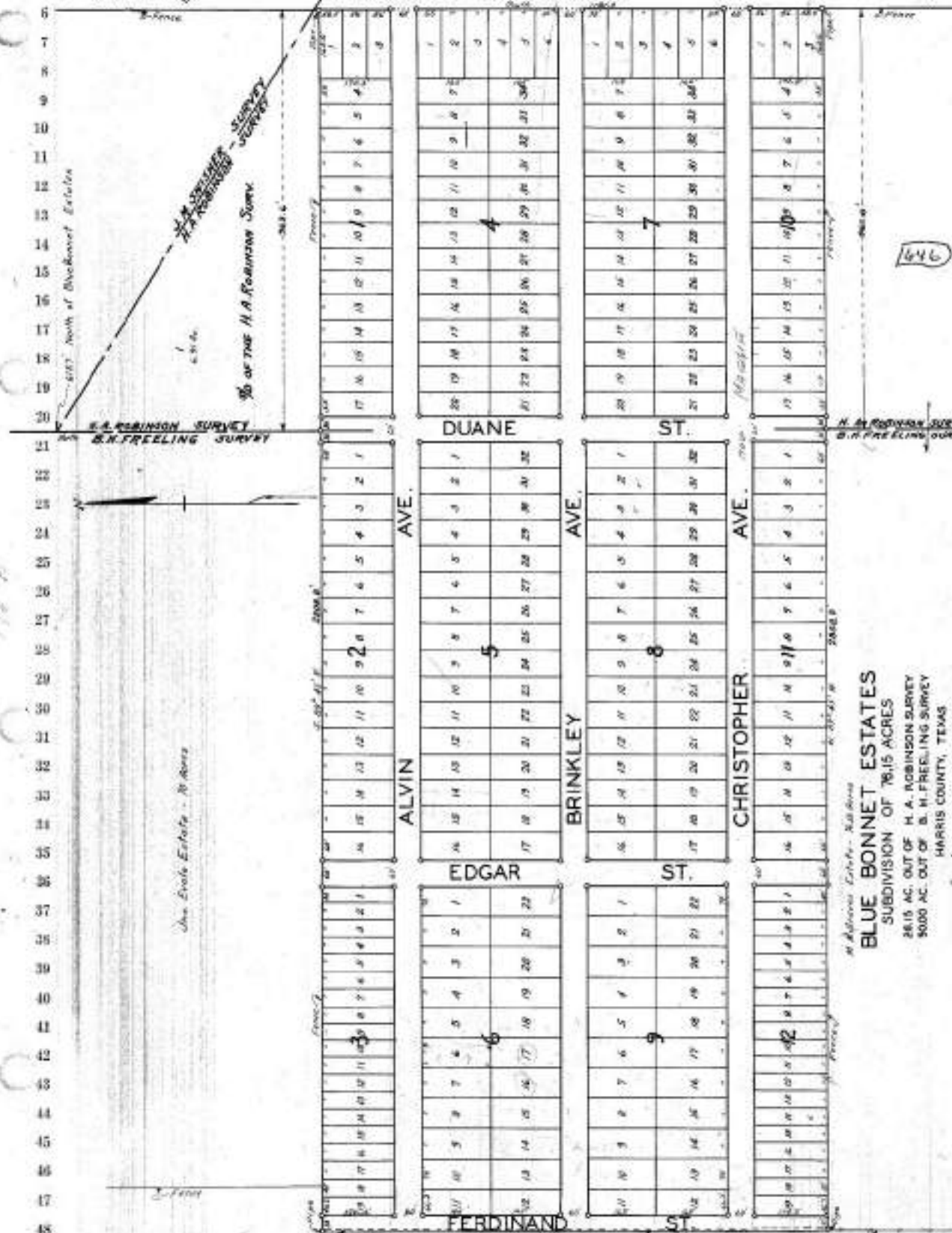
Vol-998-713

National Realty Sales Co.,
By Vice Pres.

No. 254135
To
Dedication & Map
of the H. A. Robinson Survey

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CHOCOLATE BAYOU ROAD



646

BLUE BONNET ESTATES
SUBDIVISION OF 76.15 ACRES
26.15 AC. OUT OF H. A. ROBINSON SURVEY
5000 AC. OUT OF B. H. FREELING SURVEY
HARRIS COUNTY, TEXAS
SCALE: 1" = 200'
OFFICE OF P. P. ELLER, CO., HOUSTON, TEX.

All reservations to be released by the Deed Grantee, when bearing of property interest in the plat, or for his part of the street.



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
12/18/22

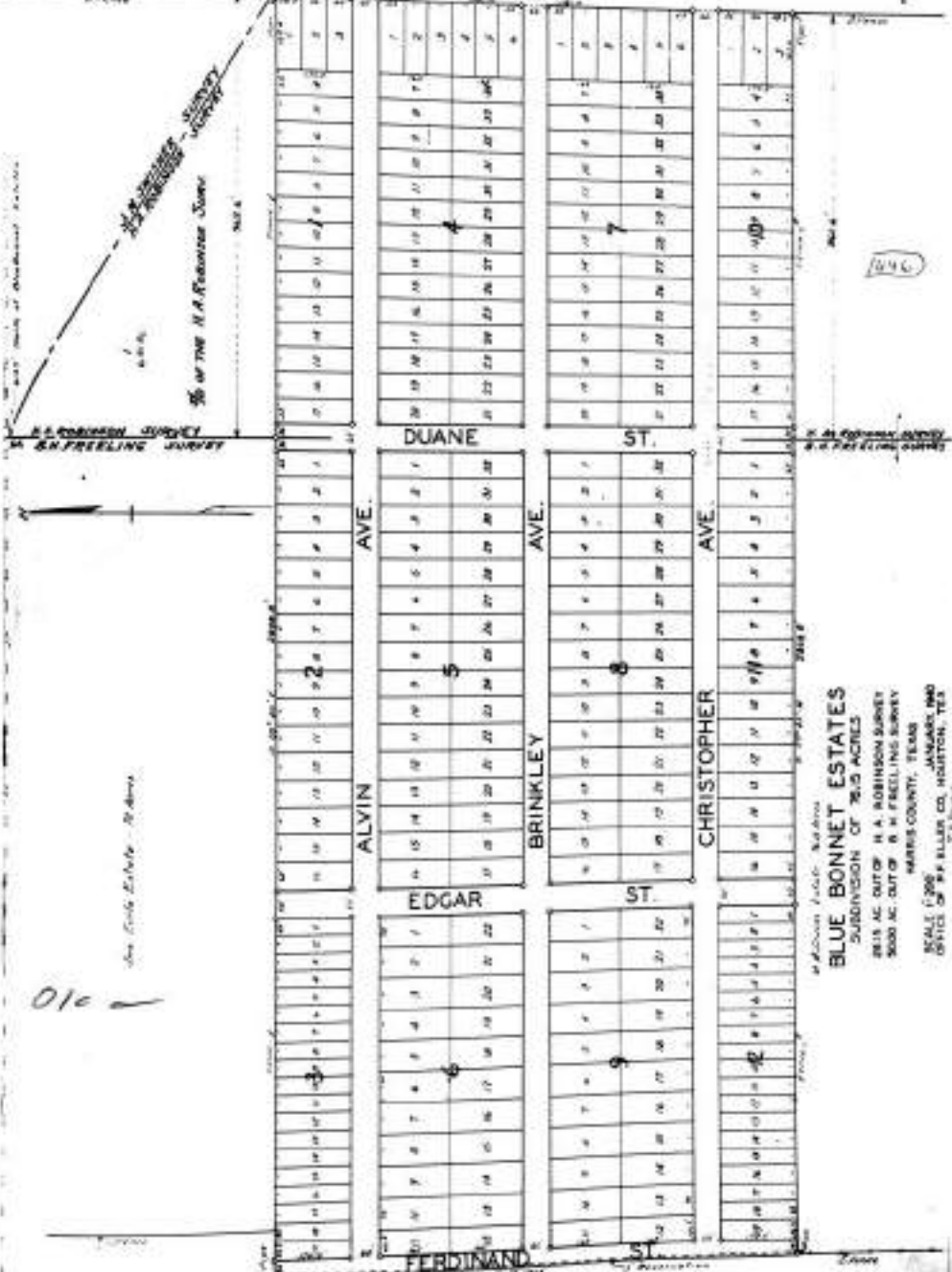
del-978-713

713

National Realty Sales Co.,
By Vice Pres.

No. 294115
To
Destination & Map
SD of the H.A. Robinson Survey

CHOCOLATE BAYOU ROAD



BLUE BONNET ESTATES
SUBDIVISION OF 76.0 ACRES
SD of H.A. ROBINSON SURVEY
SD of R.H. FREELING SURVEY
HARRIS COUNTY, TEXAS
SCALE: 1"=200' JANUARY, 1940
OFFICE OF R.F. ILLIEN CO., HOUSTON, TEXAS

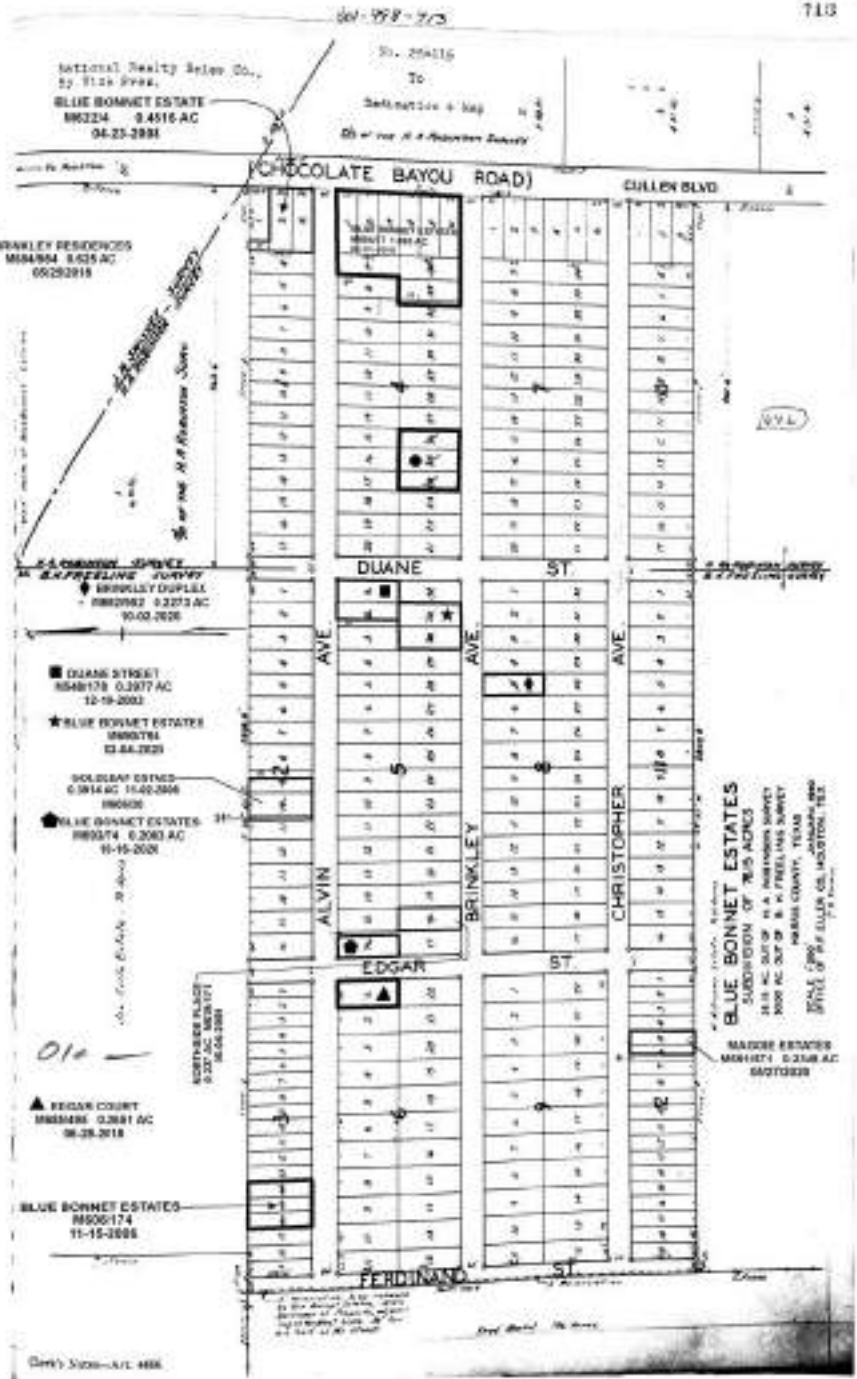
010

1. The boundaries of the lots shown on this plat are based on the original survey of the property shown on the plat and are not to be changed.



21080224

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes and regulations. 12/18/22



City's Survey - A/L 488



Stewart Title Company
10720 W Sam Houston Parkway N, Suite 200
Houston, TX 77064



April 15, 2021

File No.: 1205932

To Whom It May Concern:

This company certifies that a diligent search of the Real Property Records of 's abstract plant has been made, as to the herein described property, and as of 8:00 A.M. on the 6th day of April, 2021, the last Deed that we find of record reflects the record owner to be:

[KYKO Group, LLC](#)

Legal Description:

The East Twenty feet (E. 20') of Lot Twenty-Four (24) all of Lot Twenty-Five (25) and West Twenty-Five feet (W.25') of Lot Twenty-Six (26), in Block Seven (7), of BLUEBONNET ESTATES, an addition in Harris County, Texas according to the map or plat thereof recorded in [Volume 998, Page 713](#) of the Deed Records of Harris County, Texas

Subject to the following:

1. Restrictions, Easements and Other Exceptions:

Those recorded in Volume 998, Page 713 and [Volume 2025, Page 499](#) of the Deed Records of Harris County, Texas; but omitting any covenants, condition, or restriction, if any, based on race, color, religion, sex, handicap, familial status or national origin unless and to the extent that the covenant, condition or restriction (a) is exempt under Title 42 of the United States Code or (b) relates to handicap, but does not discriminate against handicapped persons.

An easement 5 feet wide along the rear property line for the use of public utilities as reflected by instrument recorded in Volume 2025, Page 499 of the Deed Records of Harris County, Texas.

Building Set Back Line 15 feet in width along the front and 5 feet wide in the side property line as reflected in instrument recorded in Volume 2025, Page 499 of the Deed Records of Harris County, Texas.

Outside Buildings or other permitted closer than 75 feet from the front lot line may be located 20 feet from the side property line, as reflected in instrument recorded in Volume 2025, Page 499 of the Deed Records of Harris County, Texas.

All leases, grants, exceptions or reservations of coal, lignite, oil, gas and other minerals, together with all rights, privileges, and immunities relating thereto, appearing in the Public Records whether listed in Schedule B or not. There may be leases, grants, exceptions or reservations of mineral interests that are not listed.

2. Liens/Misc:

Vendor's Lien retained in Deed dated 6/25/2020, filed 6/30/2020, recorded under Clerk's File No. 20200283719 of the , Real Property Records, Harris County, Texas, from Monique Fowler, a single person to KYKO Group, LLC, securing the payment of one note in the principal amount of \$214,000.00, bearing interest and payable as therein provided to the order of SCF Alexis III, LP; additionally secured by



21080234

REVIEWED FOR COMPLIANCE
 Performance of this review does
 not relieve the applicant from full
 responsibility to comply with all
 applicable code and regulations.
 12/18/22

Deed of Trust of even date therewith, executed by KYKO Group, LLC; recorded under Clerk's File No. 20200283720 of the Real Property Records of Harris County, Texas.

City of Houston Ordinance 1999-262, relating to rules, regulations and design standards for development and platting and providing for the establishment of building setback lines. (For Information Only)

City of Houston Ordinance 89-1312, a certified copy of which is recorded under Harris County Clerk's file number M-337573, relating to the giving of a Notice regarding Deed Restrictions to buyers of restricted property. (For Information Only)

No examination has been made as to Abstracts of Judgment, State or Federal Tax Liens, the status of taxes, tax suits or paving assessments.

This letter is issued for platting purposes only. Liability of Stewart Title Company for mistakes or errors in this letter is hereby limited to the cost of said letter.

The letter is issued with the express understanding, evidenced by the acceptance thereof, that Stewart Title Company does not undertake to give or express any opinion as to the validity or effect of the instruments listed, and this letter is neither a guaranty nor warranty of title.

Liability hereunder is limited to the amount paid for same. This report is furnished solely as an accommodation to the party requesting same and should not be relied upon, as a warranty or representation as to the title to the property described herein and may not be given to or used by any third party. Stewart Title Company assumes no liability whatsoever for the accuracy of this report nor for any omission or error with respect hereto. **You agree to release, indemnify and hold harmless Stewart Title Company because of any negligence by Stewart Title Company (whether sole, joint or otherwise) for any claim, loss, liability or damages arising out of this report.** This report is not title insurance. If a policy of title insurance is purchased, any liability thereunder shall be determined solely by the terms of such policy.

Sincerely,
 Stewart Title Company

RP-2021-573408
10/15/2021 10:27 AM

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

1. Grantor, KIKO GRANT LEE, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GRANT LEE, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casually" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on 1/15/24 by Kyko Gray, LLC Grantor Kevin Cherry galt
Owner

THE STATE OF TEXAS
 COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2014 by Kevin Cherry

Seal Showing Name and Commission Expiration

Notary Public in and for the State of Texas

EXECUTED on _____

Ryko Grop, LLC by Ryko Grop, LLC Grantee Tevee Cherry
over

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2024, by Tevee Cherry

Seal Showing Name and
Commission Expiration

R. Burroughliter
Notary Public in and for the
State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 28, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 26' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

Exhibit "C"
Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX. 77021
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. At recording, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Leslie Madgett
COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was filed in File Number Sequence on the date and at the time stamped herein by me, and was duly RECORDED in the Official Public Records of said Property of Harris County, Texas.

Tuesday, October 5, 2021

Leslie Madgett
COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573407
10/05/2021 892 \$38.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

W Grant
B

1. Grantor, Kyko Grant LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4617 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, Kyko Grant LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

(2)
llc

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

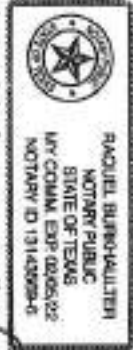
8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on _____
 by Kyra Boppre Grantor
 THE STATE OF TEXAS
 COUNTY OF HARRIS



This instrument was acknowledged before me on the 17th day of May, 2021, by Kyra Boppre

Seal Showing Name and Commission Expiration

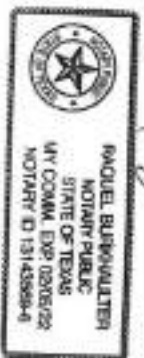
Rachel Burroughs
 Notary Public in and for the State of Texas

EXECUTED on _____

Kyko Group, LLC TX Grantlee Treva Cherry LLC
Quinn

THE STATE OF TEXAS
COUNTY OF HARRIS

Quinn



This instrument was acknowledged before me on the October 5, 2021 by Treva Cherry

Seal Showing Name and Commission Expiration _____

Notary Public in and for the State of Texas

Mojibel Burwalter

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

A

24

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 30.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Returns Address
3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 ✓
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photograph reproduced because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, notations and stamps were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW
THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number: Spouses on the date and at the time stamped herein by me, and was duly recorded, in the Official Public Records of said Property of Harris County, Texas

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573406
10/03/2021 \$42 \$28.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Union

1. Grantor, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

EXECUTED on _____

Kyko Empire, LLC by _____, Grantee Trevor Cherry
Owner 100

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2021, by
Trevor Cherry

Seal Showing Name and Commission Expiration _____

Notary Public in and for the State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

6

Exhibit "B"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantor's Property
(See Section 7 and 10 of Easement)

Return Address

3636 Old Spanish Trl, B1-140
Houston, TX. 77021
KyKo Group, LLC

W

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be indistinguishable from the best photocopied reproduction because of illegible, omission or photo copy, discolored paper, etc. All blockwork, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS, COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED in the Official Public Records of said County of Harris County, Texas.

Tuesday, October 5, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573405
10/01/2021 \$21 \$21 \$21.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Wm

1. Grantor, KIKO GARDNER, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GARDNER, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

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6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

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distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

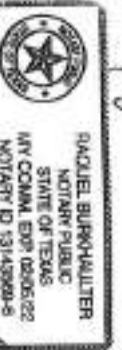
10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on _____ by Kyko Corp, LLC Grantor Taylor Cherry

 Owner

THE STATE OF TEXAS
 COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2024, by Taylor Cherry

Seal Showing Name and Commission Expiration

Notary Public In and for the State of Texas

EXECUTED on _____

Ryker Group, LLC By Grantee Travis Cherry Hill
owner

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2024, by Ryker Group, LLC

Seal Showing Name and Commission Expiration

Rachel Burkhultter
Notary Public in and for the State of Texas

Exhibit 'A'

Legal Description of Grantor's Property

BLOCK 1 LOT 2

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

B

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 988, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Return Address

3636 Old Spanish Trl, B-1 #140

Houston, TX. 77021

Kyko Group, LLC

RECORDERS'S MISCELLANEOUS:

At the time of recording, this instrument was found to be inadequate for the best photographs reproductions because of illegibility, carbon or photo copy, discolored paper, etc. All boldface, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS VOIDED AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly recorded, in the Official Public Records of Real Property of Harris County, Texas.

Tuesday, October 5, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS



RP-2021-573404
10/05/2021 9:21 438.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS

COUNTY OF HARRIS

showing

b
EC5MXX
1. Grantor, Kirk Group LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property"). *(2)*

2. Grantee, Kirk Group LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4617 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property"). *llc*

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantor's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantor's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantor's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on
by Kyko Goppala
THE STATE OF TEXAS
COUNTY OF HARRIS



Kyko Goppala, Grantor Trevor Cherry John

This instrument was acknowledged before me on the 05th day of 5/2021 by Rebecca Greedy

Rebecca Greedy
Notary Public in and for the
State of Texas

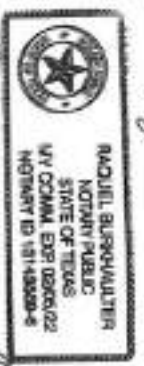
Seal Showing Name and
Commission Expiration

EXECUTED on _____

Kyrcosop, LLC by _____, Grantee Tina Cherry
owner LLC

THE STATE OF TEXAS
COUNTY OF HARRIS

Grimes



This instrument was acknowledged before me on the October 5, 2024, by
Heller Greedy

Seal Showing Name and
Commission Expiration

P Burrows
Notary Public in and for the
State of Texas

Exhibit 'A'

Legal Description of Grantor's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit "B"

Legal Description of Grantor's Property

BLOCK 1 LOT 1

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 W
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All block letters and changes were present at the time the instrument was filed and recorded.

b

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in Filing Number 809269 on the date and at the time stated herein by me, and was duly RECORDED in the Official Public Records of Harris County, Texas.

Tuesday, October 5, 2021

COUNTY CLERK,
HARRIS COUNTY, TEXAS





NOTES FOR CHANGES ON THE APPLICATION

SQ FTG = 2400
COST = 215,000



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/19/22

THE STATE OF TEXAS,
COUNTY OF HARRIS

698935
Know All Men by These Presents:

THAT FARRHILL DEVELOPMENT COMPANY, INC., a corporation, acting herein by and through its officers thereunto duly authorized by its Board of Directors, do hereby

of the County of Harris State of Texas (hereinafter called "GRANTORS" (whether one or more), for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations cash to us in hand paid by JOHN HARRY WILSON and wife RUTH WILSON, of Houston, Harris County, Texas
- - - - -
(hereinafter called "GRANTEES" whether one or more), the receipt and sufficiency of which are hereby acknowledged and confessed, and the further consideration of Eleven Hundred Fourteen and Seventy-six cents (\$1114.76) Dollars, paid to Grantors by C. A. Coakley, of Houston, Harris County, Texas
- - - - -
at the special instance and request of the Grantees herein, the receipt of which is hereby acknowledged and confessed, and as evidence of such advancement, the said Grantees herein have executed their note of even date herewith for the sum of Eleven Hundred fourteen and Seventy-six cents (\$1114.76) Dollars payable in Houston, Texas, to the order of C. A. COCKEY
- - - - -
(hereinafter referred to as "BENEFICIARY"), bearing interest at the rate therein provided on the unpaid balance, principal and interest being due and payable ~~monthly~~ on or before three (3) months after date, with interest payable at maturity.
~~and to remain in full force and effect until the principal and interest are fully paid~~
Said note being additionally secured by a deed of trust of even date herewith, executed by the Grantees herein to Morris G. Rosenthal - - - - - Trustee, reference to which is here made for all purposes; and in consideration of the payment to us of the sum above mentioned by the Beneficiary above mentioned. Grantors hereby transfer, set over, assign and convey unto said Beneficiary and assigns, the vendor's lien and superior title herein retained and reserved against the property and premises herein conveyed, in the same manner and to the same extent as if said note had been executed in Grantors' favor and by said Grantors assigned to the Beneficiary without recourse;





21080224

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes and regulations. 12/19/22

have Granted, Sold and Conveyed, and by these presents do Grant, Sell and Convey, unto the said GRANTEES
 HERRIN

JOHN HARRY WILSON and wife RUTH WILSON

of the County of Harris, State of Texas, all that certain lot, tract or parcel of land, together with all improvements thereon, lying and being situated in the County of Harris, State of Texas, more particularly described as follows, to-wit:

East Twenty feet (20') of Lot Twenty-four (24), all of Lot Twenty-five (25) and West Twenty-five feet (25') of Lot Twenty-six (26) in Block Seven (7), Blue Bonnet Estates, an Addition to the City of Houston, in Harris County, Texas, per map recorded in Vol. 998 Page 713, Deed Records of Harris County, Texas.

It is understood and agreed that this conveyance is made, and the Grantees, John Harry Wilson and wife Ruth Wilson, accept the same, subject to the following covenants, conditions and restrictions, for a period of twenty years from January 1, 1948, and shall be deemed and considered as covenants running with the land, to-wit:

1. No residence or structure shall be erected within fifteen feet of the front line of any residential lot or within five feet of any side line.
2. All homesites are restricted to residential structures of family type, save and except the property facing on Chocolate Bayou Road, which may be used for commercial purposes as Sellers may designate. A church site may be designated by Sellers.
3. Residences erected upon said property shall contain not less than 432 square feet (excluding porches and breezeways). Sheet metal and corrugated iron shall not be used in the construction of any improvements, whether residential or commercial. Garage apartments containing not less than 400 square feet total area may be temporarily occupied.
4. Residential buildings erected upon said property shall be completely finished on the exterior in brick, stucco, rock or frame siding, and if siding is used, the same will be applied horizontally only, and shall be painted with not less than two coats of paint within a reasonable time after completion.
5. Outside toilets may be temporarily erected on the property if placed no closer than 75 feet from the front property line, or 20 feet from the side property line.
6. No billboards shall be erected or maintained on any residential lot, nor shall any junk be permitted to accumulate or remain thereon.
7. Bridges or culverts over front property line ditches shall have not less than twelve (12) inches of clearance so that drainage will not be retarded.
8. Each corner lot shall be deemed to front on the street on which it has the smallest frontage.
9. An easement of five feet is reserved in the rear of each lot for public utilities.
10. Residents must use all utilities available to the area, or this addition.

This conveyance is made and accepted subject to any and all restrictions now of record in the County Clerk's Office in said County.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said GRANTEES, their heirs and assigns forever, and the GRANTORS do hereby bind

to WARRANT and FOREVER DEFEND, all and singular the said premises unto the said GRANTEES, their heirs and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

But it is expressly agreed and stipulated that the Vendor's Lien and Superior Title is retained against the above described property, premises and improvements, until the above described note, and all interest thereon are fully paid according to its face and tenor, effect and reading when this deed shall become absolute.

Executed this 5th day of January, A. D., 1950.



FARRELL DEVELOPMENT COMPANY, INC.

By: *Harold S. Farrell*
 President



201

THE STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared **GERALD E. GORDON**
President of Farrell Development Company, Inc., -----



to be the person whose name subscribed to the foregoing instrument, and acknowledged to
executed the same for the purposes and consideration therein expressed, in the capacity
of **President** and put, as the act and deed of said corporation.

Under my hand and seal of office, this 5th day of January A.D. 1950

Gerald E. Gordon
Notary Public in and for **Harris** County, Texas

Filed for Record Jan 10 1950 at 9:40 o'clock A.M.
Recorded Jan 19 1950 at 11:38 o'clock A.M.
U. D. MILLER, Clerk County Court, Harris County, Texas.
BY Margarette Jenkins Deputy



2108055

REVIEWED FOR COMPLIANCE
 Performance of the reviewer does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

RIDGE TIES

Tie straps spaced at 32" max and connected with 8-8d nails. (Section AL 103.9)

ROOF MEMBERS TO WALL TIES

Tie straps shall be placed at every roof-framing member and connected with a minimum of 8-8d nails. (Section AL 103.8)

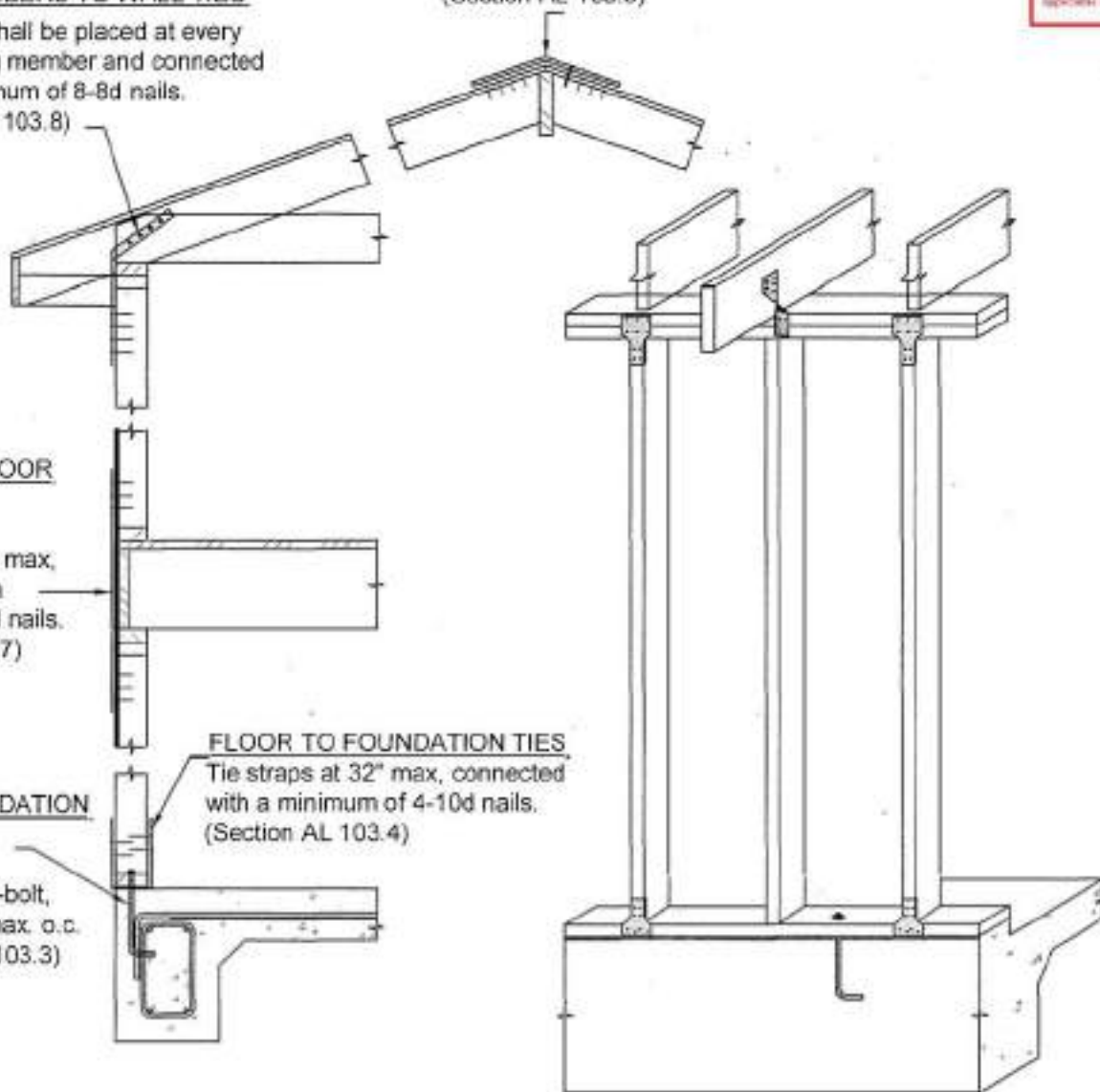
FLOOR TO FLOOR TIES

Tie straps at 32" max, connected with a minimum of 6-8d nails. (Section AL 103.7)

FLOOR TO FOUNDATION TIES
 Tie straps at 32" max, connected with a minimum of 4-10d nails. (Section AL 103.4)

SILL TO FOUNDATION TIES

1/2" X 10" J-bolt, spaced @ 4' max. o.c. (Section AL 103.3)



WALL FRAMING DETAILS

Mechanical fasteners shall be installed at a maximum of 32" o.c. to connect studs to top plates, sole plates and sill plates. Fasteners shall be nailed with a minimum of 8-8d nails. (Section AL 103.5)

NOTES

1. Tie straps shall be 1 1/8" x .036" (20 gage) sheet steel and shall be corrosion-resistant.
2. Pre-manufactured connectors that provide equal or greater tie-down capacity may be used provided that their application complies with all the manufacturer's specifications.



STANDARD DRAWING

CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

APPENDIX L ILLUSTRATION

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

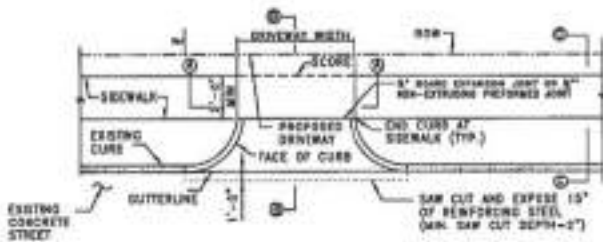
APPROVED BY:

ISSUING OFFICER

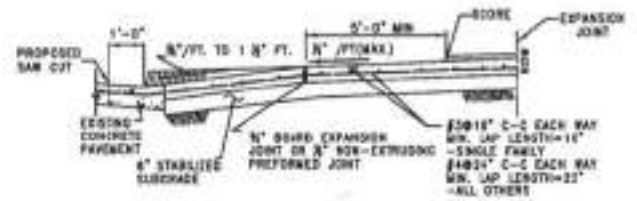
DATE: 11 / 17 / 2016

DWG No: 16-06-R

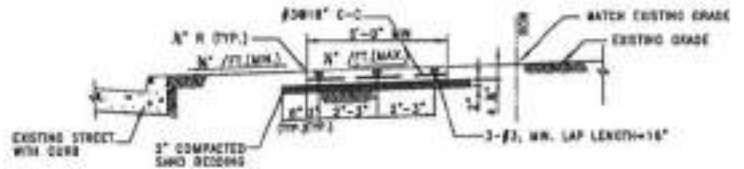
1 of 1



PLAN VIEW - DRIVEWAY
NTS



SECTION (A)
PROPOSED SIDEWALK THROUGH DRIVEWAY
WITH EXCESSIVE ELEVATION DIFFERENCE
WITH EXISTING SIDEWALK
NTS



SECTION (C)
TYPICAL SIDEWALK SECTION
NTS

NOTES

1. ALL JOINTS SHALL CONFORM TO CITY OF HOUSTON 01752 STANDARD SPECIFICATION.
2. DRIVEWAYS SHALL BE MINIMUM 8" THICK FOR SINGLE FAMILY USE AND MINIMUM 7" THICK FOR ALL OTHERS (I.E. COMMERCIAL, INDUSTRIAL, ETC.)
3. DRIVEWAYS AND SIDEWALKS SHALL BE CONSTRUCTED WITH PORTLAND CEMENT CONCRETE AND INCLUDE 5-1/2 BAGS OF CEMENT PER CUBIC YARD OF CONCRETE.

4. STANDARD CONSTRUCTION SPECIFICATIONS LOCATED AT

http://documents-publicworks.houstontx.gov/document-center/csl_view/85-engineering-csl-construction.html

CITY OF HOUSTON	
DEPARTMENT OF PUBLIC WORKS AND ENGINEERING	
DRIVEWAY DETAIL WITH 6" CURBED STREETS	
 CITY ENGINEER	 DIRECTOR OF PUBLIC WORKS AND ENGINEERING
EFF. DATE: FEB-13-2014	DWG NO. 02754-01B



2108195

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility of complying with all applicable code and regulations.
 10/13/22

EMERGENCY ESCAPE AND RESCUE WINDOWS

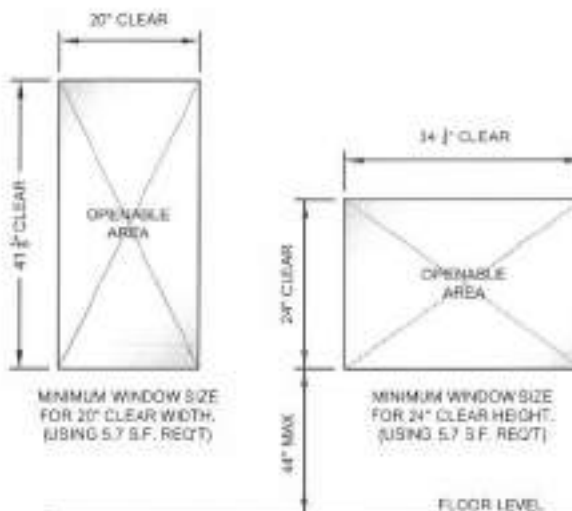
THIS DRAWING DEPICTS MINIMUM CODE REQUIREMENTS PER CITY OF HOUSTON RESIDENTIAL CODE. INFORMATION IS FOR REFERENCE ONLY AND IS NOT A SUBSTITUTE FOR ACCURATE DRAWINGS PREPARED FOR EACH PROPOSED CONSTRUCTION PROJECT.

CODE REQUIREMENT:

BASEMENTS AND SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. THE MINIMUM NET CLEAR OPENING AREA SHALL BE 5.7 SQ. FT. (OR 5.0 SQ. FT. FOR GROUND FLOOR OPENINGS). OPENING HEIGHT SHALL BE 20" MINIMUM CLEAR AND OPENING WIDTH SHALL BE 20" MINIMUM CLEAR. THE MAXIMUM OPENING SILL HEIGHT SHALL BE 44" TO ACTUAL WINDOW OPENING.

MINIMUM DIMENSIONS:

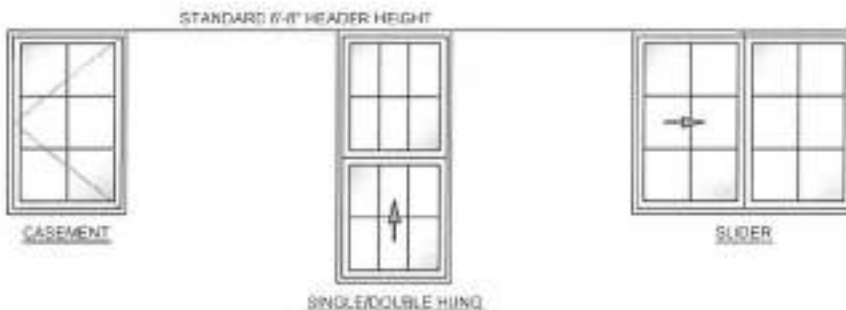
- 1. 20" MINIMUM CLEAR WIDTH
- 2. 24" MINIMUM CLEAR HEIGHT
- 3. 5.7 SQ. FT. MINIMUM OPENABLE AREA (EXCEPT FOR GROUND FLOOR)
- 4. 5.0 SQ. FT. MINIMUM OPENABLE AREA FOR GROUND FLOOR



THE FOLLOWING WINDOW SIZES WILL BE THE MINIMUM ALLOWED FOR EGRESS UNLESS MANUFACTURER'S DATA IS PROVIDED, PROVING ACCEPTABLE OPENING SIZE.

NOTE:

SIZES ARE GENERAL DIMENSIONS TAKEN FROM DATA SUPPLIED BY SOME WINDOW MANUFACTURERS. IT IS THE OWNER'S RESPONSIBILITY TO VERIFY THAT THE ACTUAL WINDOWS INSTALLED MEET THE MINIMUM EGRESS REQUIREMENTS.



SIZES THAT MEET THE 5.7 SQ. FT. REQUIREMENT		
SINGLE CASEMENT	SINGLE/DOUBLE HUNG	SLIDER
3'-4" x 4'-0"	5'-0" x 5'-0"	4'-0" x 4'-0"
2'-6" x 3'-6"	3'-0" x 5'-6"	5'-0" x 3'-6"
	2'-4" x 6'-8"	6'-0" x 3'-0"
DOUBLE CASEMENT	2'-6" x 6'-2"	
4'-8" x 4'-0"	2'-8" x 5'-8"	
5'-0" x 3'-6"		

SIZES THAT MEET THE 5.0 SQ. FT. REQUIREMENT (GROUND FLOOR)		
SINGLE CASEMENT	SINGLE/DOUBLE HUNG	SLIDER
2'-4" x 3'-6"	2'-6" x 5'-0"	4'-0" x 3'-6"
2'-6" x 3'-0"	3'-0" x 4'-6"	5'-0" x 3'-0"
	2'-4" x 5'-8"	6'-0" x 3'-0"
DOUBLE CASEMENT	2'-6" x 5'-0"	
4'-8" x 3'-6"	2'-8" x 5'-2"	
5'-0" x 3'-0"		

NOTE: OTHER WINDOW TYPES SUCH AS AWNING, BAY WITH FIXED CENTER AND SINGLE /FIXED COMBO ARE NOT ALLOWED AS AN EGRESS WINDOW UNLESS MFR'S DATA IS PROVIDED SHOWING ACCEPTABLE OPENING SIZE.



STANDARD DRAWING

CITY OF HOUSTON
 DEPARTMENT OF PUBLIC
 WORKS & ENGINEERING

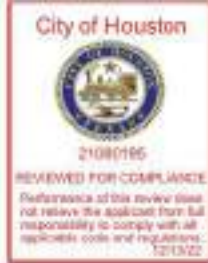
EMERGENCY ESCAPE AND RESCUE
 WINDOWS
 (EXAMPLES)

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY

BUILDING OFFICIAL

DATE: 4/18/2017 DWG No: 17-08-R



May 21, 2021

Mr. Trevor Cherry
KYKO Group, LLC
4617 Maggie Street
Houston, Texas 77051

ILMS Project Number: 21048077 WCR File Number: 0033688

Legal Description: 0.3788 acre of land being Lot 25, the east twenty feet (e.20') of Lot 24 and the west twenty five feet (w.25') of Lot 26, Block 7, Blue Bonnet Estates located at 4617 Maggie Street
Proposed Development: Construction of five (5) townhomes

Wastewater:

Impact Fee: \$5,995.55
Admin Fee: \$29.72
Connection Point(s): 8-inch sewer in Maggie Street
Proposed Service Units: 5.0000
Treatment Plant: Chocolate Bayou
Pumping Station:

Water:

Impact Fee: \$3,952.75
Admin Fee: \$29.72
Connection Point(s): 8-inch water main in Maggie Street
Proposed Service Units: 5.0000

Minh Nguyen
For Rudy Moreno, Jr.
Deputy Assistant Director
Infrastructure and Development Services
CEH:RM:MN (Council District D)

For Carol Ellinger Haddock, P.E.
Director
Houston Public Works

This approval is subject to the standard City of Houston requirements and supplemental requirement(s) listed below.

Standard Requirements:

The City Engineer may, from time to time, revise the Houston Public Works Infrastructure Design Manual, resulting in changes to the design criteria and parameters that must be followed in the development of this site.

Wastewater discharges from non-domestic sources must be reviewed for organic loading capacity and industrial wastewater permit requirements. Contact the Industrial Wastewater Service at 832-395-5800 if the sanitary sewer discharge contains non-domestic waste. Failure to comply with industrial wastewater permit requirements may result in termination of service or other enforcement remedies according to Chapter 47 Article V of the City of Houston Code of Ordinances.

Please note, if the sanitary sewer line to which connection will be made is deeper than twenty feet (20'), or is larger than thirty-six

Mr. Trevor Cherry
KYKO Group, LLC
ILMS Project No 21048077
May 21, 2021

inches (36") in pipe diameter, then the connection must be made to the nearest existing manhole of the sanitary sewer line. Please contact Mr. Simon Tung in the City Engineer's Office at (832) 394-9135 prior to engineering the plans for connection.

Failure to pay the Wastewater Impact Fees within six (6) months from the date of this letter will result in the expiration of this reservation and a new application must be submitted. If this project is not under construction within two (2) years from the date of this letter, the water portion of this reservation will expire, and a new application must be submitted. All fees must be paid prior to issuance of a building permit and may be paid online, by mail, or at 1002 Washington Avenue. A copy of the Impact Fee receipts and copy of this letter must be submitted with your construction plans when applying for a building permit. Plans must be approved by the Code Enforcement Branch of the Building and Development Services Division prior to the issuance of a permit.

Please note, the Wastewater and Water Impact Fees quoted above are not refundable for any reason including failure to obtain a building permit or failure to complete the project for any reason.

This information is based on the City of Houston Geographic Information Management System Maps. These maps are prepared utilizing the best information available to the City and the City cannot warrant their accuracy or completeness. The exact size and location of all utility lines should be field verified.

For direct inquiries, please contact Utility Analysis at (832) 394-8888 or email wrotechs@houston.tx.gov. Be sure to reference the ILMS project number listed in this letter.

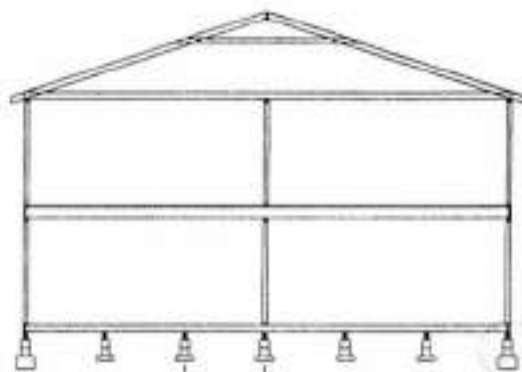
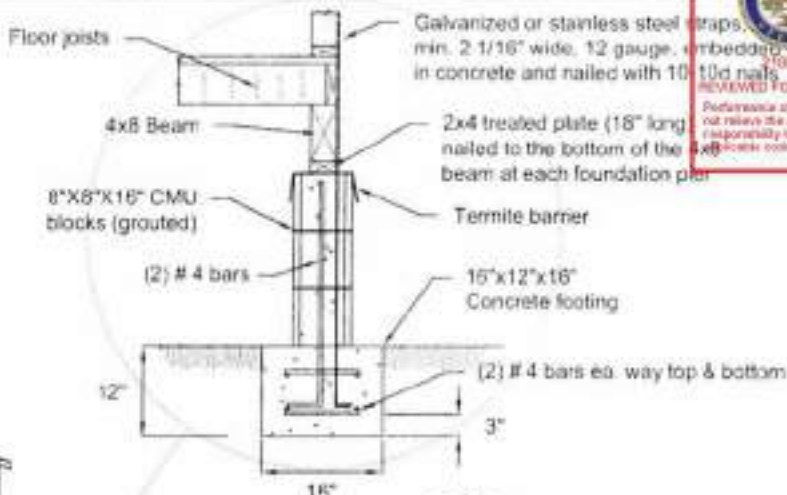
Supplemental Requirement(s):

- Ordinances provide for a waiver of impact fees for houses (single family residences) that sell to the first-time purchaser for less than the median price of a home in Houston during the month the proposed home is permitted. Currently, the median price is approximately \$265,575. If you feel that your proposed development may qualify for this exemption, please do not pay the impact fees referenced in this letter and make certain that you fill out an Impact Fee Exemption Form at 1002 Washington Avenue when applying for a building permit.
- Each single family residence must be individually connected to the sanitary sewer. Should each single family residence not have direct access to the public sanitary sewer, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to obtaining building permits.
- A public water meter must be provided to each single family residence. Should each single family residence not have direct access to the public water main, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to making application to purchase water meters.

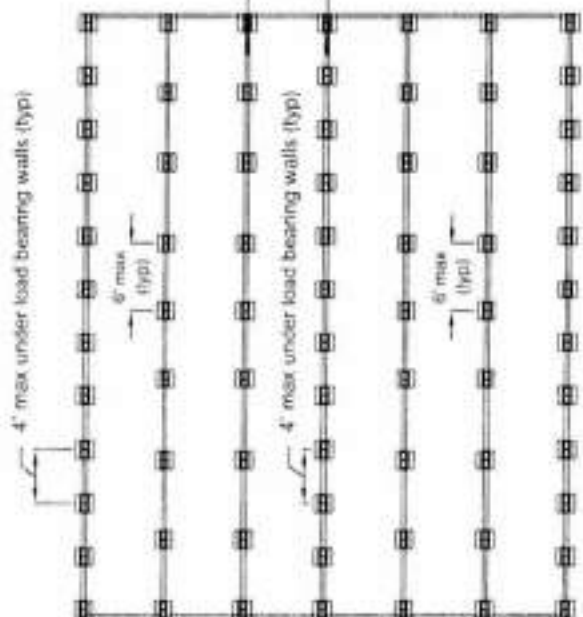


Notes:

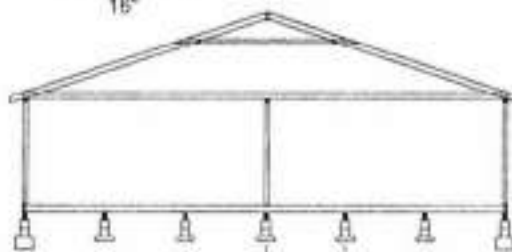
1. Provide hurricane strapping as per Appendix L of the City of Houston Residential Code.
2. The under-floor grade shall be cleaned of all vegetation and organic material (section R408.5).
3. All exterior footings shall be placed at least 12 inches below the undisturbed ground surface (section R 403.1.4).



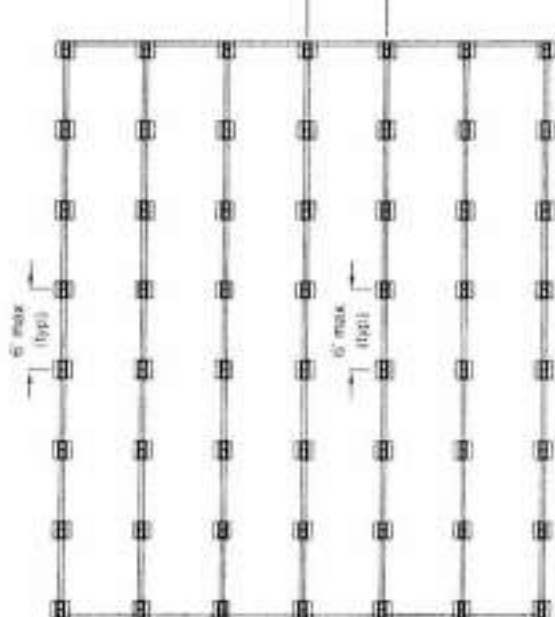
6' max (typ)



TWO-STORY RESIDENCE



6' max (typ)



ONE STORY RESIDENCE



STANDARD DRAWING

CITY OF HOUSTON
DEPARTMENT OF PUBLIC
WORKS & ENGINEERING

**BLOCK & BASE FOUNDATIONS
DETAILS**

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

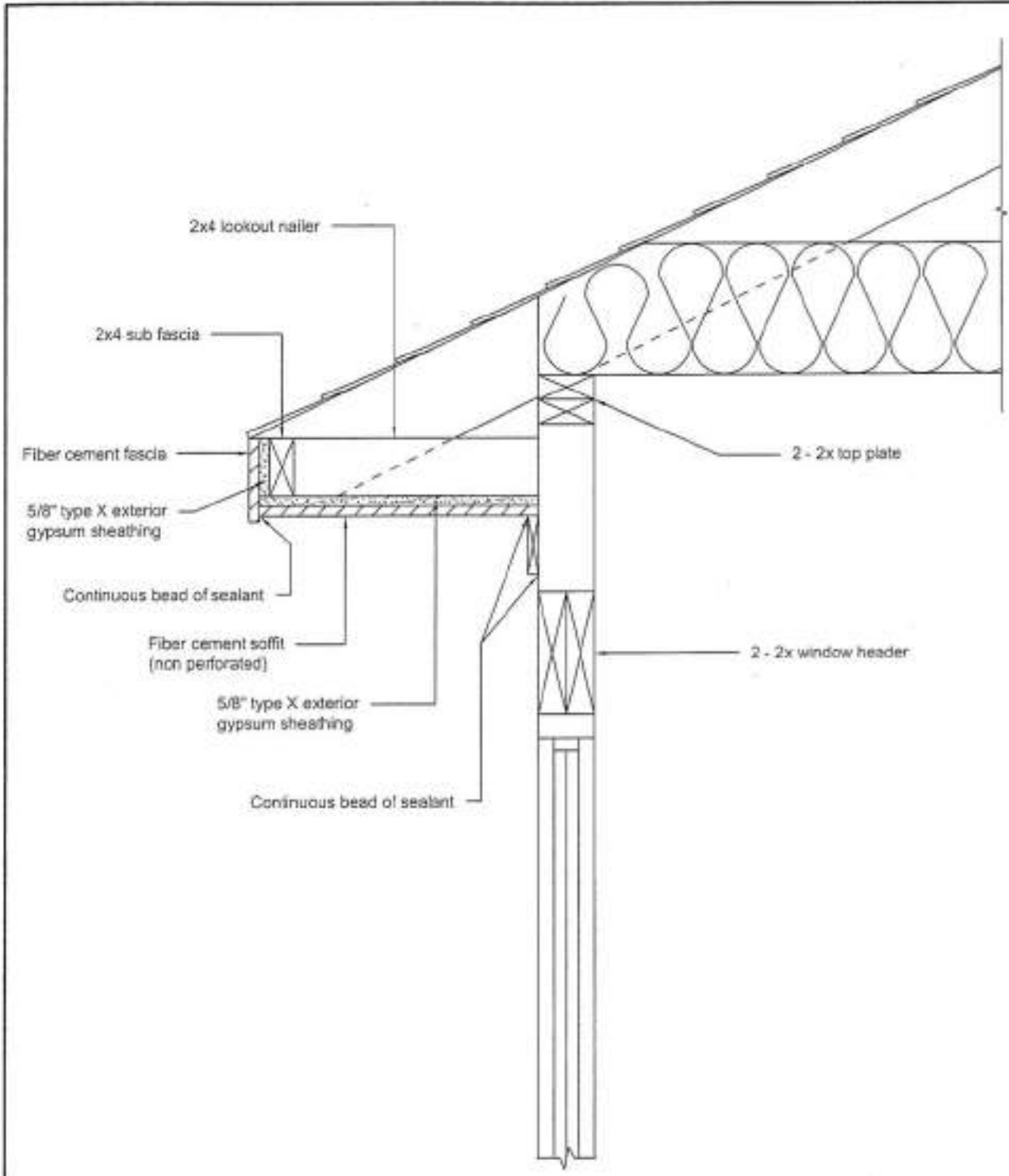
APPROVED BY: *[Signature]*
 BUILDING OFFICE
 APPROVED: *[Signature]*
 DATE: 10-03-2012 DRAWING: 13-059 1 OF 1

REVIEWED FOR COMPLIANCE
 PERFORMANCE OF THE REVIEW DOES
 NOT RELIEVE THE APPLICANT FROM ALL
 RESPONSIBILITY TO COMPLY WITH ALL
 CITY-STATE CODE AND REGULATIONS.
 12/13/22



21080165

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes and regulations. 12/18/22



STANDARD DRAWING

CITY OF HOUSTON
DEPARTMENT OF PUBLIC
WORKS & ENGINEERING

**FIRE - RESISTANCE RATED
SOFFIT ASSEMBLY**

1002 WASHINGTON AVE., HOUSTON, TEXAS 77002

APPROVED BY

BUILDING OFFICIAL

DATE: 3-15-2018 DWG NO: 16-02-R 1 OF 1



This form must be completed for all projects (commercial and residential).

Date: 7/21/21

Project/Permit No.: _____

Address: 4619 A MAGGIE STREET

APPLICANT INFORMATION

Printed name: FRED HARRIS

Signature: 

Improvement Type	Area of Existing Impervious Cover	Area of Final Impervious Cover	Square Feet or Acres (Select one)	
			<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Buildings		1200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Parking Lot/Driveway		200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Sidewalks/Patio		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Detention Pond		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Pools		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
TOTAL AREA		1400	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres

Size of Lot (square feet or acres)		Total Impervious Cover (square feet or acres)		Percentage of Impervious Cover	
2400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	1400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	58	%



Generated by REScheck-Web Software
Compliance Certificate



Project

Energy Code: **2015 IECC**
 Location: **Houston, Texas**
 Construction Type: **Multi-family**
 Project Type: **New Construction**
 Orientation: **Bldg. faces 270 deg. from North**
 Conditioned Floor Area: **2619 ft2**
 Glazing Area: **13%**
 Climate Zone: **2 (1371 HDD)**
 Permit Date:
 Permit Number:

Construction Site:
4619 A MAGGIE STREET

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **5.4% Better Than Code** Maximum UA: **614** Your UA: **581** Maximum SHGC: **0.25** Your SHGC: **0.25**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules. IT DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat Ceiling or Scissor Truss	1,667	30.0	0.0	0.035	58
Front Wall: Wood Frame, 16" o.c. Orientation: Front	726	13.0	0.0	0.082	49
Door: Solid Door (under 50% glazing) Orientation: Front	40			0.600	24
Window: Vinyl Frame SHGC: 0.25 Orientation: Front	89			0.290	26
right Wall: Wood Frame, 16" o.c. Orientation: Right side	838	13.0	0.0	0.082	66
Window: Vinyl Frame SHGC: 0.25 Orientation: Right side	30			0.290	9
Rear Wall: Wood Frame, 16" o.c. Orientation: Back	667	13.0	0.0	0.082	34
Door: Glass Door (over 50% glazing) SHGC: 0.25 Orientation: Back	36			0.290	10
Window: Vinyl Frame SHGC: 0.25 Orientation: Back	216			0.290	63
Left Wall: Wood Frame, 16" o.c. Orientation: Left side	838	13.0	0.0	0.082	66

Project Title:
 Data filename:

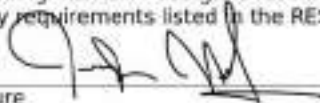
Report date:



Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Window: Vinyl Frame SHGC: 0.25 Orientation: Left side	30			0.700	9
Floor: Slab-On-Grade (Unheated) Insulation depth: 0.0'	160		0.0	1.042	167

2015 IECC COMPLIANCE
 This report does not constitute a warranty or any other form of insurance or protection against any loss or damage. It is the responsibility of the user to verify the accuracy of the information provided and to ensure compliance with all applicable codes and regulations.
 12/15/2015

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title _____ Signature  _____ Date _____



REScheck Software Version : REScheck-Web

Inspection Checklist

Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] ²	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1)	2 Medium Impact (Tier 2)	3 Low Impact (Tier 3)
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2108285

RELEASED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] ¹ ☺	Slab edge insulation R-value.	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	R-____ <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [FO3] ¹ ☺	Slab edge insulation depth/length.	____ ft	____ ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ² ☺	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² ☺	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



2108285

SELECTED FOR COMPLIANCE
Performance of this review does
not relieve the applicant from full
responsibility to comply with all
applicable code and regulations.
12/13/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹ 	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹ 	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.2, 402.3.3, 402.5 [FR3] ¹ 	Glazing SHGC value (area-weighted average).	SHGC: ____	SHGC: ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹ 	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23] ¹ 	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹ 	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤ 2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12] ¹ 	Supply and return ducts in attics insulated $\geq R-8$ where duct is ≥ 3 inches in diameter and $\geq R-6$ where < 3 inches. Supply and return ducts in other portions of the building insulated $\geq R-6$ for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15] ³ 	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] ² 	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to $\geq R-3$.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] ¹ 	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



2108205

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.5.3 [FR18] ² 	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



2108285

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ² 	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ²	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



2108265

SEEKING FOR COMPLIANCE
Performance of this review does
not relieve the applicant from full
responsibility to comply with all
applicable code and regulations.
12/13/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assumptions table for values.
303.1.1.1, 303.2 [F12] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] ¹	Attic access hatch and door insulation \geq R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] ¹	Blower door test @ 50 Pa. \leq 5 ach in Climate Zones 1-2, and \leq 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.4 [F14] ¹	Duct tightness test result of \leq 4 cfm/100 ft ² across the system or \leq 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F127] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] ¹	Air handler leakage designated by manufacturer at \leq 2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



2108205

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 [F17] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [F18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)



2015 IECC Energy Efficiency Certificate

Insulation Rating		R-Value	
Above-Grade Wall		13.00	
Below-Grade Wall		0.00	
Floor		0.00	
Ceiling / Roof		30.00	
Ductwork (unconditioned spaces):		R8	
Glass & Door Rating		U-Factor	SHGC
Window		0.29	0.25
Door		0.60	0.25
Heating & Cooling Equipment		Efficiency	
Heating System: <u>forced air</u>		<u>75%</u>	
Cooling System: <u>central air</u>		<u>SEER 14</u>	
Water Heater: <u>gas</u>		<u>80%</u>	
Name: <u>Jermayn Mack</u>		Date: <u>20 Aug 20</u>	

Comments



REScheck Software Version 4.6.4

Inspection Checklist

Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the REScheck software



Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 (PR1) 	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 (PR3) 	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 (PR2) 	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1. [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:




Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹ 1	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.3.6, 402.5 [FR2] ¹ 1	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.2, 402.3.3, 402.5 [FR3] ¹ 1	Glazing SHGC value (area-weighted average).	SHGC: ____	SHGC: ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹ 1	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.11 [FR23] ¹ 1	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹ 1	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.1 [FR12] ¹ 1	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.35 [FR15] ³ 1	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] ² 1	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] ¹ 1	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	



2108095

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.5.3. [FR18] ² 	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



REVIEWED FOR COMPLIANCE
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹ 	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ²	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108095

RELEASED FOR COMPLIANCE
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 12/13/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assumptions table for values.
303.1.1.1, 303.2 [F12] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] ¹	Attic access hatch and door insulation \geq R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] ¹	Blower door test @ 50 Pa. \leq 5 ach in Climate Zones 1-2, and \leq 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.3 [F14] ¹	Duct tightness test result of \leq 4 cfm/100 ft ² across the system or \leq 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [F127] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] ¹	Air handler leakage designated by manufacturer at \leq 2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	



2108095

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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 [Fi7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [Fi18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108095

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2015 IECC Energy Efficiency Certificate

Insulation Rating		R-Value	
Above-Grade Wall		13.00	
Below-Grade Wall		0.00	
Floor		0.00	
Ceiling / Roof		24.00	
Ductwork (unconditioned spaces):		_____	
Glass & Door Rating		U-Factor	SHGC
Window		0.38	0.18
Door		0.58	
Heating & Cooling Equipment		Efficiency	
Heating System: <u>GAS FORCED AIR</u>		<u>90% AFUE</u>	
Cooling System: <u>CENTRAL A/C</u>		<u>15 SEER</u>	
Water Heater: <u>GAS (STORAGE TYPE)</u>		<u>0.57EF</u>	
Name: <u>MICHAELS, MEP, LLC</u>		Date: <u>7/21/21</u>	
Comments: <u>TECL#24553</u>			

#4357


**PLANNING &
DEVELOPMENT
DEPARTMENT**
Houston Planning Commission
Action CPC 101 Form
Platting Approval Conditions

Agenda Item: 75
Action Date: 06/10/2021
Plat Name: Cherry Estates at Maggie Street
Developer: fred harris
Applicant: RUN PLANS
App No / Type: 2021-0861 C2R

Total Acreage:	0.3788	Total Reserve Acreage:	0.3787
Number of Lots:	6	Number of Multifamily Units:	6
COH Park Sector:	7	Street Type (Category):	Public
Water Type:	City	Wastewater Type:	City
Drainage Type:	Open Ditch	Utility District:	

County	Zip	Key Map ©	City / ETJ
Harris	77051	533Z	City

Conditions and requirements for approval:

014. Establish building setback lines as indicated on the marked file copy. (156, 157, 158, 159, 160)
047. Make minor corrections and additions as indicated on the marked file copy.
- 059.1. Acreage in title and on plat must match at recordation.
- 060.1. Owner(s) stated in the title opinion, title block, and dedicatory acknowledgements must match at the time of recordation.
- 134.6. The then-current fee in lieu of dedication shall be applied to this number (_4_units) of dwelling units.
203. Provide complete Recordation Package when submitting plat for recordation. (Recd_pkg.doc)
204. Provide current title opinion in complete agreement with the plat dedication and addressed to the Planning & Development Department. (45)
215. Add shared driveway plat notes: 1) Each lot shall be restricted to single family use.
221. Fully dimension all shared driveways. (44)
- 1.) Provide 15' Deed Restricted BL along Public ROW and 5' building line along interior property line
 2.) Provide correct Parks and Open Space Table
 3.) Provide full centerpoint note

Commission Action:

Approve the plat subject to the conditions listed



Agenda Item: 75
Action Date: 06/10/2021
Plat Name: Cherry Estates at Maggie Street
Developer: fred harris
Applicant: RUN PLANS
App No / Type: 2021-0861 C2R



Contact the City of Houston, Planning and Development Department with questions regarding the Planning Commission's action or the conditions or requirements for approval. Call 832-393-6600 and speak with the "Planner of the Day." The Planning and Development Office is located at **611 Walker Street, Sixth Floor, Houston, Texas 77002.**

For Your Information:

The below comments were made by other agencies during this review period. These comments are not to be considered as conditions for approval. However, you may find these comments useful as other plan approvals and permits are sought.

HPW- TDO- Traffic: 05/11/2021
No comments.

CenterPoint: 1) Title Report indicates a 5'UE that is not reflected on the plat.
2) Acreage is not consistent in the dedication language and title box.

HPW-OCE-Traffic: 1. Sidewalks (October 1, 2020)
Please be advised that a new sidewalk ordinance went into effect on October 1, 2020. Planning Department will approve all sidewalk widths and locations. For more information visit <http://www.houstontx.gov/planning/>
Planning Department Information
Email: Planningdepartment@houstontx.gov
Planner of the day phone #: 832-393-6600

****Traffic only reviews for applicability of sidewalk construction details.****

2. Street Widening Requirements
Provide a survey calling out the pavement width of the adjacent streets. All new commercial developments including shared driveway town-homes, subdivisions, and multiple single-family residences, with the exception of one single-family residence and duplexes shall follow the street widening requirements below.

- For roadways with widths in the range of 18-ft to less than 20-ft, street widening is not required. However, "No Parking" signs must be installed for the entire block on one side (applicant is required to get approval from TDO for "No Parking" sign installation). Please contact Ms. Paula Hunter from Traffic Operations at Paula.Hunter2@houstontx.gov

HPW-HW- IDS: A Wastewater Capacity Reservation letter is required for this project. When applying please attach a copy of the proposed re-plat to the WCR application.
Submit applications online at houstonpermittingcenter.org

HPW-OCE- Drainage and Utility: Detention is required.
Parks and Recreation: Dwelling units in park notes does not match parks table



**PLANNING &
DEVELOPMENT
DEPARTMENT**

Houston Planning Commission

Action CPC 101 Form

Platting Approval Conditions



Agenda Item: 75
Action Date: 06/10/2021
Plat Name: Cherry Estates at Maggie Street
Developer: fred harris
Applicant: RUN PLANS
App No / Type: 2021-0861 C2R

Questions concerning the informational comments should be directed to the agency's author. Planning and Development Department staff can assist you in getting the author's contact information. Call the "Planner of the Day" telephone number listed above.



May 21, 2021

Mr. Trevor Cherry
KYKO Group, LLC
4617 Maggie Street
Houston, Texas 77051

ILMS Project Number:	21048077	WCR File Number:	0033688
Legal Description:	0.3788 acre of land being Lot 25, the east twenty feet (e.20') of Lot 24 and the west twenty five feet (w.25') of Lot 26, Block 7, Blue Bonnet Estates located at 4617 Maggie Street		
Proposed Development:	Construction of five (5) townhomes		

Wastewater:

Impact Fee: \$5,995.55
Admin Fee: \$29.72
Connection Point(s): 8-inch sewer in Maggie Street
Proposed Service Units: 5.0000
Treatment Plant: Chocolate Bayou
Pumping Station:

Water:

Impact Fee: \$3,952.75
Admin Fee: \$29.72
Connection Point(s): 8-inch water main in Maggie Street
Proposed Service Units: 5.0000

Minh Nguyen
For Rudy Moreno, Jr.
Deputy Assistant Director
Infrastructure and Development Services
CEH:RM:MN (Council District D)

For Carol Ellinger Haddock, P.E.
Director
Houston Public Works

This approval is subject to the standard City of Houston requirements and supplemental requirement(s) listed below.

Standard Requirements:

The City Engineer may, from time to time, revise the Houston Public Works Infrastructure Design Manual, resulting in changes to the design criteria and parameters that must be followed in the development of this site.

Wastewater discharges from non-domestic sources must be reviewed for organic loading capacity and industrial wastewater permit requirements. Contact the Industrial Wastewater Service at 832-395-5800 if the sanitary sewer discharge contains non-domestic waste. Failure to comply with industrial wastewater permit requirements may result in termination of service or other enforcement remedies according to Chapter 47 Article V of the City of Houston Code of Ordinances.

Please note, if the sanitary sewer line to which connection will be made is deeper than twenty feet (20'), or is larger than thirty-six

Mr. Trevor Cherry
KYKO Group, LLC
ILMS Project No 21048077
May 21, 2021

inches (36") in pipe diameter, then the connection must be made to the nearest existing manhole of the sanitary sewer line. Please contact Mr. Simon Tung in the City Engineer's Office at (832) 394-9135 prior to engineering the plans for connection.

Failure to pay the Wastewater Impact Fees within six (6) months from the date of this letter will result in the expiration of this reservation and a new application must be submitted. If this project is not under construction within two (2) years from the date of this letter, the water portion of this reservation will expire, and a new application must be submitted. All fees must be paid prior to issuance of a building permit and may be paid online, by mail, or at 1002 Washington Avenue. A copy of the Impact Fee receipts and copy of this letter must be submitted with your construction plans when applying for a building permit. Plans must be approved by the Code Enforcement Branch of the Building and Development Services Division prior to the issuance of a permit.

Please note, the Wastewater and Water Impact Fees quoted above are not refundable for any reason including failure to obtain a building permit or failure to complete the project for any reason.

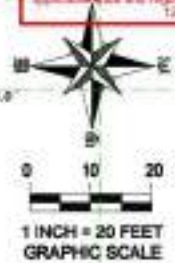
This information is based on the City of Houston Geographic Information Management System Maps. These maps are prepared utilizing the best information available to the City and the City cannot warrant their accuracy or completeness. The exact size and location of all utility lines should be field verified.

For direct inquiries, please contact Utility Analysis at (832) 394-8888 or email wrotechs@houstontx.gov. Be sure to reference the ILMS project number listed in this letter.

Supplemental Requirement(s):

- Ordinances provide for a waiver of impact fees for houses (single family residences) that sell to the first-time purchaser for less than the median price of a home in Houston during the month the proposed home is permitted. Currently, the median price is approximately \$265,575. If you feel that your proposed development may qualify for this exemption, please do not pay the impact fees referenced in this letter and make certain that you fill out an Impact Fee Exemption Form at 1002 Washington Avenue when applying for a building permit.
- Each single family residence must be individually connected to the sanitary sewer. Should each single family residence not have direct access to the public sanitary sewer, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to obtaining building permits.
- A public water meter must be provided to each single family residence. Should each single family residence not have direct access to the public water main, please contact our Infrastructure Support Group at (832) 394-8996 to have your site utility plan approved prior to making application to purchase water meters.

REVIEWED FOR COMPLIANCE
 Performance of this review does not release the applicant from responsibility to comply with all applicable laws and regulations.



CONDUCT SURVEY FROM 04-07-2024
 1000 WESTVIEW ROAD
 HOUSTON, TEXAS, 77071
 OFFICE: 281-774-9999
 CELL: 281-774-9999
 HOME: 281-774-9999



I, DAVID L. BRANDT, DO HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS THE SURVEY MADE UNDER MY SUPERVISION OR THE DIRECT IN-CHARGE AND THAT I CORRECTLY REPRESENTED THE FACTS AS STATED AT THE TIME OF THE SURVEY. THERE ARE NO ENCUMBRANCES AFFECTING THE SURVEYED PROPERTY AS SHOWN HEREON. THIS SURVEY IS CONDUCTED FOR THE TRANSFER ONLY.

NOTARIAL PUBLIC AND STATE OF TEXAS, COMMISSION EXPIRES 08/01/2025

DAVID L. BRANDT, REGISTERED PROFESSIONAL SURVEYOR OF TEXAS No. 6287

PROPERTY DESCRIPTION

SURVEY OF THE EAST 36.0 FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 36 FOOT OF LOT 26, BLOCK 3 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

ADDRESS: 417 MAGGIE STREET, HOUSTON, TEXAS 77061
 PURCHASER: N/A
 LESSOR: N/A
 TITLE COMPANY: N/A

DRAWN: 10-15-2020 RQG CHECKED: 10-15-2020 DLB OPEN: 10-01-2020 RQG KEY MAP No.: 300 2

LEGEND

- P.T.P. - PROPOSED TOP PINE
- P.A. - PAVED DRIVE
- R.O.W. - RIGHT OF WAY
- TRD - TRAIL
- FL - FLOOD LINE
- CONTR. MONUMENT - CONTROL MONUMENT

FLOOD NOTE

* THIS TRACT IS IN ZONE... IN THE 100 YEAR FLOOD PLAIN AND IS IN FLOOD ZONE... AS DETERMINED BY FEDERAL EMERGENCY ADMINISTRATION DETERMINED FLOOD HAZARDS BY CONDUIT No. 2022, MAP No. 2022, PAGE No. 261, DATE 06-20-2022

* THIS INFORMATION IS BASED ON OFFICIAL FLOODING ONLY. WE DO NOT ASSUME RESPONSIBILITY FOR LOSS OF INFORMATION.

NAME: MAGGIE



This form must be completed for all projects (commercial and residential).

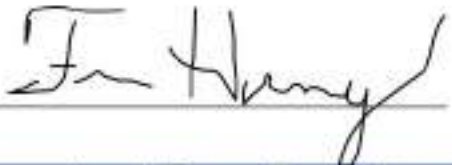
Date: 7/21/21

Project/Permit No.: _____

Address: 4619 C MAGGIE STREET

APPLICANT INFORMATION

Printed name: FRED HARRIS

Signature: 

Improvement Type	Area of Existing Impervious Cover	Area of Final Impervious Cover	Square Feet or Acres (Select one)	
			<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Buildings		1200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Parking Lot/Driveway		200	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Sidewalks/Patio		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Detention Pond		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
Pools		0	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres
TOTAL AREA		1400	<input type="checkbox"/> Sq. Ft.	<input type="checkbox"/> Acres

Size of Lot (square feet or acres)		Total Impervious Cover (square feet or acres)		Percentage of Impervious Cover	
2400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	1400	<input checked="" type="checkbox"/> Sq. Ft. <input type="checkbox"/> Acres	58	%

Appendix E of the Houston Adopted 2012 International Building Code as Amended specifies permit requirements for grading a lot of any size on private property. Section 1 – Identifies when a separate “Grading Permit” is required. Section 2 – Identifies the type of grading permit required, “Engineered Grading or Regular Grading”, when a “Geotechnical Report” is required in the plans, and when a “Storm Availability Letter” is required to be attached to the submittal documents.

Grading and/or excavation permits is required for any proposed work that includes excavations, grading, or fill, or combination thereof, and includes but is not limited to the following permit types:

- **Excavation Permit(s)** – Work proposing the mechanical removal or relocation of earth material.
- **Fill Permit(s)** – Work proposing deposit(s) and/or relocation of earth material placed by artificial means.

NOTE: THERE SHALL BE NO FILL LOCATED WITHIN A PUBLIC RIGHT-OF-WAY

SECTION 1: Are Permits and Plans Required?

A Grading Excavation permit and plans is required if “Yes” is answered to any question 1 through 4.

- No (1) Does the excavation work affect the lateral support or increase the stresses in, or pressure upon any adjacent or contiguous property?
- No (2) When excavating below finish grade for basements and footings of a building, retaining wall or other structures authorized by a valid building permit, will there be an unsupported excavation height greater than 5-feet after completion of such structure?
- Yes (3) Will there be any excavation greater than 5-feet in depth?
- No (4) Will the excavation create a cut slope 2-feet or more in height but less than 5-feet, with a slope steeper than 1-unit vertical in 1.5-units horizontal? (66.7% slope)

A Grading Fill permit and plans is required if “Yes” is answered to any question 5 through 10.

(50 cubic yards = 1,350 square feet @ 1-foot depth)

- No (5) Does the fill work affect the lateral support or increase the stresses in, or pressure upon any adjacent, or contiguous property?
- No (6) Does the scope of work include fill that is 3-feet or more in depth?
- No (7) Does the scope of work include fill greater than 1-foot but less than 3-feet, with a slope that is equal to or greater than 1-unit vertical in 5-units horizontal? (20% slope)
- No (8) Does the scope of work include fill that is greater than 50 cubic yards on any one lot?
- No (9) Does the proposed fill obstruct any natural and/or previously constructed drainage course?
- No (10) Is proposed fill greater than 1-foot in depth and intended to support a structure, “now or in the future”?

SECTION 2: What Type of Permits and Plans Are Required?

NOTE: When the building official has cause to believe that site geologic factors exist, grading will be required to conform to recommended grading, inspection, and testing by a *Texas Professional Engineer*.

Engineered grading plans are required if “Yes” is answered to question 11. Plans shall be designed, sealed, signed, and dated by a Texas professional engineer. These grading permits shall be designated as “Engineered Grading”.

(1,000 cubic yards = 27,000 square feet, @ 1-foot depth)

- No (11) Does the proposed project include an aggregate grading in excess of 1,000 cubic yards?

Grading plans shall be designated “Regular Grading” if “Yes” is answered on question 12: (no engineered plans required.)

- Yes (12) Is the grading less than or equal to 1,000 cubic yards?

A Geotechnical Report is required if “Yes” is answered to any one of questions 13, 14 or 15:

- No (13) Will there be any cut slopes steeper than 1-unit vertical in 2-units horizontal (50% slopes)?
- No (14) Is there any grading that requires an engineered design? (Reference item 11 above and Chapter 19 of the City Code.)
- No (15) Does the site include any special geological features and/or considerations?
- Yes (16) Is the property located in the 100- or 500-year flood plain? Review by Flood Department required!

A Storm Availability Letter is required to be included with the submitted documents if “Yes” is answered to questions 16 or 17:

- No (17) Does the scope of work to lots exceeding 15,000 square feet, include any new impervious cover?
- Yes (18) Does the project include connection to the city’s public storm sewer system?

ADDRESS 4619 MAGGIE STREET C PROJECT # _____ DATE 9/9/21

PRINT NAME OF APPLICANT Juan G. Castillo SIGNATURE 



REScheck Software Version 4.6.4

Inspection Checklist

Energy Code: 2015 IECC

Requirements: 0.0% were addressed directly in the REScheck software



Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3] ¹	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr _____ Cooling: Btu/hr _____	Heating: Btu/hr _____ Cooling: Btu/hr _____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Foundation Inspection	Complies?	Comments/Assumptions
303.2.1.1 [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108024

SELECTED FOR COMPLIANCE
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not relieve the applicant from full
responsibility to comply with all
applicable code and regulations.
12/13/22

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹	Door U-factor.	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.1, 402.3.3, 402.3.6, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U-____	U-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1, 402.3.2, 402.3.3, 402.5 [FR3] ¹	Glazing SHGC value (area-weighted average).	SHGC: ____	SHGC: ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.11 [FR23] ¹	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20] ¹	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/5.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.1 [FR12] ¹	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥R-3.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24] ¹	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



2108024

REVIEWED FOR COMPLIANCE
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.5.3. [FR18] ²	Hot water pipes are insulated to ≥R-3.	R-_____	R-_____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108024

REVIEWED FOR COMPLIANCE
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Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹ 	Wall insulation R-value. If this is a mass wall with at least 1/2 of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [IN4] ²	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2108024

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not relieve the applicant from full
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12/13/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F11] ¹	Ceiling insulation R-value.	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R-____ <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assumptions table for values.
303.1.1.1, 303.2 [F12] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F122] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F13] ¹	Attic access hatch and door insulation \geq R-value of the adjacent assembly.	R-____	R-____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F117] ¹	Blower door test @ 50 Pa. \leq 5 ach in Climate Zones 1-2, and \leq 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2.3 [F14] ¹	Duct tightness test result of \leq 4 cfm/100 ft ² across the system or \leq 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [F127] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F124] ¹	Air handler leakage designated by manufacturer at \leq 2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F19] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F110] ²	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F111] ²	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

1 High Impact (Tier 1)

2 Medium Impact (Tier 2)

3 Low Impact (Tier 3)



Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [FI30] ²	Water distribution systems that have recirculation pumps that pump water from a heated water supply pipe back to the heated water source through a cold water supply pipe have a demand recirculation water system. Pumps have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [FI6] ¹	75% of lamps in permanent fixtures or 75% of permanent fixtures have high efficacy lamps. Does not apply to low-voltage lighting.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	



2108024

REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
401.3 [Fi7] ²	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
303.3 [Fi18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:



2015 IECC Energy Efficiency Certificate

Insulation Rating		R-Value	
Above-Grade Wall		13.00	
Below-Grade Wall		0.00	
Floor		0.00	
Ceiling / Roof		24.00	
Ductwork (unconditioned spaces):		_____	
Glass & Door Rating		U-Factor	SHGC
Window		0.38	0.18
Door		0.58	
Heating & Cooling Equipment		Efficiency	
Heating System: <u>GAS FORCED AIR</u>		<u>90% AFUE</u>	
Cooling System: <u>CENTRAL A/C</u>		<u>15 SEER</u>	
Water Heater: <u>GAS (STORAGE TYPE)</u>		<u>0.57EF</u>	
Name: <u>MICHAELS, MEP, LLC</u>		Date: <u>7/21/21</u>	
Comments: <u>TECL#24553</u>			

#4357



Generated by REScheck-Web Software
Compliance Certificate



Project

Energy Code: **2015 IECC**
 Location: **Houston, Texas**
 Construction Type: **Multi-family**
 Project Type: **New Construction**
 Orientation: **Bldg. faces 270 deg. from North**
 Conditioned Floor Area: **2619 ft2**
 Glazing Area: **13%**
 Climate Zone: **2 (1371 HDD)**
 Permit Date:
 Permit Number:

Construction Site:
4619 C MAGGIE STREET

Owner/Agent:

Designer/Contractor:

Compliance: Passes using UA trade-off

Compliance: **5.4% Better Than Code** Maximum UA: **614** Your UA: **581** Maximum SHGC: **0.25** Your SHGC: **0.25**

The % Better or Worse Than Code index reflects how close to compliance the house is based on code trade-off rules. IT DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Ceiling: Flat Ceiling or Scissor Truss	1,667	30.0	0.0	0.035	58
Front Wall: Wood Frame, 16" o.c. Orientation: Front	726	13.0	0.0	0.082	49
Door: Solid Door (under 50% glazing) Orientation: Front	40			0.600	24
Window: Vinyl Frame SHGC: 0.25 Orientation: Front	89			0.290	26
right Wall: Wood Frame, 16" o.c. Orientation: Right side	838	13.0	0.0	0.082	66
Window: Vinyl Frame SHGC: 0.25 Orientation: Right side	30			0.290	9
Rear Wall: Wood Frame, 16" o.c. Orientation: Back	667	13.0	0.0	0.082	34
Door: Glass Door (over 50% glazing) SHGC: 0.25 Orientation: Back	36			0.290	10
Window: Vinyl Frame SHGC: 0.25 Orientation: Back	216			0.290	63
Left Wall: Wood Frame, 16" o.c. Orientation: Left side	838	13.0	0.0	0.082	66

Project Title:
 Data filename:

Report date:



Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	U-Factor	UA
Window: Vinyl Frame SHGC: 0.25 Orientation: Left side	30			0.700	21.0
Floor: Slab-On-Grade (Unheated) Insulation depth: 0.0'	160		0.0	1.042	167

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title

Signature

Date

RP-2021-573408
10/15/2021 10:27 AM

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

1. Grantor, KIKO GRANT LEE, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GRANT LEE, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casually" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on 1/15/24 by Kyko Gray, LLC Grantor Kevin Cherry galt
Owner

THE STATE OF TEXAS
 COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2014 by Kevin Cherry

Seal Showing Name and Commission Expiration

Notary Public in and for the State of Texas

EXECUTED on _____

Rykko Grop, LLC by Ry, Grantee Tejve Cherry
over Me

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2024, by
Tejve Cherry

Seal Showing Name and
Commission Expiration

Raquel Burrows/Aliter
Notary Public in and for the
State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 28, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 26' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"
Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX. 77021
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. At recording, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Leslie Madgett
COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was filed in File Number Sequence on the date and at the time stamped herein by me, and was duly RECORDED in the Official Public Records of said Property of Harris County, Texas.

Tuesday, October 5, 2021

Leslie Madgett
COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573407
10/05/2021 892 \$38.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

W. Grant
B

1. Grantor, Kyko Grant LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4617 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, Kyko Grant LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

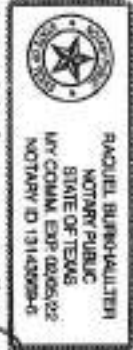
8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on _____
 by Kyra Boppre Grantor
 THE STATE OF TEXAS
 COUNTY OF HARRIS



This instrument was acknowledged before me on the 15th day of May, 2021, by Kyra Boppre

Seal Showing Name and Commission Expiration

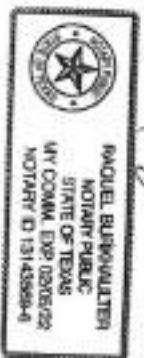
Rachel Burgh-Walther
 Notary Public in and for the State of Texas

EXECUTED on _____

Kyko Group, LLC TX Grantlee Treva Cherry LLC
Quinn

THE STATE OF TEXAS
COUNTY OF HARRIS

Quinn



This instrument was acknowledged before me on the October 5, 2021 by Treva Cherry

Seal Showing Name and Commission Expiration _____

Notary Public in and for the State of Texas

Mojibel Burwalter

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

A

24

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 30.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Returns Address
3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 ✓
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, notations and stamps were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW
THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number: Spouses on the date and at the time stamped herein by me, and was duly recorded, in the Official Public Records of said Property of Harris County, Texas

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573406
10/03/2021 \$42 \$28.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Union

1. Grantor, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on by Kyko Group LLC Tey Grantor Trevor Cherry JMC
 THE STATE OF TEXAS owns
 COUNTY OF HARRIS



This instrument was acknowledged before me on this October 5, 2021 by Trevor Cherry

RP Burkhalter
 Notary Public in and for the State of Texas

Seal Showing Name and Commission Expiration

EXECUTED on _____

Kyko Empire, LLC by Travis Cherry Grantee
Owner 100

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2021, by Trevor Cherry

Seal Showing Name and Commission Expiration _____

Maquel Burrows-Walter
Notary Public in and for the State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

6

Exhibit "B"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantor's Property
(See Section 7 and 10 of Easement)

Return Address

3636 Old Spanish Trl, B1-140
Houston, TX. 77021
KyKo Group, LLC

W

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be indistinguishable for the best photographic reproduction because of illegible, cursive or photo copy, discolored paper, etc. All blockwork, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED in the Official Public Records of said County of Harris County, Texas.

Tuesday, October 5, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS



RP-2021-573405
10/01/2021 \$21 \$21 \$21.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Wm

1. Grantor, KIKO GARDLIE, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GARDLIE, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

EXECUTED on _____

Ryker Group, LLC By Grantee Travis Cherry Hill
owner

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2024, by Ryker Group, LLC

Seal Showing Name and Commission Expiration

R Burkhwalter
Notary Public in and for the State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 2

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

B

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 988, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Return Address

3636 Old Spanish Trl, B-1 #140

Houston, TX. 77021

Kyko Group, LLC

RECORDER'S MISCELLANEOUS:

At the time of recording, this instrument was found to be inadequate for the best photographs reproductions because of illegibility, carbon or photo copy, discolored paper, etc. All boldface, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS VOIDED AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly recorded, in the Official Public Records of Real Property of Harris County, Texas.

Tuesday, October 5, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS



RP-2021-573404
10/05/2021 9:21 438.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS

COUNTY OF HARRIS

showing

b
EC50M
1. Grantor, Kirk Group LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property"). *(2)*

2. Grantee, Kirk Group LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4617 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property"). *llc*

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantor's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantor's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantor's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on
by Kyko Goppala
THE STATE OF TEXAS
COUNTY OF HARRIS



Kyko Goppala, Grantor Trevor Cherry John

This instrument was acknowledged before me on the 07th day of 5/2021 by Rebecca Greedy

Rebecca Greedy
Notary Public in and for the State of Texas

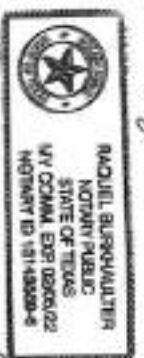
Seal Showing Name and Commission Expiration

EXECUTED on _____

Kyrcoscap, LLC by _____, Grantee Tina Cherry
owner LLC

THE STATE OF TEXAS
COUNTY OF HARRIS

Grimes



This instrument was acknowledged before me on the October 5, 2024, by
Heller Greedy

Seal Showing Name and
Commission Expiration

P Burchwalter
Notary Public in and for the
State of Texas

Exhibit 'A'

Legal Description of Grantor's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit 'g'

Legal Description of Grantor's Property

BLOCK 1 LOT 1

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 W
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All block letters and changes were present at the time the instrument was filed and recorded.

b

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in Filing Number 809242 on the date and at the time stated herein by me, and was duly RECORDED in the Official Public Records of said Property of Harris County, Texas.

Tuesday, October 5, 2021

COUNTY CLERK,
HARRIS COUNTY, TEXAS





NOTES FOR CHANGES ON THE APPLICATION

SQ FTG = 2400
COST = 215,000



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/19/22

THE STATE OF TEXAS,
COUNTY OF HARRIS

698935
Know All Men by These Presents:

THAT FARRHILL DEVELOPMENT COMPANY, INC., a corporation, acting herein by and through its officers thereunto duly authorized by its Board of Directors, do hereby

of the County of Harris State of Texas (hereinafter called "GRANTORS" (whether one or more), for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable considerations cash to us in hand paid by JOHN HARRY WILSON and wife RUTH WILSON, of Houston, Harris County, Texas
- - - - -
(hereinafter called "GRANTEES" whether one or more), the receipt and sufficiency of which are hereby acknowledged and confessed, and the further consideration of Eleven Hundred Fourteen and Seventy-six cents (\$1114.76) Dollars, paid to Grantors by C. A. Coakley, of Houston, Harris County, Texas
- - - - -
at the special instance and request of the Grantees herein, the receipt of which is hereby acknowledged and confessed, and as evidence of such advancement, the said Grantees herein have executed their note of even date herewith for the sum of Eleven Hundred fourteen and Seventy-six cents (\$1114.76) Dollars payable in Houston, Texas, to the order of C. A. COCKEY
- - - - -
(hereinafter referred to as "BENEFICIARY"), bearing interest at the rate therein provided on the unpaid balance, principal and interest being due and payable ~~on or before three (3) months after date, with interest payable at maturity.~~
~~on or before three (3) months after date, with interest payable at maturity.~~
Said note being additionally secured by a deed of trust of even date herewith, executed by the Grantees herein to Morris G. Rosenthal - - - - - Trustee, reference to which is here made for all purposes; and in consideration of the payment to us of the sum above mentioned by the Beneficiary above mentioned. Grantors hereby transfer, set over, assign and convey unto said Beneficiary and assigns, the vendor's lien and superior title herein retained and reserved against the property and premises herein conveyed, in the same manner and to the same extent as if said note had been executed in Grantors' favor and by said Grantors assigned to the Beneficiary without recourse;





21080224

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes and regulations. 12/19/22

have Granted, Sold and Conveyed, and by these presents do Grant, Sell and Convey, unto the said GRANTEES
 HERRIN

JOHN HARRY WILSON and wife RUTH WILSON

of the County of Harris, State of Texas, all that certain lot, tract or parcel of land, together with all improvements thereon, lying and being situated in the County of Harris, State of Texas, more particularly described as follows, to-wit:

East Twenty feet (20') of Lot Twenty-four (24), all of Lot Twenty-five (25) and West Twenty-five feet (25') of Lot Twenty-six (26) in Block Seven (7), Blue Bonnet Estates, an Addition to the City of Houston, in Harris County, Texas, per map recorded in Vol. 998 Page 713, Deed Records of Harris County, Texas.

It is understood and agreed that this conveyance is made, and the Grantees, John Harry Wilson and wife Ruth Wilson, accept the same, subject to the following covenants, conditions and restrictions, for a period of twenty years from January 1, 1948, and shall be deemed and considered as covenants running with the land, to-wit:

1. No residence or structure shall be erected within fifteen feet of the front line of any residential lot or within five feet of any side line.
2. All homesites are restricted to residential structures of family type, save and except the property facing on Chocolate Bayou Road, which may be used for commercial purposes as Sellers may designate. A church site may be designated by Sellers.
3. Residences erected upon said property shall contain not less than 432 square feet (excluding porches and breezeways). Sheet metal and corrugated iron shall not be used in the construction of any improvements, whether residential or commercial. Garage apartments containing not less than 400 square feet total area may be temporarily occupied.
4. Residential buildings erected upon said property shall be completely finished on the exterior in brick, stucco, rock or frame siding, and if siding is used, the same will be applied horizontally only, and shall be painted with not less than two coats of paint within a reasonable time after completion.
5. Outside toilets may be temporarily erected on the property if placed no closer than 75 feet from the front property line, or 20 feet from the side property line.
6. No billboards shall be erected or maintained on any residential lot, nor shall any junk be permitted to accumulate or remain thereon.
7. Bridges or culverts over front property line ditches shall have not less than twelve (12) inches of clearance so that drainage will not be retarded.
8. Each corner lot shall be deemed to front on the street on which it has the smallest frontage.
9. An easement of five feet is reserved in the rear of each lot for public utilities.
10. Residents must use all utilities available to the area, or this addition.

This conveyance is made and accepted subject to any and all restrictions now of record in the County Clerk's Office in said County.

TO HAVE AND TO HOLD the above described premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said GRANTEES, their heirs and assigns forever, and the GRANTORS do hereby bind

to WARRANT and FOREVER DEFEND, all and singular the said premises unto the said GRANTEES, their heirs and assigns, against every person whomsoever lawfully claiming or to claim the same, or any part thereof.

But it is expressly agreed and stipulated that the Vendor's Lien and Superior Title is retained against the above described property, premises and improvements, until the above described note, and all interest thereon are fully paid according to its face and tenor, effect and reading when this deed shall become absolute.

Executed this 5th day of January, A. D., 1950.



FARRELL DEVELOPMENT COMPANY, INC.

By: *Harold S. Farrell*
 President



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
12/13/22

201

THE STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, the undersigned authority, on this day personally appeared **GERALD E. GORDON**
President of Farrell Development Company, Inc.,



to be the person whose name subscribed to the foregoing instrument, and acknowledged to
executed the same for the purposes and consideration therein expressed, in the capacity
of **President**, as the act and deed of said corporation.

Under my hand and seal of office, this 5th day of January, A.D. 1950

Gerald E. Gordon
Notary Public in and for **Harris** County, Texas

Filed for Record Jan 10 1950, at 9:40 o'clock A.M.
Recorded Jan 19 1950, at 11:38 o'clock A.M.
U. D. MILLER, Clerk County Court, Harris County, Texas.
BY Margarette Jenkins Deputy

ROOM SCHEDULE

ROOM NO.	ROOM	AREA	FLOOR PLAN				FLOOR PLAN				FLOOR PLAN				REMARKS
			NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	
001	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
002	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
003	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
004	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
005	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
006	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
007	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
008	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
009	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
010	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
011	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
012	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
013	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
014	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
015	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
016	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
017	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
018	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
019	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	
020	DR	150	17	17	17	17	17	17	17	17	17	17	17	17	

UNIT XX WINDOW SCHEDULE

NO.	TYPE	DESCRIPTION	AREA
1	1	DOUBLE HUNG WINDOW	10.0
2	2	SINGLE HUNG WINDOW	15.0
3	3	CASEMENT WINDOW	20.0

UNIT XX WINDOW SCHEDULE

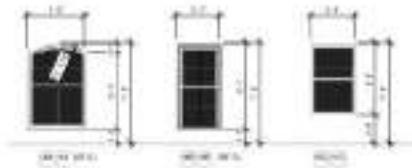
NO.	TYPE	DESCRIPTION	AREA
4	4	DOUBLE HUNG WINDOW	10.0
5	5	SINGLE HUNG WINDOW	15.0
6	6	CASEMENT WINDOW	20.0

UNIT XX DOOR SCHEDULE

NO.	TYPE	DESCRIPTION	AREA
1	1	PRELIMINARY DOOR	10.0
2	2	PRELIMINARY DOOR	10.0
3	3	PRELIMINARY DOOR	10.0
4	4	PRELIMINARY DOOR	10.0
5	5	PRELIMINARY DOOR	10.0
6	6	PRELIMINARY DOOR	10.0
7	7	PRELIMINARY DOOR	10.0
8	8	PRELIMINARY DOOR	10.0
9	9	PRELIMINARY DOOR	10.0
10	10	PRELIMINARY DOOR	10.0
11	11	PRELIMINARY DOOR	10.0
12	12	PRELIMINARY DOOR	10.0
13	13	PRELIMINARY DOOR	10.0
14	14	PRELIMINARY DOOR	10.0
15	15	PRELIMINARY DOOR	10.0
16	16	PRELIMINARY DOOR	10.0
17	17	PRELIMINARY DOOR	10.0
18	18	PRELIMINARY DOOR	10.0
19	19	PRELIMINARY DOOR	10.0
20	20	PRELIMINARY DOOR	10.0

UNIT XX DOOR SCHEDULE

NO.	TYPE	DESCRIPTION	AREA
1	1	PRELIMINARY DOOR	10.0
2	2	PRELIMINARY DOOR	10.0
3	3	PRELIMINARY DOOR	10.0
4	4	PRELIMINARY DOOR	10.0
5	5	PRELIMINARY DOOR	10.0
6	6	PRELIMINARY DOOR	10.0
7	7	PRELIMINARY DOOR	10.0
8	8	PRELIMINARY DOOR	10.0
9	9	PRELIMINARY DOOR	10.0
10	10	PRELIMINARY DOOR	10.0
11	11	PRELIMINARY DOOR	10.0
12	12	PRELIMINARY DOOR	10.0
13	13	PRELIMINARY DOOR	10.0
14	14	PRELIMINARY DOOR	10.0
15	15	PRELIMINARY DOOR	10.0
16	16	PRELIMINARY DOOR	10.0
17	17	PRELIMINARY DOOR	10.0
18	18	PRELIMINARY DOOR	10.0
19	19	PRELIMINARY DOOR	10.0
20	20	PRELIMINARY DOOR	10.0



1. ESCAPE AND RESCUE WINDOWS - BASEMENTS AND BEDROOMS SHALL HAVE A DOOR OR OPERATIONAL WINDOW THAT OPENS TO A YARD OR COURT THAT LEADS TO THE RIGHT OF WAY THAT MEETS THE FOLLOWING MIN REQ - 24 MIN CLEAR OPENING HEIGHT, 20 MINIMUM CLEAR OPENING WIDTH, 5 SQ FT OF CLEAR OPENING FOR WINDOWS ON ALL OTHER FLOORS FINISHED STILL HEIGHT NOT MORE THAT 44 A.F.F.

2. WINDOW TYPES - 1P - 7.8



3. DOOR TYPES - 1P - 7.8

THE 4x4 WINDOWS IN THE BEDROOMS WILL BE OPERATIONAL WINDOWS FOR MIN. EGRESS REQUIREMENTS (DOUBLE HUNG, SINGLE HUNG, CASEMENT, ETC..)

ESCAPE AND RESCUE WINDOWS - BASEMENTS AND BEDROOMS SHALL HAVE A DOOR OR OPERATIONAL WINDOW THAT OPENS TO A YARD OR COURT THAT LEADS TO THE RIGHT OF WAY THAT MEETS THE FOLLOWING MIN REQ - 24 MIN CLEAR OPENING HEIGHT, 20 MINIMUM CLEAR OPENING WIDTH, 5 SQ FT OF CLEAR OPENING FOR WINDOWS ON ALL OTHER FLOORS FINISHED STILL HEIGHT NOT MORE THAT 44 A.F.F.

TWO FAMILY DWELLING - R302.2 TABL3 R302.1(1) THE DWELLING WILL BE CONSTRUCTED AS A WALL OR FLOOR ASSEMBLY HAVING NOT LESS THAT A 1 HOUR FIRE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263.

PROPOSED RESIDENCE FOR
 TREVOR CHERRY
 4619 #E MAGGIE STREET
 HOUSTON, TX 77051

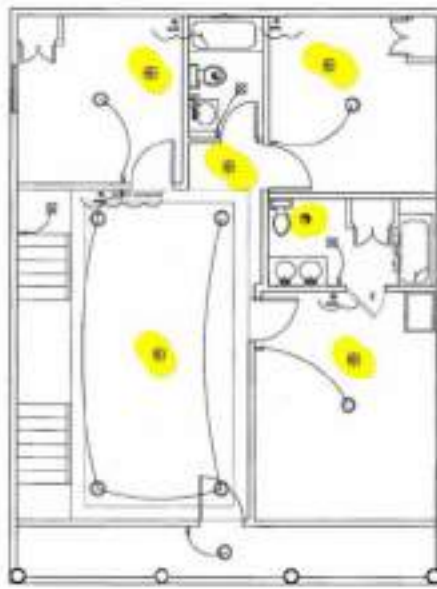
DATE	10/10/23
BY	XXXXXXXXXX
REVISION	XXXXXXXXXX
DATE	10/10/23
BY	XXXXXXXXXX
REVISION	XXXXXXXXXX



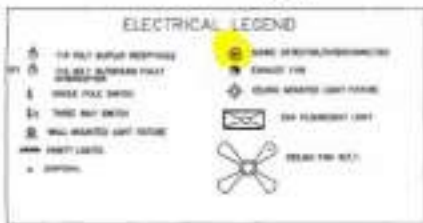
01080301

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 05/10/23



ELECTRICAL PLAN
1st - 2nd



ELECTRICAL POWER GENERAL NOTES:

1. ALL BRANCH CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR EQUIVALENT TO THE LARGEST BRANCH CIRCUIT.
2. REFER TO ARCHITECTURAL PLANS FOR EXISTING LIGHT FIXTURES, RECEPTACLES, SWITCHES, AND PANELS. FOR ALL NEW, INSTALLED DEVICES INCLUDING ALL DATA AND PHONE DEVICES.
3. OVERHAUL AND INSTALL 1-100 AMP SERVICE PANEL FOR 480 VAC SINGLE PHASE SERVICE.
4. ELECTRICAL CONTRACTOR SHALL GUARANTEE: INSTALLATION OF ALL OTHER APPROVED AND SHOWN EQUIPMENT INCLUDING BRACKETS AND SUPPORTS AND OTHER ARCHITECTURAL DAMAGES AND OTHER DAMAGES TO EXISTING EXCEPT MATERIALS LOCATIONS AND EXISTING INSTALLATIONS.
5. THE CONTRACTOR SHALL VERIFY THE EXISTING WIRING OF ALL UNDERGROUND PIPING NETWORKS (FIBER/OPTICAL/COAXIAL) BEFORE ANY WORK COMMENCES.
6. APPROVED AND LISTED WIRING METHODS SHALL BE USED FOR ALL WIRING. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
7. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
8. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
9. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
10. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.

ELECTRICAL NOTES:

- ALLOW FOR ALL UNITS. 1 - 2
- PROVIDE ALL PROTECTION AS REQUIRED.
- VERIFY ALL WIRING IS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
- VERIFY ALL WIRING IS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
- VERIFY ALL WIRING IS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.
- VERIFY ALL WIRING IS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.

NOTE: CONTRACTOR TO VERIFY ALL ELECTRICAL REQUIREMENTS OF NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES. CONTRACTOR SHALL VERIFY ALL WIRING IS INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND ALL APPLICABLE LOCAL AND STATE CODES.

PROPOSED REVISIONS FOR
1st FLOOR
407 HERBES STREET
HOUSTON, TX 77001

E1



21082023

RENEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 09/12/23



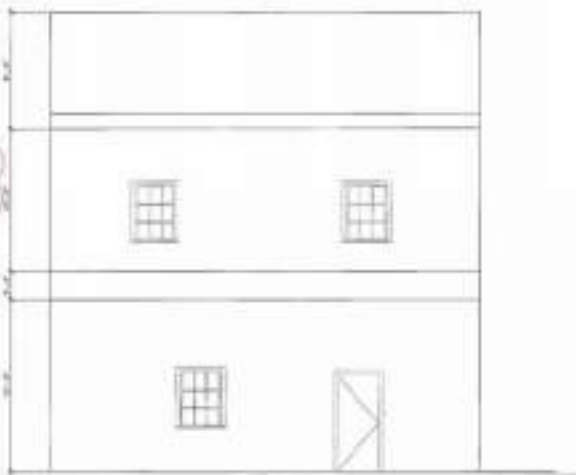
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

GUARD RAIL HEIGHT WILL BE 36"

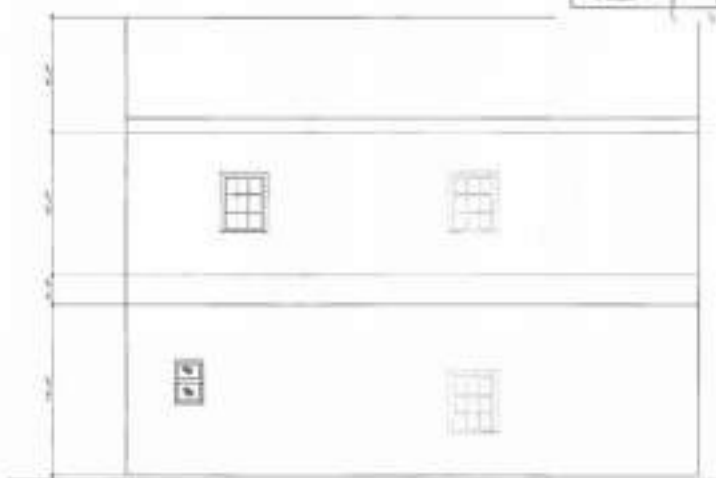
GUARD RAIL HEIGHT WILL BE 36"

ALL WOODS SHALL BE MAINTAINED TO A MINIMUM OF 4" ABOVE THE FINISHED GRADE. ALL WOODS SHALL BE MAINTAINED TO A MINIMUM OF 4" ABOVE THE FINISHED GRADE. ALL WOODS SHALL BE MAINTAINED TO A MINIMUM OF 4" ABOVE THE FINISHED GRADE.

WINDOWS			GLASS
1 WINDOW	20'0" x 30'0"	GLASS PANEL	GLASS PANEL
2 WINDOWS	4'0" x 6'0"	GLASS PANEL	GLASS PANEL
1 WINDOW	4'0" x 6'0"	GLASS PANEL	GLASS PANEL



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



Larry Deavers
74428
MECHANICAL
08/24/2022



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PROFESSIONAL RESIDENCE FOR
THE CITY OF HOUSTON
1400 W. WALKER STREET
HOUSTON, TX 77006

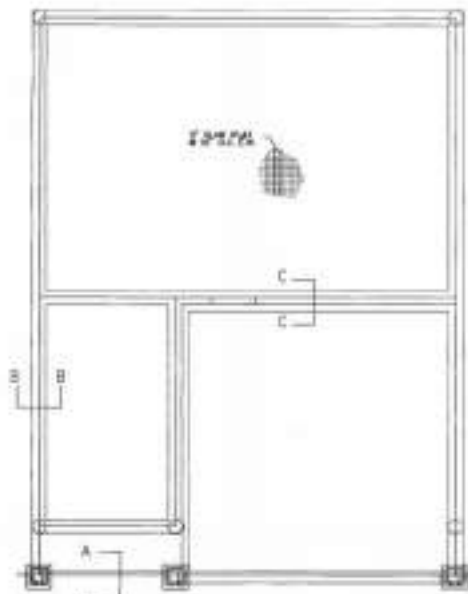
A2



2108203

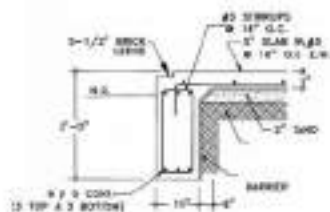
REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations. 09/10/23

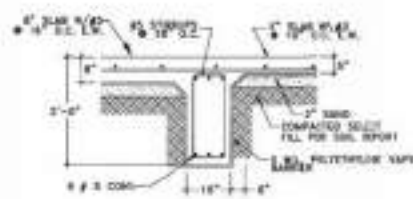


FOUNDATION PLAN

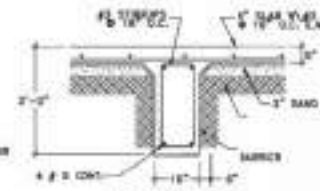
SCALE: 3/16" = 1'-0"



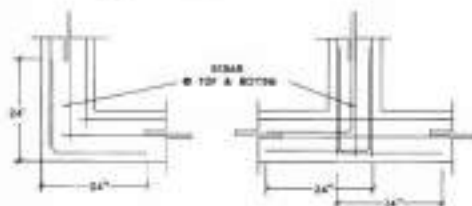
SECTION A-A



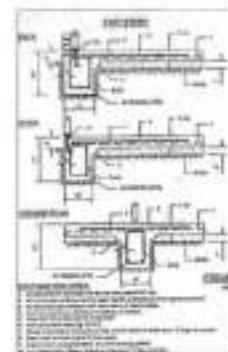
SECTION B-B



SECTION C-C



TYPICAL BAR PLACING DETAILS
CORNER & INTERSECTION



Larry Deavers
PROFESSIONAL ENGINEER
FEBRUARY 16, 1977
03/24/2022

GENERAL NOTES - CONCRETE

- VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECESS, LEDGES AND STOPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.
- NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.
- CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308 WITH LATEST REVISIONS.
- CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT.
- REINFORCING STEEL SHALL BE ASTM A638 GR60 AS WITH 4308 DIMENSIONS, DETAILS, FABRICATED AND INSTALLED PER ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," ALL IN LATEST REVISION.
- WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A188.
- REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHAIRS SHALL BE:
FOOTINGS 3" MIN., 5" REB. 5" REB. & 3" TOP
10. CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREE.
- HOLES FOR DRILLED POSTS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER CLEARANCE.
- PROVIDE CORNER BARS IN THE OUTSIDE FACE IF EXTERIOR GRADE BEAMS TO MATCH THE HORIZONTAL STEEL. AT ALL RE-ENTRANT CORNERS PLACE 2 - # 4 x 4'-0" IN THE SLAB.
- UNBORINGHOLED STUDIES OF OBSTRUCTIONS ENCOUNTERED SHALL BE REMOVED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14. SAND DETAILS AS CONTINUOUS SHALL BE LAPPED 30 BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.
15. ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON BUILDING CODE, (THE LATEST EDITION OR UBC).
16. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1,000.
17. SUBGRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT.
18. THE GENERAL CONTRACTOR SHALL EXAMINE THE THE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MATERIALS.
19. ALL SPIES GOING THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM.
20. DIST OF SLEEVES SHALL NOT EXCEED 1/3 OF PERALL THICKNESS OF GRADE BEAM. SPACES OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS IN CENTER.
21. THE CONTRACTOR SHALL NOT BE LIABLE FOR ANY FOUNDATION REVISION OR CHANGE FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
22. CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURE COMPOUND.

REFER ARCHITECTURAL PLANS FOR:
ALL DIMENSIONS NOT SHOWN
ALL DROPS NOT SHOWN
ALL PLUMBING FIXTURES NOT SHOWN
ALL ELECTRICAL STUDS NOT SHOWN
ALL DEEP VALVES NOT SHOWN

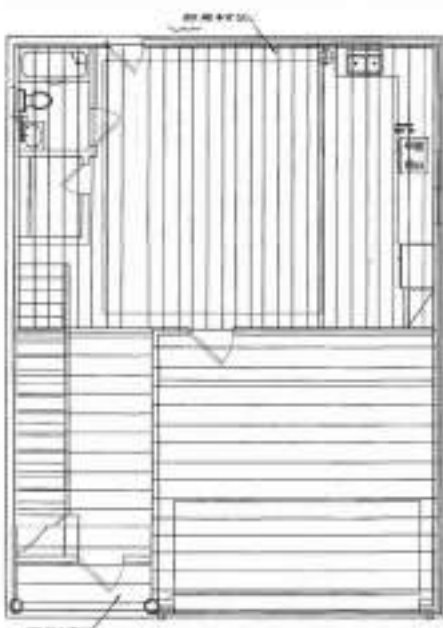
1 TO WILE PER HOUR
WIND SPEEDS WITH A 3 SECOND GUST FACTOR

PROPOSED REVISION FOR
THE CITY OF HOUSTON
481148 MARSHALL STREET
HOUSTON, TX 77001

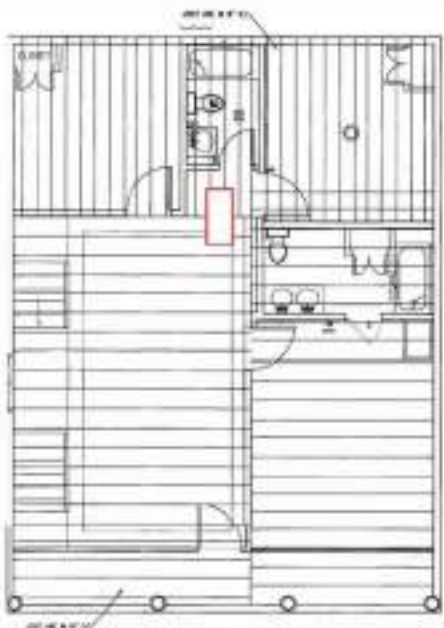
S1



2/10/2011
REVIEWED FOR COMPLIANCE
Performance of this review does not constitute an approval of the design or construction of the project. The reviewer is not responsible for any errors or omissions in the design or construction of the project.



1 CEILING FRAMING FIRST FLOOR PLAN I
SCALE: 1/4" = 1'-0"



2 CEILING FRAMING SECOND FLOOR PLAN II
SCALE: 1/4" = 1'-0"

TRUSS FRAMING NOTES:

ALL UNGRADED MEMBER LAMBS SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1700 PSI, ADJUSTED TO MEET REQUIREMENTS OF ASTM D 2555-04 (NET 18) EXPOSURE CONDITIONS.
MEMBERED TRUSSES SHALL BE DESIGNED FOR LOADS AS FOLLOWS:
DEAD AND FUNCTIONAL LOADS SHALL MEET WITH NATIONAL DESIGN SPECIFICATION FOR STEEL DECK AND JOISTS AND ITS FACTORS BY NATIONAL FOREST PRODUCTS ASSOCIATION (LATEST REVISION) WHICH CONSTRUCTION (LATEST REVISION) AND DESIGN SPECIFICATIONS FOR LIGHT METAL FRAME CONNECTED WOOD TRUSSES BY TRUSS PLATE MANUFACTURER'S ASSOCIATION (LATEST REVISION).
WOOD MANUFACTURER SHALL SUPPLY DESIGN INFORMATION TO BUILDING DEPARTMENT FOR APPROVAL, BEARING CAPACITY OF TRUSSES.
TRUSSES SHALL BE ENGINEERED AND JOISTS FOR:
WIND LOAD = 11 PSF
ICE = 20 PSF
WIND LOAD = 10 MPH W/ 2 SEC GUST
IN ACCORDANCE WITH THE 2000 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL CODES.
NOTES:
PROVIDE ONE (1) TRUSS IN CIRCULAR SPACE OF EACH WALL AND PARTITION INCLUDE TURNED PAGES AT CORNER & TURN LAYOUT AS SHOWN WITH MIN. 1/2" SLANT LENGTH OF WALL (1/2")

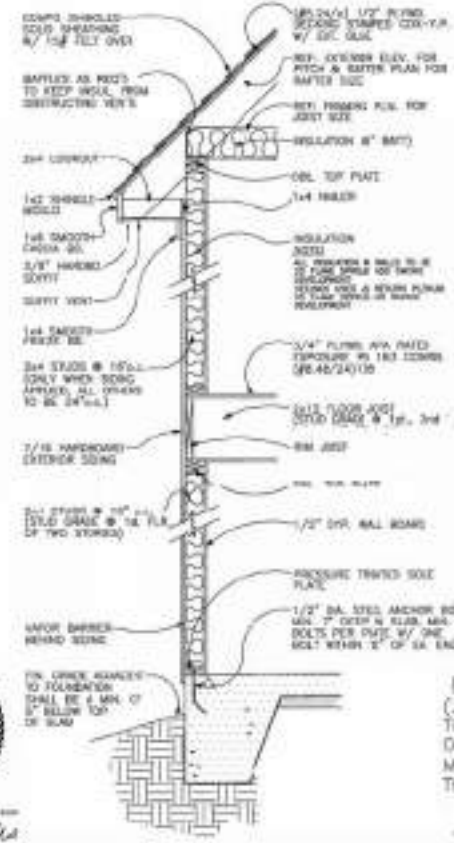
TRUSS DESIGN / INSULATION SPECIFICATIONS

TRUSS SPACING IS 1'-0" O.C.
TRUSS JOISTS TO BE MADE BY TRUSS MANUFACTURER.
TRUSS JOISTS BEING AN EXISTING TRUSS SHALL BE DESIGNED TO BE ADAPTED FOR APPROVAL.
TRUSS FRAMING SHALL INCLUDE: STUDS, TOP AND CHORDS OF ENDGIRTS AND CONNECTION PLATE, TOP AND CHORDS FOR EACH INSIDE TRUSS.
ALL LAMBS USED IN TRUSS CONSTRUCTION SHALL BE SPINER GRADED AND SELECTED IN THE BEST SECTION.
ALL CONNECTION PLATES SHALL BE STAMPED FROM 16, 18 OR 20 GAUGE (DRAWN & STAMPED STRUCTURAL STEEL).
TRUSS PLATE MEMBER LENGTHS MUST EXCEED THE SPACING IN THE TRUSS JOIST.
TRUSS JOIST TO BE FABRICATED IN ACCORDANCE WITH THE TRUSS DESIGN FRAMEWORK ACCORDING TO 1000 MEMBERS CLASSIFIED BY TRUSS FRAMING DESIGN ACCORDING TO ABOVE TRUSS JOIST JOINTS AND JOINTS TO BE COMPLETED WITH LAMBS.
CONNECTION PLATES SHALL BE PROVIDED WITH ONE (1) MEMBER ON BOTH SIDES OF THE TRUSS AT EACH JOINT TO BE FULL PENETRATION OF THE STEEL WITH OUT INTERFERING THE JOIST SURFACE OF THE WALL.
CUTTING OR WELD & BOLTING OF ANY TRUSS MEMBERS OR PART OF TRUSS IS NOT PERMITTED.

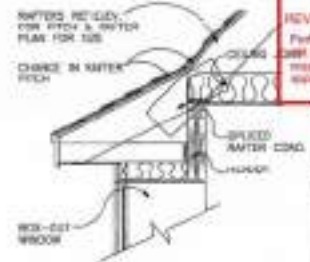
WIND SPEED WITH A 3 SECOND GUST FACTOR
110 MILE PER HOUR



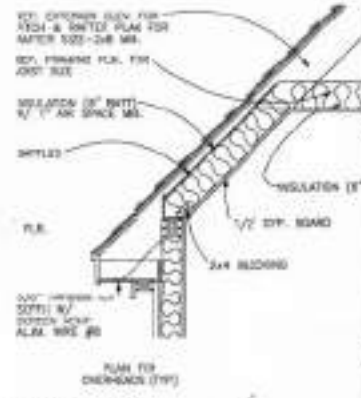
Larry Deavers
Professional Engineer
03/24/2011



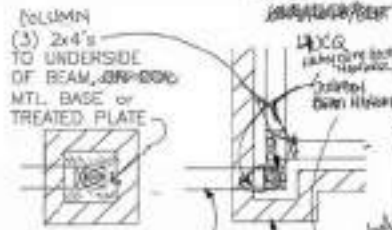
WALL SECTION-EXTERIOR SIDING



FLARE-OUT SOFFIT DET.



RAISED CEILING



TYPICAL COLUMN DETAIL

PROPOSED RESIDENCE FOR
TROYER CHERRY
4010 W. SADDLE STREET
HOUSTON, TX 77011



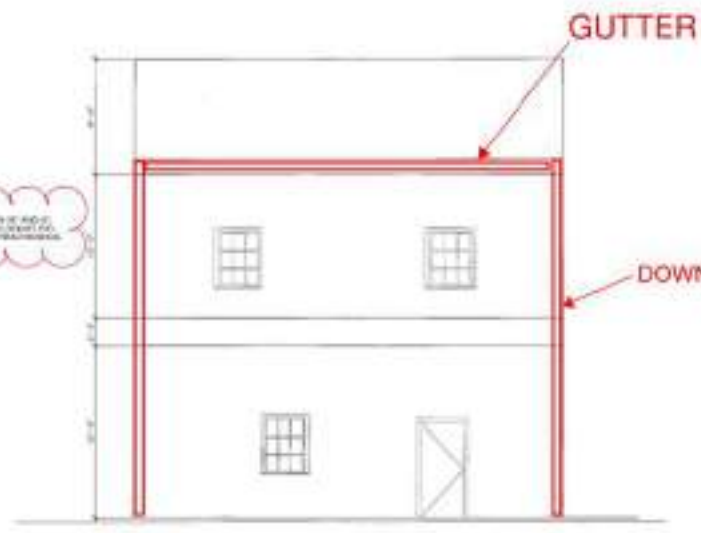
21082021

RENEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
09/13/2023

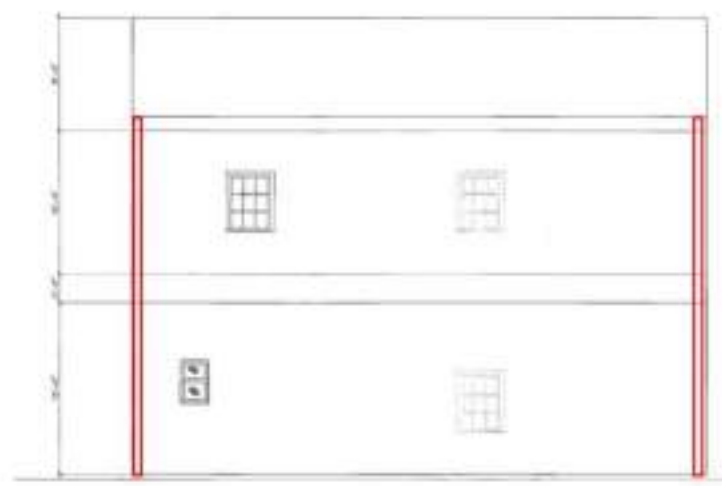


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

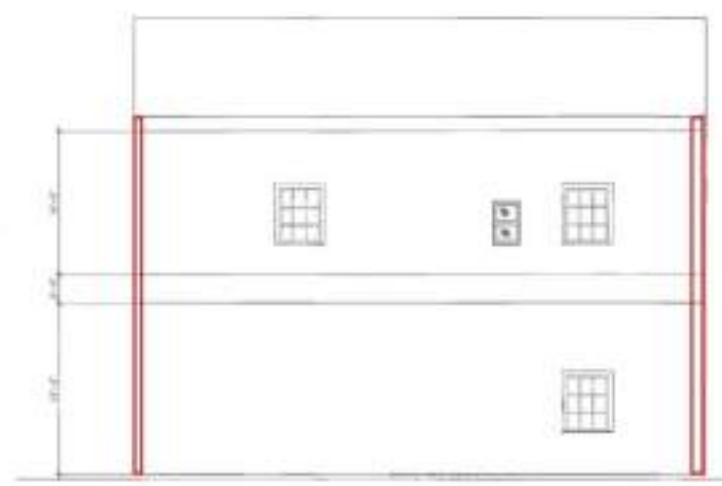
CLADDING FOR BRICKS TO BE USED AND BRICKS TO BE USED ARE TO BE SET WITHIN 1/2" OF CENTERLINE OF THE BRICK AT THE JOINTS. THE BRICKS TO BE SET ARE TO BE SET WITHIN 1/2" OF CENTERLINE OF THE BRICK AT THE JOINTS.



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



1 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



1 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

APPROVED FOR PERMITS FOR
"REAR ELEVATION"
401 FRENCH STREET
HOUSTON, TX 77001

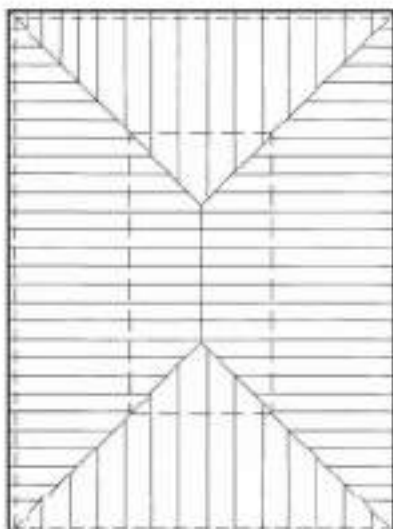
A2



21082021

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from its full responsibility to comply with all applicable code and regulations. 09/15/2023



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

110 MILE PER HOUR WIND SPEED WITH A 3 SECOND GUST FACTOR

FRAMING NOTES: (UNLESS NOTED OTHERWISE, U.N.O.)

- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
- | MEMBER SIZE | MEMBER SIZE | MEMBER SIZE |
|-------------|---------------------|-------------|
| 2" x 8" | 2" x 8" @ 16" O.C. | 2" x 8" |
| 2" x 10" | 2" x 10" @ 16" O.C. | 2" x 10" |
| 2" x 12" | 2" x 12" @ 16" O.C. | 2" x 12" |
| 2" x 14" | 2" x 14" @ 16" O.C. | 2" x 14" |
| 2" x 16" | 2" x 16" @ 16" O.C. | 2" x 16" |
- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
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ATTIC VENTILATION

SEE PLAN SHEET 02.11 - 02.11.01
 SEE PLAN SHEET 02.11 - 02.11.02
 SEE PLAN SHEET 02.11 - 02.11.03
 SEE PLAN SHEET 02.11 - 02.11.04
 SEE PLAN SHEET 02.11 - 02.11.05

A. GENERAL NOTES TO OWNER

NO.	DESCRIPTION	DATE
1	REVISION	09/15/2023
2	REVISION	09/15/2023
3	REVISION	09/15/2023
4	REVISION	09/15/2023
5	REVISION	09/15/2023
6	REVISION	09/15/2023
7	REVISION	09/15/2023
8	REVISION	09/15/2023
9	REVISION	09/15/2023
10	REVISION	09/15/2023

APPROVED BY: [Signature]

DATE: 09/15/2023

PROJECT: [Project Name]

ALL CHANGES ARE TO BE MADE BY THE ARCHITECT.

THIS DRAWING IS THE PROPERTY OF THE ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFIC TO THIS DRAWING. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

THE ARCHITECT'S DESIGN IS BASED ON THE INFORMATION PROVIDED BY THE OWNER AND THE CONTRACT DOCUMENTS. THE ARCHITECT DOES NOT WARRANT THAT THE DESIGN IS FREE FROM ERRORS OR OMISSIONS.

ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

APPROVED BY: [Signature]

DATE: 09/15/2023



LARRY DEAVERS
74439
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS
PROJECT NUMBER: [Project Name]
FIRM: E-1677
03/24/2022

PREPARED FOR: [Client Name]
4414 MAGNOLIA STREET
HOUSTON, TX 77005

A3

THIS PROJECT WILL COMPLY WITH THE FOLLOWING CODES AS THEY APPLY:
 2012 IRC WITH CITY OF HOUSTON AMENDMENTS AS PER SEC. 151.2
 2012 CITY OF HOUSTON CODE BOOKS
 2012 UBC - UNIFORM MECHANICAL CODE
 2012 UBC - UNIFORM PLUMBING CODE
 2017 NEC - NATIONAL ELECTRICAL CODE (ENR)
 MINDSITE EFFECTIVE SEPTEMBER 15, 2017
 2015 ICC WITH CITY OF HOUSTON 2015 FIRE PREVENTION CODE PURSUANT TO 1930 OF SUB-CHAPTER 19, TITLE 34, TEXAS ADMINISTRATIVE CODE
 2012 IFC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD DRAINAGE (HEALTH) CODE

APPROVED ONLY FOR WATER/SEWER POINT OF CONNECTION

Approved Only for Water/Sewer Point of Connection

THE GRADE WILL FALL A MINIMUM OF 6" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.

WATER P.O.C. 8" in MAGGIE ST
 SEWER P.O.C. 8" in MAGGIE ST

Project No: 21080201

Traffic Design 12/1/2022

LOT #	LOT AREA	LOT AREA	LOT AREA	LOT AREA	LOT AREA
1	1,100	1,100	1,100	1,100	1,100
2	1,100	1,100	1,100	1,100	1,100
3	1,100	1,100	1,100	1,100	1,100
4	1,100	1,100	1,100	1,100	1,100
5	1,100	1,100	1,100	1,100	1,100



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED BY THE WORK.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED BY THE WORK.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
5. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED BY THE WORK.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
7. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED BY THE WORK.



LEGEND

---	PROPERTY LINE
---	SEWER
---	WATER

LEGEND

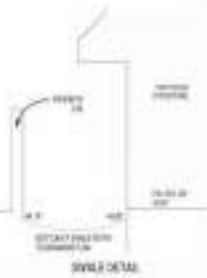
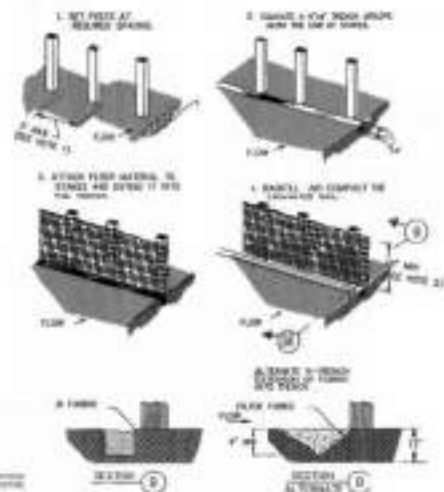
PLANT SCHEDULE

SYMBOL	KEY	QTY.	SCIENTIFIC NAME
○	1	1	PROVIDENW
○	1	1	PROVIDENW

NOTES:
 1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY UTILITIES DAMAGED BY THE WORK.



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PROPOSED FOUNDATION FOR
 TREVINO CHENYER
 4414 WINDSOR AVENUE
 HOUSTON, TX 77071



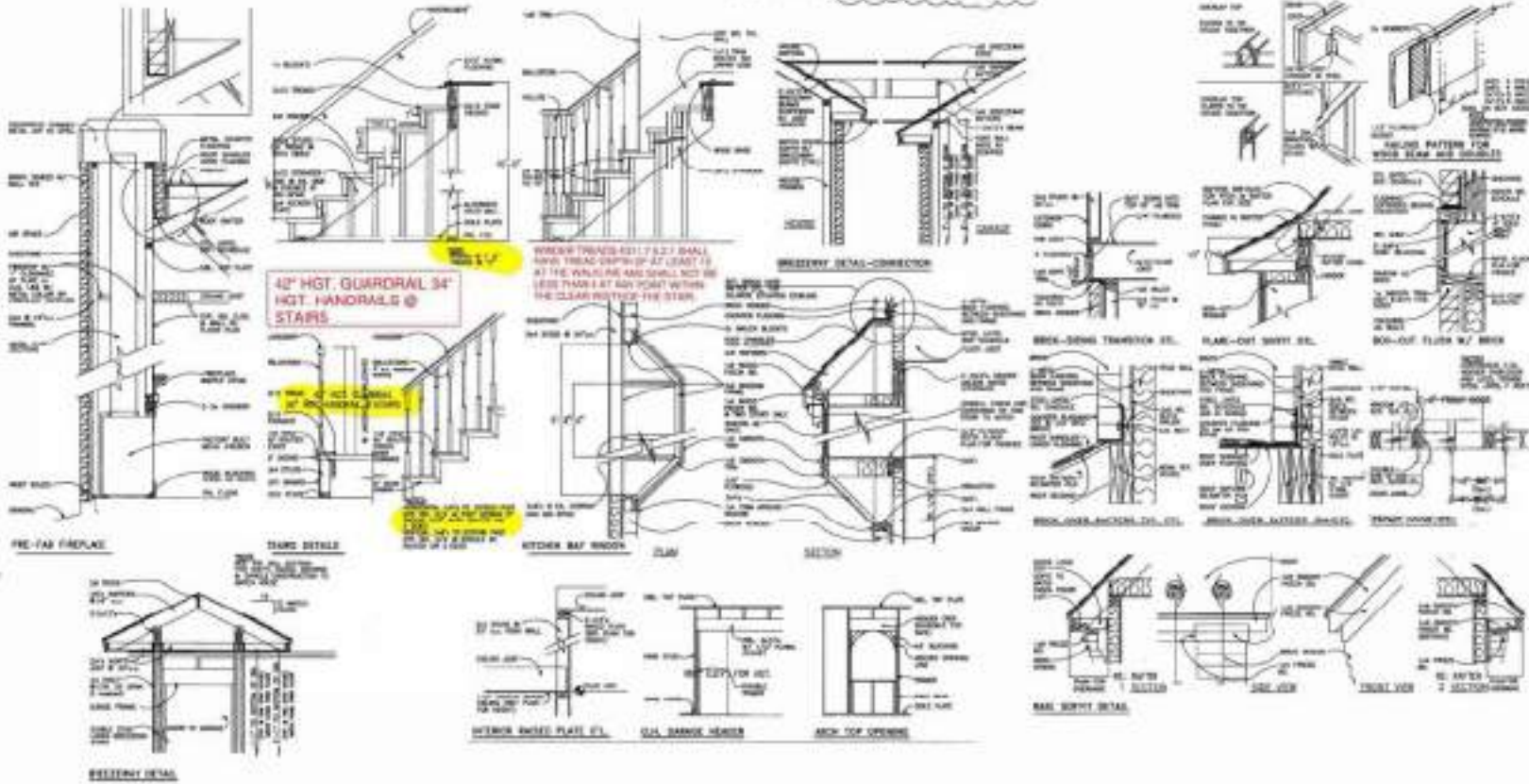


REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 09/10/23



Larry Deavers
EIT/ME P-10777
03/24/2022



42" HGT. GUARDRAIL 34" HGT. HANDRAIL @ STAIRS

WINDUP TRAILS 42 1/2" BALL BEAD TRAIL 48" @ 27" LEAST 1/2" @ 1" THE WALL LINE AND SHALL NOT BE LESS THAN 1" AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIRS

PROPOSED RESUBMIT FOR
1410 WINDRIDGE STREET
HOUSTON, TX 77058

SHEET
S1.1



21080195

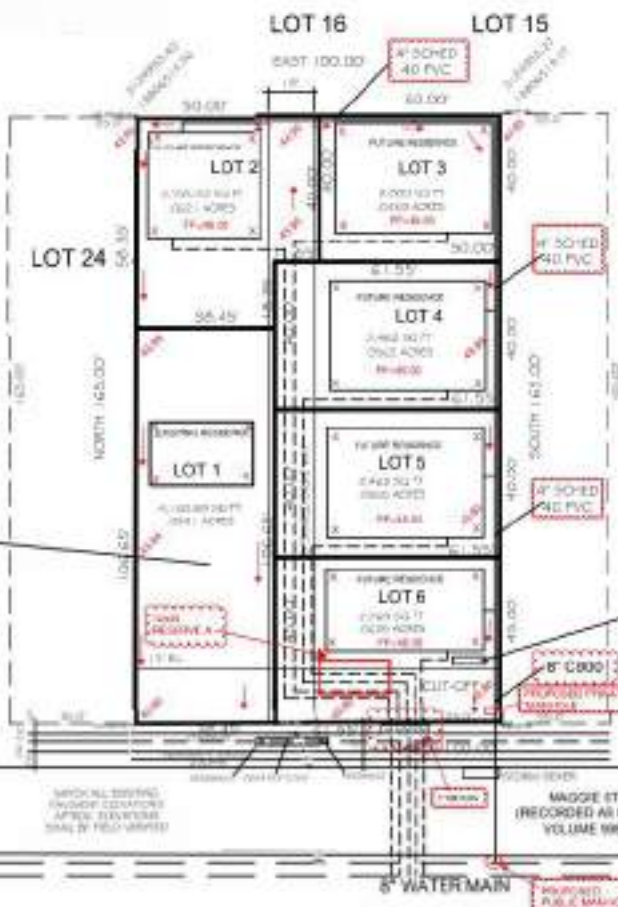
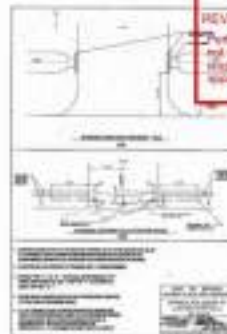
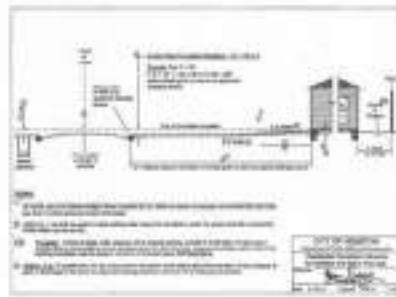
REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/20

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	REV.	DESCRIPTION	DATE	BY
1	1	ISSUED FOR PERMITS	12/13/20	...
2	2	...	...	...
3	3	...	...	...
4	4	...	...	...
5	5	...	...	...

NOTICE TO CONTRACTOR
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON SPECIFICATIONS FOR UTILITY INSTALLATION AND REPAIRS, LATEST EDITION.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 5. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORD DRAWINGS THROUGHOUT THE PROJECT.



CHERRY LOCATED AT MAGGIE STREET

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	Excavation	cu yd	100	15.00	1500.00
2	Backfill	cu yd	100	10.00	1000.00
3	Manhole	each	1	400.00	400.00
4	Watermain	lin ft	100	10.00	1000.00
5	San Sewer	lin ft	100	10.00	1000.00
6	Electric	lin ft	100	10.00	1000.00
7	Other	lin ft	100	10.00	1000.00
8	Other	lin ft	100	10.00	1000.00
9	Other	lin ft	100	10.00	1000.00
10	Other	lin ft	100	10.00	1000.00
11	Other	lin ft	100	10.00	1000.00
12	Other	lin ft	100	10.00	1000.00
13	Other	lin ft	100	10.00	1000.00
14	Other	lin ft	100	10.00	1000.00
15	Other	lin ft	100	10.00	1000.00
16	Other	lin ft	100	10.00	1000.00
17	Other	lin ft	100	10.00	1000.00
18	Other	lin ft	100	10.00	1000.00
19	Other	lin ft	100	10.00	1000.00
20	Other	lin ft	100	10.00	1000.00

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	Watermain	lin ft	100	10.00	1000.00
2	San Sewer	lin ft	100	10.00	1000.00
3	Electric	lin ft	100	10.00	1000.00
4	Other	lin ft	100	10.00	1000.00
5	Other	lin ft	100	10.00	1000.00
6	Other	lin ft	100	10.00	1000.00
7	Other	lin ft	100	10.00	1000.00
8	Other	lin ft	100	10.00	1000.00
9	Other	lin ft	100	10.00	1000.00
10	Other	lin ft	100	10.00	1000.00
11	Other	lin ft	100	10.00	1000.00
12	Other	lin ft	100	10.00	1000.00
13	Other	lin ft	100	10.00	1000.00
14	Other	lin ft	100	10.00	1000.00
15	Other	lin ft	100	10.00	1000.00
16	Other	lin ft	100	10.00	1000.00
17	Other	lin ft	100	10.00	1000.00
18	Other	lin ft	100	10.00	1000.00
19	Other	lin ft	100	10.00	1000.00
20	Other	lin ft	100	10.00	1000.00

THERE IS NO WORK TO BE DONE ON LOT 1 - THERE IS AN EXISTING RESIDENCE THAT WILL REMAIN

DRIVEWAY CLEARANCE: THE DISTANCE BETWEEN NEIGHBORING CURBS SHALL BE GREATER THAN 8' (8.00').
 ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO THE PROPOSED DRIVEWAY SHALL BE REPAIRED WITH NEW CURB AND CUTTER OR REGRADE THE DRIVE DRIVE WITH SLOPED GRASS.

ELECTRIC METERS WITH WOOD SCREENING: HEIGHT OF SCREEN WALL, OBSOLETE VIEW OF METERS WITH 3' OF FRONT FACE OF METER AND 2' FOR THE SIDE OF METER.

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA

NOTE: MAXIMUM DEVELOPED LENGTH OF PVC FROM METERS TO FURTHEST FITTURE, APPROX. 150' MAX HEIGHT OF FITTURE, APPROX. 24' ABOVE NATURAL GRADE.

NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.

CENTER POINTS NOTE: THE OWNER IS RESPONSIBLE FOR THE CONTACT/RELOCATION PROCESS OF THE GUY WIRE AND THE FEES ASSOCIATED WITH CENTER POINTS. ENOUGH THE OWNER HAS ALREADY CONTACTED CENTER POINTS AND THE LETTER IS UPLOADED.

MINIMUM SETBACKS: 5' (5.00') FROM CURB TO SIDEWALK; 5' (5.00') FROM CURB TO DRIVEWAY.

MAGGIE STREET 66' BY R.O.W. (RECORDED AS CHRISTOPHER STREET) VOLUME 986 PAGE 113 HC 0-0

NO.	DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	TOTAL
1	Excavation	cu yd	100	15.00	1500.00
2	Backfill	cu yd	100	10.00	1000.00
3	Manhole	each	1	400.00	400.00
4	Watermain	lin ft	100	10.00	1000.00
5	San Sewer	lin ft	100	10.00	1000.00
6	Electric	lin ft	100	10.00	1000.00
7	Other	lin ft	100	10.00	1000.00
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15	Other	lin ft	100	10.00	1000.00
16	Other	lin ft	100	10.00	1000.00
17	Other	lin ft	100	10.00	1000.00
18	Other	lin ft	100	10.00	1000.00
19	Other	lin ft	100	10.00	1000.00
20	Other	lin ft	100	10.00	1000.00



PROJECT ENGINEER
 Larry Deavers
 FERM F-36177
 11/14/22

PROPOSED RESIDENCES LOCATED AT 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6 HOUSTON, TEXAS

**RESPONSIBILITY FOR MAINTENANCE OF THE DETENTION FACILITY WILL BE BY THE PROPERTY OWNER.
SUBSURFACE DRAINAGE SYSTEM WILL BE DRAINED IN 48 HOURS.**



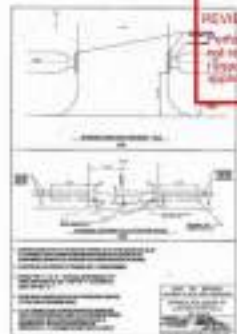
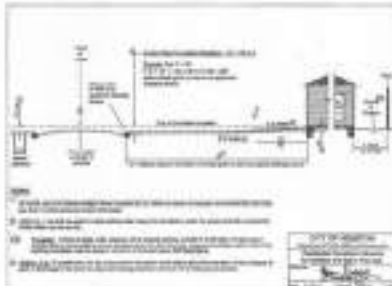
REVIEWED FOR COMPLIANCE

Performance of this review does not release the applicant from full responsibility to comply with all applicable codes and regulations. 12/15/20

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

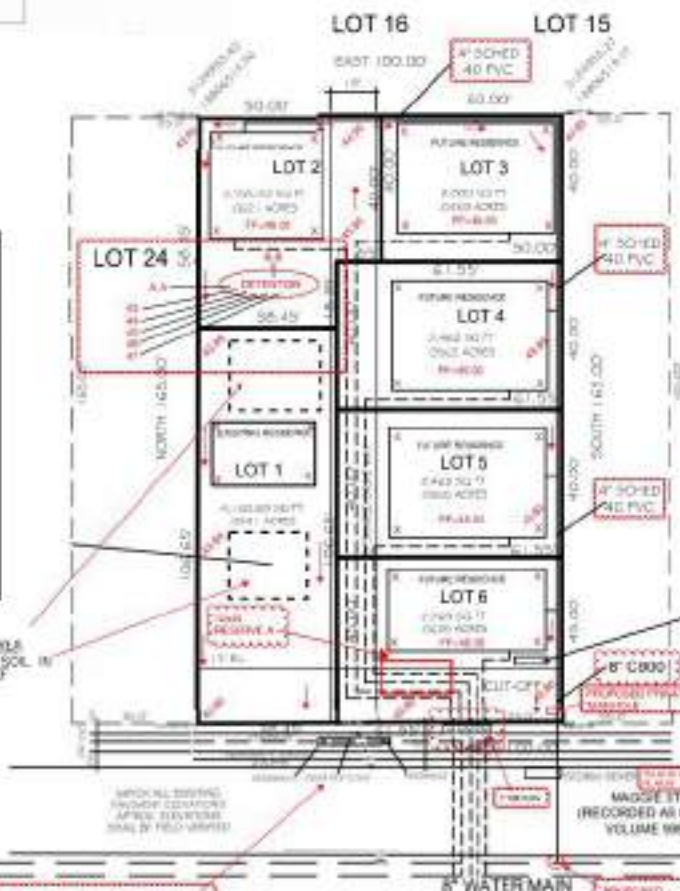
NO.	DATE	DESCRIPTION	BY	APP. BY
1	12/15/20	ISSUED FOR PERMITS	...	...
2	12/15/20	...	...	...
3	12/15/20	...	...	...
4	12/15/20	...	...	...
5	12/15/20	...	...	...
6	12/15/20	...	...	...

NOTES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING CODE (IPC).
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF HOUSTON CODES.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF HOUSTON ORDINANCES.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF HOUSTON RESOLUTIONS.



PROPOSED DETENTION FACILITY SHALL BE CONSTRUCTED AS A 24\"/>

PERMITS SHALL BE OBTAINED FROM THE CITY OF HOUSTON PERMITS DEPARTMENT. THE PERMITS SHALL BE OBTAINED BEFORE CONSTRUCTION BEGINS. THE PERMITS SHALL BE OBTAINED BEFORE CONSTRUCTION BEGINS. THE PERMITS SHALL BE OBTAINED BEFORE CONSTRUCTION BEGINS.



ITEM	QUANTITY	UNIT	PRICE	TOTAL
...
...

ITEM	QUANTITY	UNIT	PRICE	TOTAL
...
...

A 24" MIN RCP REINF. CONC. PIPE IS CALLED OUT



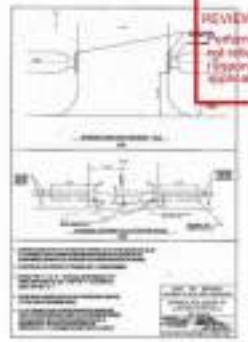
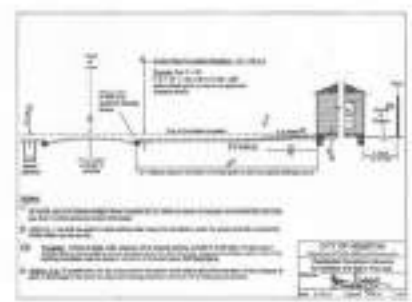
PROJECT ENGINEER
Larry Deavers
FORM F-36177
11/4/20

PROPOSED RESIDENCES LOCATED AT 4617 MAGGIE STREET LOTS 2, 3, 4, 5, 6 HOUSTON, TEXAS

NO RETAINING WALL WILL BE PROPOSED FOR THIS JOB

NO.	DATE	DESCRIPTION	BY	APP. BY
1	08/11/2021	ISSUED FOR PERMITS	...	...
2	08/11/2021	...	...	...
3	08/11/2021	...	...	...
4	08/11/2021	...	...	...
5	08/11/2021	...	...	...

- RESTRICTOR PIPES**
- R1 30 LF 18" PVC @ 0.12%
 - R2 30 LF 18" PVC @ 0.12%
 - R3 30 LF 18" PVC @ 0.12%
 - R4 30 LF 18" PVC @ 0.12%
- NOTES**
- R1 TO S - 4207 N.F.L. - 30.00 S.F.L. - 30.00
 - R2 TO S - 42 00 / N.F.L. - 37.00 S.F.L. - 37.00
 - R3 TO S - 42 08 / N.F.L. - 37.00 S.F.L. - 37.00
 - R4 TO S - 42 08 / N.F.L. - 30.00 S.F.L. - 30.00



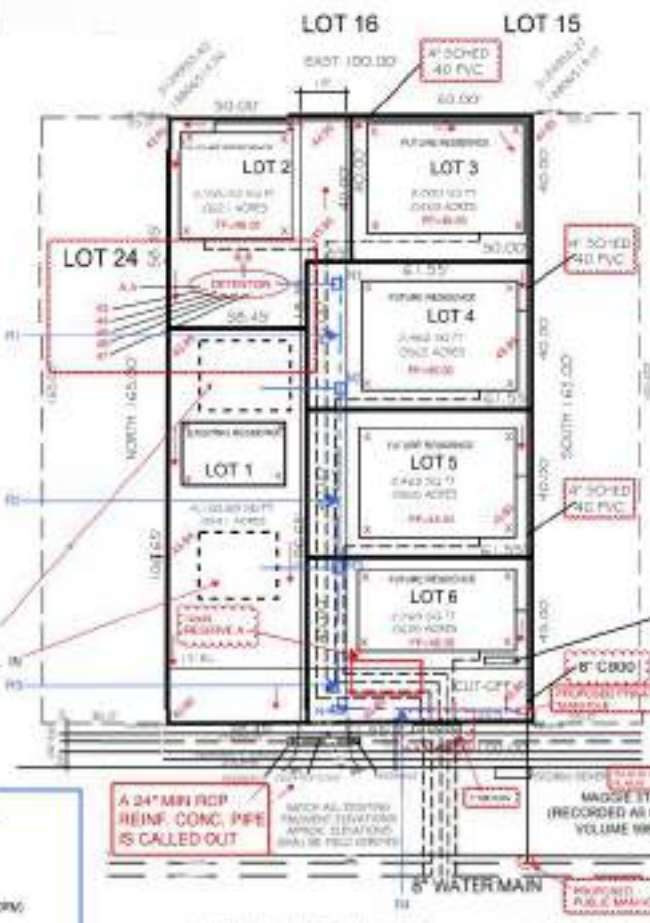
PROPOSED DETENTION FACILITY
 ALL DIMENSIONS SHOWN ARE AS SHOWN UNLESS OTHERWISE NOTED.
 BASE FLOOD ELEVATION 40.00'

FILL
 VOLUME OF FILLING BELOW FLOOD PLANE = 0.00
 VOLUME OF SHARP DRIVEWAY GRAB BELOW FLOOD PLANE = 0.00
 VOLUME OF FILLING FOR FILL BELOW FLOOD PLANE = 0.00
 TOTAL ACCUMULATED FILL = 0.00 CU YD
 TOTAL SOIL REMOVED = 280.00 SF x 0.12 FT = 33.60 CU YD

A. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'
B. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'
C. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'
D. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'
E. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'
F. EAST GRADE = 40.00 PROPOSED GRADE = 40.00 + 0.00'

NOTE: METEORIC SWAY OF THIS LOT LOC OF THESE BY REMAINS SOL AS SHOWN ON PLAN

LOT OF LOTS - 0.00 OF AREAS
 DETENTION IN



LOAD CALCULATIONS

NO.	DESCRIPTION	UNIT	LOAD	TYPE
1	Dead Load	PSF	10	DL
2	Live Load	PSF	20	LL
3	Wind Load	PSF	15	WL
4	Seismic Load	PSF	0	SL

WATERFURNITURE UNIT TABLE (GA UNIT)

NO.	DESCRIPTION	UNIT	LOAD	TYPE
1	Sanitary Sewer	CU YD	1.00	SS
2	Storm Sewer	CU YD	1.00	SS
3	Water Main	CU YD	1.00	SS
4	Other	CU YD	1.00	SS

NOTE: ALL AREAS NOT UNDER BUILDING FOOTPRINT TO BE CONSIDERED COMMON AREA

NOTE: MAXIMUM DEVELOPED LENGTH OF PIPE FROM METERS TO FURTHEST FEATURE, APPROX 150 MAX HEIGHT OF FEATURE, APPROX 24 ABOVE NATURAL GRADE.

NOTE: EXISTING CONSTRUCTION TO PROPOSED SIDEWALK AND DRIVE TO BE REMOVED OR RELOCATED.

CENTER POINTS NOTE: THE OWNER IS RESPONSIBLE FOR THE CONTRACT/RELOCATION PROCESS OF THE GUY WIRE AND THE FEES ASSOCIATED WITH CENTER POINTS EXCEPT THE OWNER HAS ALREADY DEDICATED CENTER POINTS AND THE LETTER IS UPLOADED.

SITE RUNOFF CALCULATIONS (EXISTING)

TRACT AREA = 0.242 ACRES

$C = 0.8 + 0 + 0.2$ (PER COH 2020 EM 9.1 OF 8.3a(2))
 $C = 0.8 + 0.02 + 0.2 = 0.21$
 $TC = 10 + 30.700 + 15 = 25.39$ IN/S

$Q2YR = b / (a + TC) \text{ (USDA COH EM TABLE 8.1 FOR 2 YRS STORM)}$
 $Q2YR = 48.25 / (0.01 + 25.390754) = 3.72$ IN /HR

$Q2YR = C \times I \times A = 0.06 \times 3.72 \times 0.242 = 0.549$ CFS

$Q10YR = b / (a + TC) \text{ (USDA COH EM TABLE 8.1 FOR 10 YRS STORM)}$
 $Q10YR = 63.66 / (4.44 + 25.390757) = 0.47$ IN /HR

$Q10YR = C \times I \times A = 0.21 \times 0.47 \times 0.242 = 0.024$ CFS

A 24" MPN RCP REINF. CONC. PIPE IS CALLED OUT

MADGE STREET IS BY R.O.W. (RECORDED AS CHRISTOPHER STREET) VOLUME 986 PAGE 113 HC 05

6" WATER MAIN

6" SAN SEWER

PROPOSED 6" SAN SEWER

PROPOSED 6" SAN SEWER

SEAL OF TEXAS

 LARRY DEAVERS
 74436
 CIVIL ENGINEER
 EXPIRES 12/31/2022
 PROJECT ENGINEER
 FORM F-35177
 11/4/22

SITE RUNOFF CALCULATION (DEVELOPED)

2YR (100) FPM (200)
 10YR (100) FPM (200)

UNDEVELOPED RATE OF DISCHARGE

$Q = 0.00$ CFS
 $Q = 0.00 + 0.00 + 0 + 0 = 0.00 + 0.00 = 0.00$ CFS
 0.00 CFS (0.00 CFS @ 1.00 CFS)

CITY OF HOUSTON

Building Code Enforcement

21080195

S.F. RES W/ATT.
GARAGE (1-2-5-R3-B)
12 IRC/15 IECC

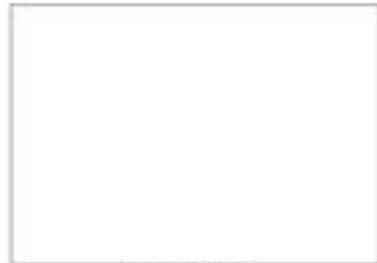
COH Project Number

APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.

Daniel Storer 12/2/2022

Structural



Electrical



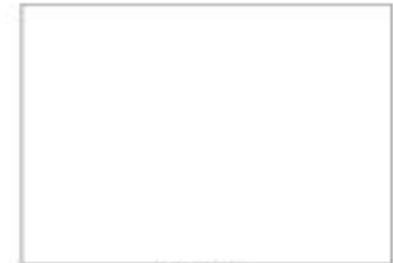
Mechanical



Plumbing



Storm



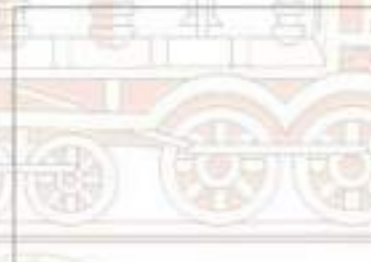
Traffic



Planning



Utility Analysis



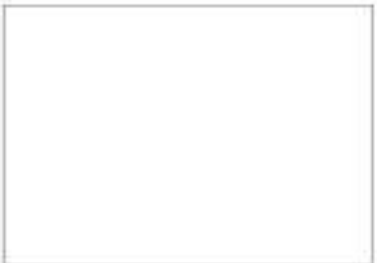
Airport (HAS)



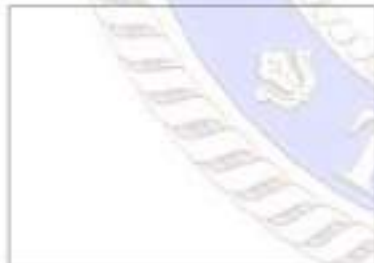
Flood



Health



Health/Pools



Fire Marshal



High Pile/HazMat



LPG Tank



Sprinkler

RP-2021-573408
10/15/2021 10:27 AM

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

1. Grantor, KIKO GROUP LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GROUP LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on 11/15/18 by Kyko Gray, LLC Grantor Kevin Cherry garl
Owner

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2018 by Kevin Cherry

Seal Showing Name and Commission Expiration
Rachel Burkhalter
Notary Public in and for the State of Texas

EXECUTED on _____

Ryko Grop, LLC by Ryko Grop, LLC Grantee Travis Cherry
owner

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2021, by
Travis Cherry

Seal Showing Name and
Commission Expiration

R. Burroughliter
Notary Public in and for the
State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 28, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 26' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"
Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX. 77021
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All corrections, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was filed in File Number Sequence on the date and at the time stamped herein by me, and was duly RECORDED in the Official Public Records of said Property of Harris County, Texas.

Tuesday, October 5, 2021

COUNTY CLERK
HARRIS COUNTY, TEXAS



RP-2021-573407
10/05/2021 892 \$38.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

1. Grantor, Kyko Group LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4617 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, Kyko Group LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the



distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on _____
by Kyra Boppre Grantor
THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the 17th day of May, 2021, by Teresa Cherry

Seal Showing Name and Commission Expiration

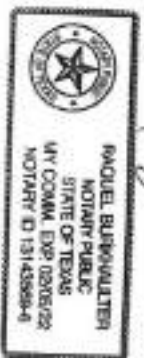
[Signature]
Notary Public in and for the State of Texas

EXECUTED on _____

Kyko Group, LLC Grantee Cherry Hill
Quinn

THE STATE OF TEXAS
COUNTY OF HARRIS

Quinn



This instrument was acknowledged before me on the October 5, 2021 by Taylor Chetty

Seal Showing Name and Commission Expiration _____

Notary Public in and for the State of Texas

Noelle Burkwalter

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

A

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 5

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 30.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Returns Address

3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 ✓
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, notations and stamps were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW
THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number: Squares on the date and at the time stamped herein by me, and was duly recorded, in the Official Public Records of Real Property of Harris County, Texas

Tuesday, October 5, 2021

Leslie Madgett

COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573406
10/03/2021 892 \$28.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Union

1. Grantor, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET A (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GRAD LLC, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

EXECUTED on _____

Kyko Empire, LLC by Travis Cherry Grantee
Owner 100

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2021, by Travis Cherry

Seal Showing Name and Commission Expiration

Maquel Burrows-Walter
Notary Public in and for the State of Texas

Exhibit "A"

Legal Description of Grantor's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

6

Exhibit "B"

Legal Description of Grantor's Property

BLOCK 1 LOT 4

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

Exhibit 'C'

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address

3636 Old Spanish Trl, B1-140
Houston, TX. 77021
KyKo Group, LLC

W

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

Frankie Madgett

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW, THE STATE OF TEXAS, COUNTY OF HARRIS

I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly RECORDED in the Official Public Records of Harris County, Texas.

Tuesday, October 5, 2021

Frankie Madgett

COUNTY CLERK
HARRIS COUNTY, TEXAS



RP-2021-573405
10/01/2021 \$21 \$21 \$21.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Wm

1. Grantor, KIKO GARDLIE, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET B (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, KIKO GARDLIE, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4619 MAGGIE STREET C (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend _____ feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

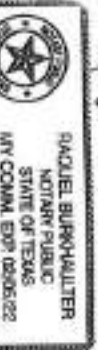
9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on by Kyko Corp, LLC, Grantor Taylor Cherry
Dwner JAN

THE STATE OF TEXAS
 COUNTY OF HARRIS



owns
 This instrument was acknowledged before me on the October 5, 2024, by Taylor Cherry

Seal Showing Name and
 Commission Expiration

Notary Public in and for the
 State of Texas

EXECUTED on _____

Ryker Group, LLC By Grantee Travis Cherry Hill
owner

THE STATE OF TEXAS
COUNTY OF HARRIS



This instrument was acknowledged before me on the October 5, 2018, by Ryker Group, LLC

Seal Showing Name and Commission Expiration

R Burkhultler
Notary Public in and for the State of Texas

Exhibit 'A'

Legal Description of Grantor's Property

BLOCK 1 LOT 2

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

B

Exhibit "B"

Legal Description of Grantee's Property

BLOCK 1 LOT 3

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION, RECORDED IN VOLUME 988, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

5

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION, RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

Return Address

3636 Old Spanish Trl, B-1 #140

Houston, TX. 77021

Kyko Group, LLC

RECORDER'S MISCELLANEOUS:

At the time of recording, this instrument was found to be inadequate for the best photographs reproductions because of illegibility, carbon or photo copy, discolored paper, etc. All boldface, additions and changes were present at the time the instrument was filed and recorded.

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021



COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS VOIDED AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped hereon by me, and was duly recorded, in the Official Public Records of Real Property of Harris County, Texas.

Tuesday, October 5, 2021



COUNTY CLERK
HARRIS COUNTY, TEXAS





RP-2021-573404
10/05/2021 9:21 438.00

CONSTRUCTION AND MAINTENANCE EASEMENT

THE STATE OF TEXAS
COUNTY OF HARRIS

Shirley

1. Grantor, *Kirk Group LLC*, acting by and through its duly authorized officers and representatives, ("Grantor"), is the owner of the property located at 4619 MAGGIE STREET D (address), and more particularly described in Exhibit "A" attached to this Easement ("Grantor's property").

2. Grantee, *Kirk Group LLC*, acting by and through its duly authorized officers and representatives, ("Grantee"), is the owner of the property located at 4617 MAGGIE STREET A (address), and more particularly described in Exhibit "B" attached to this Easement ("Grantee's property").

3. Grantor represents that the Grantor is the sole owner of Grantor's property and that there are no lienholders, mortgagees, or trustees that have an ownership interest in Grantor's property except those lienholders, mortgagees, or trustees that have signed this Easement evidencing their consent to the conveyance of this Easement and their consent to the terms and conditions of this Easement.

4. Grantee desires to construct a building on Grantee's property that is within three feet of Grantor's property. Grantee desires that Grantor convey an easement on Grantor's property to Grantee for the purpose of performing construction, repairs, and maintenance on Grantee's property ("Easement").

5. For and in consideration of the mutual covenants and conditions contained in this Easement, and for other good and valuable consideration, Grantor conveys to Grantee a perpetual, nonexclusive easement over and across a portion of Grantor's property that is adjacent to Grantee's property for purposes of performing construction, repairs, and maintenance on Grantee's property.

6. Scope. Grantee and Grantee's agents and contractors shall have an Easement that shall extend feet from the portion of Grantor's property line that abuts the portion of Grantee's property line that is adjacent to the portion of the building on Grantee's property that is closer than three feet from Grantor's property. Grantee's and Grantee's agents and contractors shall have the right to enter onto Grantee's property for the purpose of accessing this Easement. Grantee and Grantee's agents and contractors shall have access to the Easement at all reasonable times for the purposes described herein.

7. Purpose. The use of the Easement shall include the performance of construction, repairs, and maintenance on Grantee's property of buildings, landscaping, lighting, utilities, fixtures, and other improvements. Grantee agrees that the use of the Easement for construction, repairs, and maintenance of a building on Grantee's property shall be limited to the size, scale, measurements, number of stories, and the

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CUSM

b

(2)

llc

distance from Grantor's property as described in Exhibit "C" attached to this Easement. Grantee shall not permit a building constructed on Grantee's property to encroach onto Grantor's property in any way except as provided for in Exhibit "C" attached to this Easement.

8. The Easement shall encumber Grantor's property and be a covenant running with the land, and shall be binding on all of Grantor's heirs, successors, agents, assignees, lessees, and other occupiers of Grantor's property, until the time that the Easement is released.

9. Maintenance of Easement. Grantor shall be responsible for reasonable maintenance of the Easement including reasonable maintenance of the lawn, landscaping, trees, and any structures or objects in the Easement that are owned by Grantor. Grantor retains all rights to use the Easement in any way that does not reasonably interfere with Grantee's use of the Easement for the purposes described in this Easement. Grantor shall keep the Easement free of obstructions that might reasonably interfere with the purpose of the Easement described herein. Grantee shall be responsible for any damage done to Grantor's property in connection with Grantee's use of the Easement.

10. Termination. Grantor agrees not to revoke this Easement while the building remains on Grantee's property in the form described in Exhibit "C" attached to this Easement. If a building described in Exhibit "C" attached to this Easement is demolished or altered from its description contained in Exhibit "C," this Easement shall be terminated except if the building described in Exhibit "C" attached to this Easement is demolished and rebuilt according to the "Reconstruction after Casualty" provisions of Chapter 42, Code of Ordinances, Houston, Texas, then this Easement shall continue to be effective.

11. If a condition of this Easement is violated, abandoned, waived, or otherwise found to be invalid, the remaining terms and conditions of this Easement shall remain in full force and effect to the extent possible.

EXECUTED on
by Kyko Goppala
THE STATE OF TEXAS
COUNTY OF HARRIS



Kyko Goppala, Grantor Trevor Cherry John

This instrument was acknowledged before me on the 05th day of 5/2022, by
Rebecca Greedy

Rebecca Greedy
Notary Public in and for the
State of Texas

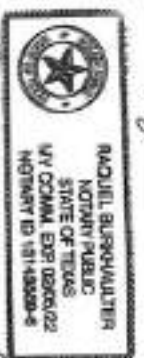
Seal Showing Name and
Commission Expiration

EXECUTED on _____

Kyrcosop, LLC by TS, Grantee Tina Cherry
owner LLC

THE STATE OF TEXAS
COUNTY OF HARRIS

Grimes



This instrument was acknowledged before me on the October 5, 2021, by Heller Greedy

Seal Showing Name and Commission Expiration _____

Notary Public in and for the State of Texas P Burrows

Exhibit 'A'

Legal Description of Grantor's Property

BLOCK 1 LOT 6

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND
BEING A REPLAT OF THE EAST 20.0' FOOT OF
LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT
OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES
SECTION RECORDED IN VOLUME 998, PAGE 713 OF
THE HARRIS COUNTY DEED RECORDS,
HARRIS COUNTY, TEXAS.

D

Exhibit "B"

Legal Description of Grantor's Property

BLOCK 1 LOT 1

CHERRY ESTATES AT
MAGGIE STREET

A SUBDIVISION OF 0.3787 ACRES OF LAND BEING A REPLAT OF THE EAST 20.0' FOOT OF LOT 24, ALL OF LOT 25, AND THE WEST 25' FOOT OF LOT 26, BLOCK 7 OF BLUE BONNET ESTATES SECTION RECORDED IN VOLUME 998, PAGE 713 OF THE HARRIS COUNTY DEED RECORDS, HARRIS COUNTY, TEXAS.

Exhibit "C"

Description of Buildings on Grantee's Property
(See Section 7 and 10 of Easement)

Return Address
3636 Old Spanish Trl, B-1 #140
Houston, TX 77021 W
Kyko Group, LLC

RECORDER'S MEMORANDUM:
At the time of recording, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All block letters and changes were present at the time the instrument was filed and recorded.

b f

FILED FOR RECORD

1:02:07 PM

Tuesday, October 5, 2021

COUNTY CLERK, HARRIS COUNTY, TEXAS

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS INVALID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS

I hereby certify that this instrument was FILED in Filing Number 8092706 on the date and at the time stated herein by me, and was duly RECORDED in the Official Public Records of Harris County, Texas.

Tuesday, October 5, 2021

COUNTY CLERK,
HARRIS COUNTY, TEXAS





Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.

PLANS ARE IN COMPLIANCE WITH THE 2015 IECC

1. THESE PLANS ARE IN COMPLIANCE WITH THE 2015 IECC.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
3. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
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12. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
13. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
14. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
15. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.

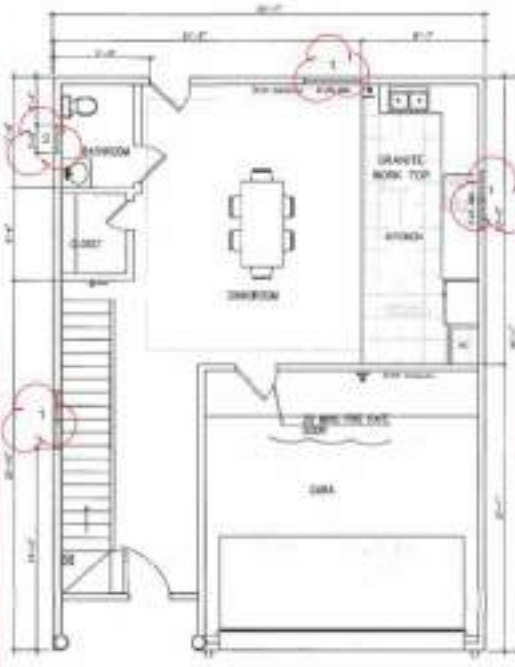
NOTE:
 1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.

REMODEL RESIDEND PROJECT DESCRIPTION

ITEM	DESCRIPTION	QUANTITY	UNIT
1	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
2	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
3	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
4	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
5	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
6	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
7	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
8	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
9	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
10	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
11	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
12	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
13	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
14	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
15	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA

1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.

SQ FTG BREAK DOWN
 FIRST FLOOR - 800
 SECOND FLOOR - 1080
 GARAGE - 400
 DECK - 120
 TOTAL SQ FTG - 2400



FLOOR PLAN 1
 SCALE 1/4" = 1'-0"



FLOOR PLAN 2
 SCALE 1/4" = 1'-0"

REMODEL RESIDEND PROJECT DESCRIPTION

ITEM	DESCRIPTION	QUANTITY	UNIT
1	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
2	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
3	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
4	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
5	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
6	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
7	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
8	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
9	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
10	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
11	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
12	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
13	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
14	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA
15	DEMOLITION OF EXISTING INTERIOR WALLS	1	AREA

LEGEND

- NEW INTERIOR PARTITION WALL
- NEW INTERIOR PARTITION WALL
- EXISTING WALL TO REMAIN
- WALL TO BE DEMOLISHED
- GLASS DOOR
- GLASS WINDOW
- DOOR
- WINDOW

DRAWING REVISIONS

NO.	DATE	DESCRIPTION
1	08/15/2024	ISSUED FOR PERMIT
2	08/15/2024	ISSUED FOR PERMIT
3	08/15/2024	ISSUED FOR PERMIT
4	08/15/2024	ISSUED FOR PERMIT
5	08/15/2024	ISSUED FOR PERMIT
6	08/15/2024	ISSUED FOR PERMIT
7	08/15/2024	ISSUED FOR PERMIT
8	08/15/2024	ISSUED FOR PERMIT
9	08/15/2024	ISSUED FOR PERMIT
10	08/15/2024	ISSUED FOR PERMIT



DOOR DETAILS
 SCALE 1/4" = 1'-0"

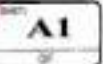
ROOM FINISH SCHEDULE / WINDOW SCHEDULE

ROOM	FLOOR	FINISH	DESCRIPTION
KITCHEN	FIRST	GRANITE	GRANITE COUNTER TOP
DINING ROOM	FIRST	GRANITE	GRANITE COUNTER TOP
LIVING ROOM	FIRST	GRANITE	GRANITE COUNTER TOP
BATH	FIRST	GRANITE	GRANITE COUNTER TOP
BEDROOM 1	SECOND	GRANITE	GRANITE COUNTER TOP
BEDROOM 2	SECOND	GRANITE	GRANITE COUNTER TOP
GARAGE	FIRST	GRANITE	GRANITE COUNTER TOP
DECK	FIRST	GRANITE	GRANITE COUNTER TOP

1. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
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THE ATTACHED GARAGES WILL BE SEPARATED FROM THE ATTIC BY A MINIMUM OF 1" OF CYPRUS GROUT ON THE GARAGE SIDE. THE GARAGE CEILING MUST HAVE A MINIMUM OF 1/2" TYPE X GYPSUM BOARD TO THE GARAGE SIDE. IF INSTALLED PROPERLY ABOUT 1/2" FROM THE GARAGE CEILING. IN SOME CASES, TYPE X GYPSUM BOARD SHOULD BE INSTALLED ON A GARAGE CEILING. PLANS SHOULD INDICATE WHERE THE STRUCTURE CLIPPING THE CEILING ASSEMBLY MUST BE PROTECTED BY A MINIMUM OF 1" OF CYPRUS GROUT.

PROPOSED REMODEL WORK
 401 HUNTERS STREET
 HOUSTON, TX 77058



1. ALL PROJECTS SHALL ADHERE WITH THE FOLLOWING CODES AS THEY APPLY:
 2012 DC WITH CITY OF HOUSTON AMENDMENTS AS PER SAC 101.2
 2017 CITY OF HOUSTON CODE BOOKS
 2012 IBC - UNIFORM BUILDING CODES
 2012 LPI - UNIFORM PLUMBING CODE
 2017 NEC - NATIONAL ELECTRICAL CODE (STATE WAREHOUSE EFFECTIVE SEPTEMBER 15, 2017)
 2015 ICC OR 2013 ASHRAE 90.1 ENERGY CODE
 PURSUANT TO 1940 OF SUB CHAPTER 104F, 16 TITLE 34, TEXAS ADMINISTRATIVE CODE
 2004 ICC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD, DRINKWARE, HEALTH

LOT #	LOT AREA	APPROXIMATE TOTAL AREA	PERCENTAGE
1	1,000 SQ. FT.	1,000 SQ. FT.	100%
2	1,000 SQ. FT.	1,000 SQ. FT.	100%
3	1,000 SQ. FT.	1,000 SQ. FT.	100%
4	1,000 SQ. FT.	1,000 SQ. FT.	100%

INTERESTED PARTY IN THE PROPOSED PROJECT SHALL BE NOTIFIED BY CITY OF HOUSTON/ISSUE/ISSUE

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.

LEGEND

1/4" = 1' SCALE (SEE PLAN)

PLANT SCHEDULE			
SYMBOL	KEY	QTY	SCIENTIFIC NAME
	0		0000
	0	1	0000
	0	1	0000

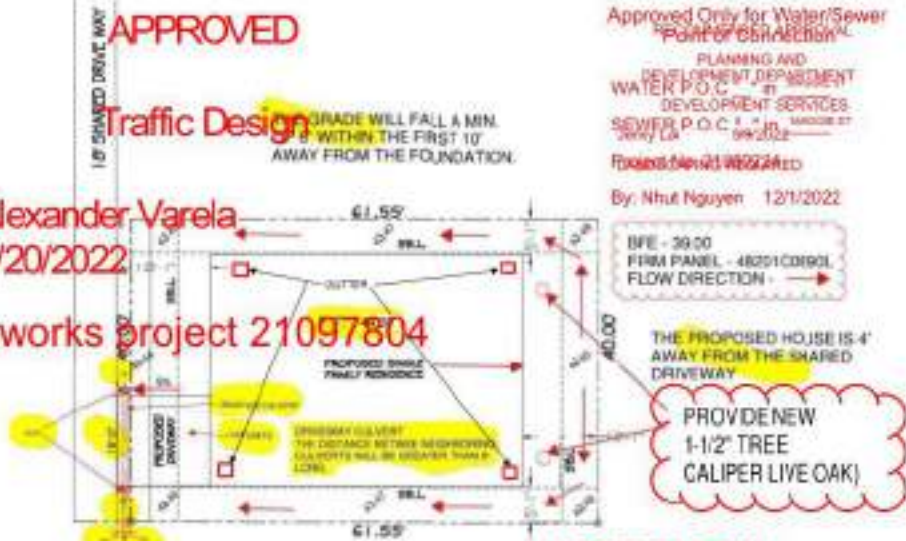
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.

APPROVED

Traffic Design
 GRADE WILL FALL A MIN. 1/8" WITHIN THE FIRST 10' AWAY FROM THE FOUNDATION.

Alexander Varela
 4/20/2022

Siteworks project 21097804



Approved Only for Water/Sewer "Point of Connection"
 PLANNING AND DEVELOPMENT DEPARTMENT
 WATER P.O.C. AT DEVELOPMENT SERVICES
 SEWER P.O.C. AT DEVELOPMENT SERVICES
 10000 Katy Rd, Suite 200, Houston, TX 77054
 By: Nhu Nguyen 12/1/2022

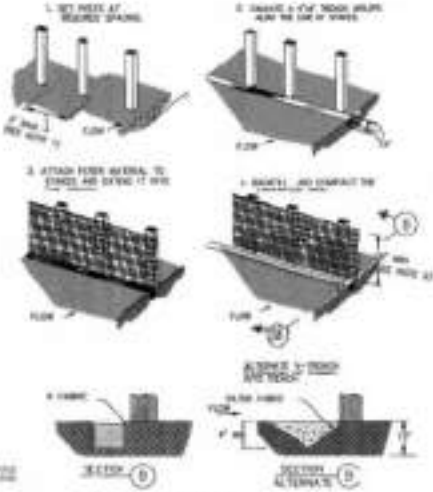
BFE - 30.00
 FIRM PANEL - 48201C0001
 FLOW DIRECTION ->

THE PROPOSED HOUSE IS 4' AWAY FROM THE SHARED DRIVEWAY

PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK

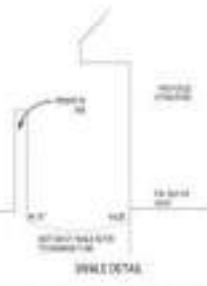
LOT 5 BLOCK 1

MAGGIE STREET



- CONSTRUCTION NOTES**
1. SET CURB AT CORNER SPINE
 2. ATTACH CURB INTERNAL TO STREET AND STAKE IT INTO PLACE
 3. BUILT UP CURB IMPACT BEHIND CURB
 4. FINISH CURB TO MATCH STREET NETWORK

- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF HOUSTON.



Performance of this notice does not relieve the applicant from its responsibility to comply with all applicable code and regulations.

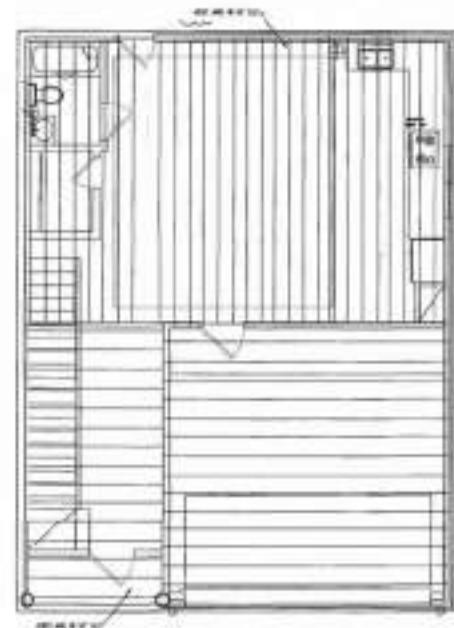
PROPOSED RESOURCES FOR TRIVETT CHERRY 4819 AC MAGGIE STREET HOUSTON, TX 77054

CS

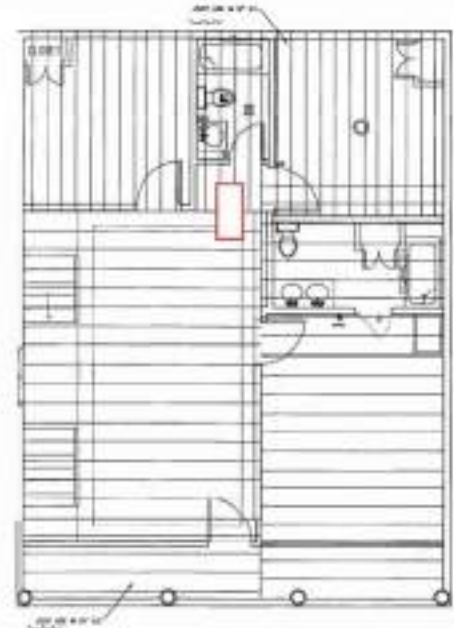


21080234

REVIEWED FOR COMPLIANCE
 The presence of this review does not relieve the applicant from his responsibility to conform with all applicable codes and regulations.



1 CEILING FRAMING FIRST FLOOR PLAN I
 SCALE: 1/4" = 1'-0"



2 CEILING FRAMING SECOND FLOOR PLAN II
 SCALE: 1/4" = 1'-0"

TRUSS FRAMING NOTES:

- ALL UNBRACED MEMBER LUMBER SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1700 FOR MEMBERS TO BE CONNECTED TO PLATE OR 2000-84 (NET TENSILE DISRUPTION CONDITION).
- PRESUMED GRADES SHALL BE DESIGN FOR LOADS AS FOLLOWS:
 - DECK AND FLOORING OF TRUSSES MUST MEET WITH NATIONAL DESIGN SPECIFICATION FOR STEEL DECK LAMINATE AND ITS SUPPORTS BY NATIONAL FORESTRY PRODUCTS ASSOCIATION (NFP) DESIGNATION. TRUSS CONSTRUCTION LAMINATE REVISIONS AND DESIGN SPECIFICATION FOR LIGHT METAL PANEL CONNECTIONS MUST BE USED BY THIS PLAN WITHOUT CHANGE NOTATION.
 - WOOD MANUFACTURER'S QUALITY CONTROL SHALL BE OBSERVED TO INSURE PROPER FOR SUPPORTING BEARING CAPACITY OF TRUSSES.
 - TRUSSES SHALL BE ENDORSED AND BRACED FOR:
 - DEAD LOAD = 11 PSF
 - LIVE = 16 PSF
 - WIND LOADS = 110 MPH W/ 3 SEC GUST BY ASSUMING WITH THE 2000 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL CODES.
 - NOTE: PROVIDE THE BRACING IN CONCRETE SPACES OF STEEL WALLS AND PARTITIONS INCLUDE PARTNERSHIPS, AT CORNERS & FLOOR LEVELS AND ROOF WALLS, BRACES SHALL BE 2" PLAIN LENGTH OF WALL (100').

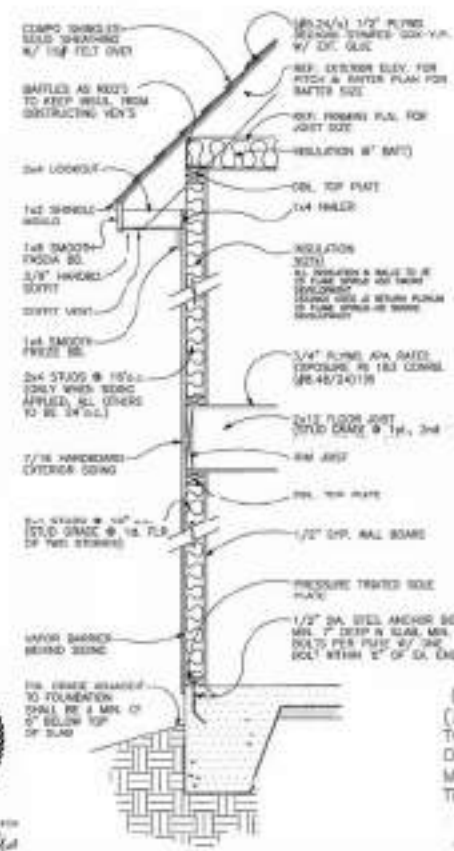
TRUSS MEMBER / INSULATION SPECIFICATIONS:

- TRUSS SPACING IS 7'-0" O.C.
- TRUSS DECKS TO BE COVERED BY TRUSS MANUFACTURER'S TRUSS BRACING MANUFACTURER'S ENDORSED SEAL SHALL BE IDENTIFIED TO THE APPLICABLE CODE APPROVALS.
- TOP SURFACING SHALL INCLUDE: TRUSSES, JOIST AND GABLE OF LUMBER AND TRUSSING PLATE SIZE AND ENDORSEMENT FOR EACH TRUSS TYPE.
- ALL LUMBER USED IN THE CONSTRUCTION SHALL BE STEEL GRADE AND SPECIFIED BY THIS PLAN.
- ALL CONNECTION PLATING SHALL BE STAMPEL WITH 16, 18 OR 20 GAUGE TRUSS & CONNECTION STRUCTURAL STEEL.
- BOTH PLATE WIDTH AND LENGTH MUST EXCEED THE SPACING IN THE TRUSS SPACES.
- TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE TRUSS DESIGN PRINTING ALLOWINGLY CUT WOOD MEMBERS CLAMPED IN BOND FACTORS DURING ASSEMBLY TO AVOID TRUSS FOLDING AND DISTORTION IN COMPLETED TRUSS UNIT.
- CONNECTION PLATING SHALL BE WELDED INTO THE JOIST WEBS OR BOTH SIDES OF THE JOIST AT EACH JOIST TO TRUSS FULL PENETRATION OF THE JOIST WITH CUT ENDING THE COVER PLATING OF THE JOIST.
- CUTTING OR BOLT ALLOCATION OF ANY TRUSS MEMBER OR PART AT JOIST IS NOT PERMITTED.

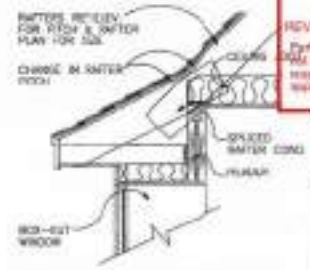
WIND SPEED WITH A 3 SECOND GUST FACTOR
 110 MILE PER HOUR



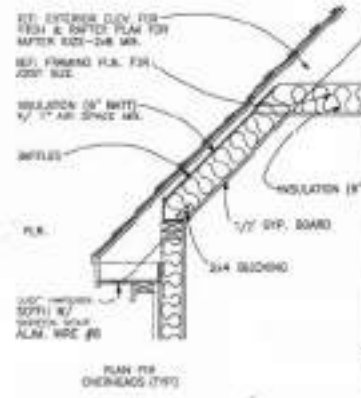
Day Davis
 REGISTERED PROFESSIONAL ENGINEER
 ESR314 F-50777
 05/24/2022



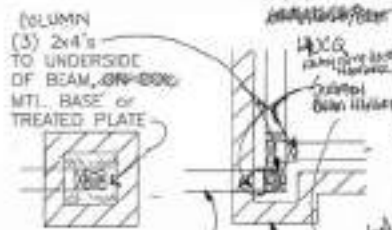
WALL SECTION-EXTERIOR SIDING



FLARE-OUT SOFFIT DETAIL



RAISED CEILING



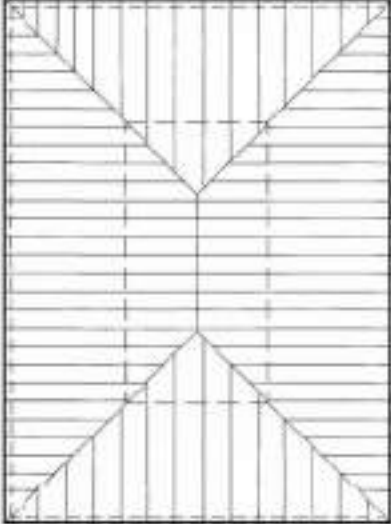
TYPICAL COLUMN DETAIL

REPRODUCED IN ACCORDANCE WITH THE CITY OF HOUSTON'S POLICY ON PUBLIC RECORDS. FOR MORE INFORMATION, CONTACT THE CITY OF HOUSTON ARCHIVE DEPARTMENT AT 713-895-5000.



21082024

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations.
 12/13/2022



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

110 MILE PER HOUR
 WIND SPEED WITH A 3 SECOND GUST FACTOR



LARRY DEAVERS
 ENGINEER
 FIRM# E-1677
 03/24/2022

FRAMING NOTES: (UNLESS NOTED OTHERWISE, U.N.O.)

- ALL JOIST AND GIRDER SPACING SHALL BE 24" O.C. UNLESS NOTED OTHERWISE.
 - ALL JOIST AND GIRDER SHALL BE 2" X 12" UNLESS NOTED OTHERWISE.
 - ALL JOIST AND GIRDER SHALL BE 2" X 12" UNLESS NOTED OTHERWISE.
- | MEMBER TYPE | MEMBER SIZE | GRADE |
|-------------|--------------|-------|
| JOIST | 2" X 12" SPS | #1 |
| GIRDER | 2" X 12" SPS | #1 |
| RAFTER | 2" X 12" SPS | #1 |
| TRUSS | 2" X 12" SPS | #1 |
- ALL JOIST AND GIRDER SHALL BE 2" X 12" UNLESS NOTED OTHERWISE.
 - ALL JOIST AND GIRDER SHALL BE 2" X 12" UNLESS NOTED OTHERWISE.
 - ALL JOIST AND GIRDER SHALL BE 2" X 12" UNLESS NOTED OTHERWISE.

ATTIC VENTILATION

SEE PLAN SHEET 02.11 - 02.12 FOR
 24" X 24" VENTILATION UNITS - 1 PER 100 SQ. FT. OF TOTAL NET FLOOR AREA.
 24" X 24" VENTILATION UNITS - 1 PER 100 SQ. FT. OF TOTAL NET FLOOR AREA.
 24" X 24" VENTILATION UNITS - 1 PER 100 SQ. FT. OF TOTAL NET FLOOR AREA.

ITEM	QTY
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10
24" X 24" VENTILATION UNITS	10



- MECHANICAL SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
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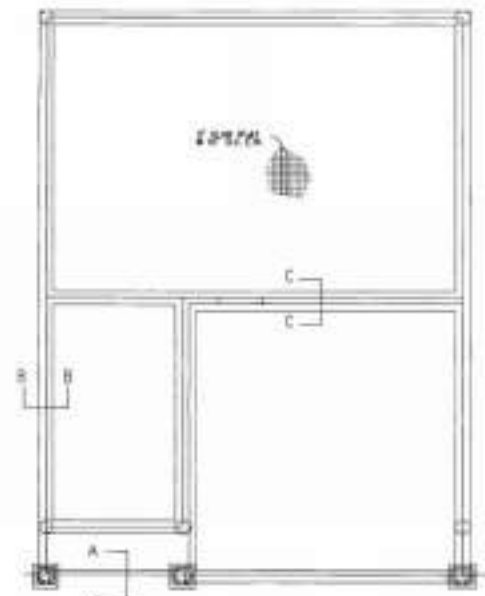
PROPOSED RESIDENCE FOR
 TREVINO LUIS
 4814 W. MARQUEE STREET
 HOUSTON, TX 77051

SCALE: A3

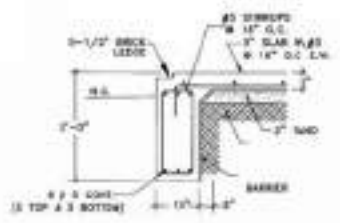


21080334

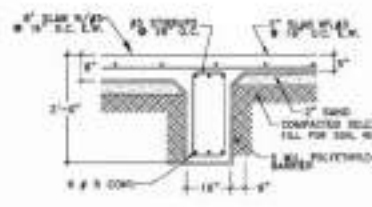
REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations.
 12/19/22



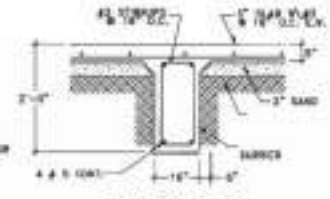
FOUNDATION PLAN
 SCALE: 3/16" = 1'-0"



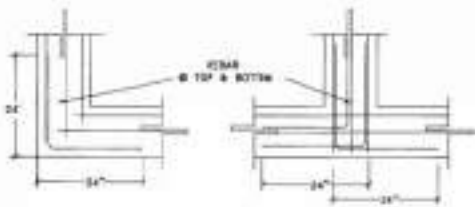
SECTION A-A
 at wall



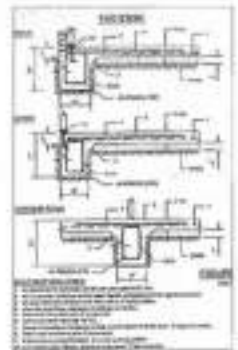
SECTION B-B
 at wall



SECTION C-C
 at wall



TYPICAL BAR PLACING DETAILS
 CORNER & INTERSECTION



Larry Deavers
 PROJECT ENGINEER
 FIRM# P-16777
 03/24/22

GENERAL NOTES - CONCRETE

- VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECES, LEDGES AND STEPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.
- NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.
- CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308 WITH LATEST REVISIONS.
- CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT.
- REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A305 CERTIFICATIONS, DETAILS, FABRICATED AND INSTALLED PER A311 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," A311-115 LATEST REVISION.
- WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185.
- REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHART SHALL BE:
 FOOTINGS: 1" BOT., 2" SIDES & 3" TOP
- CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.
- HOLS FOR DRILLED FOOTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.
- PROVIDE CORNER CHAIR IN THE OUTSIDE FACE OF EXTERIOR FRAME BEAMS TO WELD THE HORIZONTAL STEEL. AT ALL BE-ENTRANT CORNERS PLACE 2 - # 4 x 4'-0" IN THE SLAB.
- UNDERGROUND UTILITIES OR OBSTRUCTIONS ENCOUNTERED SHALL BE MARKED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14. UNID DETAIL AS CONTIGUOUS SHALL BE LAPPED TO BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.
15. ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON CODE (THE LATEST EDITION OR LWC).
16. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2,000.
17. SUBGRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT.
18. THE GENERAL CONTRACTOR SHALL LEAVE THE TIE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL VERIFY AND OBTAIN PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES, OR OTHER MATERIALS.
19. ALL PIPES GOING THROUGH EXTERIOR BRACK BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MIN. DEPTH OF BRACK BEAM.
20. SID OF SLEEVES SHALL NOT EXCEED 1/3 OF OVERALL THICKNESS OF BRACK BEAM. SPACES OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS ON CENTER.
21. THE ENGINEER SHALL NOT BE LIABLE FOR ANY TOLERATION REVISION OR CHANGES FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
22. CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.

REFER ARCHITECTURAL PLANS FOR ALL DIMENSIONS NOT SHOWN
 ALL DIMENSIONS NOT SHOWN
 ALL PLUMBING FIXTURES NOT SHOWN
 ALL ELECTRICAL FIXTURES NOT SHOWN
 ALL DEEP VALLES NOT SHOWN

1 TO SCALE PER HOUR
 WIND SPEED WITH A 2 SECOND DURATION FACTOR

PROPOSED REVISIONS FOR
 TROOP CHAIR
 401 MCMADE STREET
 HOUSTON, TX 77001

REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.

PLANS ARE IN COMPLIANCE WITH THE 2015 IECC

1. SHALL VERIFY ALL DIMENSIONS OF EXISTING...
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...

NOTE:
 ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...

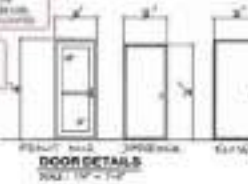
WINDER TREADS:
 WINDER TREADS - PD11.7.5.2.1 WINDER TREADS SHALL HAVE A TREAD DEPTH OF AT LEAST 10 AT THE WALKLINE AND SHALL NOT BE LESS THAN 6 AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.

ALL DIMENSIONS UNLESS OTHERWISE NOTED TO THE CONTRARY SHALL BE IN FEET AND INCHES.

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	1	YD
2	BRICK	1	YD
3	CEMENT MORTAR	1	YD
4	CONCRETE	1	YD
5	BRICK	1	YD
6	CEMENT MORTAR	1	YD
7	CONCRETE	1	YD
8	BRICK	1	YD
9	CEMENT MORTAR	1	YD
10	CONCRETE	1	YD
11	BRICK	1	YD
12	CEMENT MORTAR	1	YD

LOADING THE DROP FROM THE TOP AND NOT EXCEED 1/4"

LOADING THE DROP FROM THE TOP AND NOT EXCEED 1/4"



- GENERAL NOTES:**
1. VERIFY ALL DIMENSIONS OF EXISTING...
 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
 3. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...
 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2015 IECC...

ROOM FINISH SCHEDULE / WINDOW SCHEDULE

NO.	ROOM	FINISH	DESCRIPTION
1	1-01000	CEILING	1/2" GYP BOARD
2	1-02000	WALLS	1/2" GYP BOARD
3	1-03000	FLOORS	3/4" GYP BOARD
4	1-04000	DOORS	1/2" GYP BOARD

FLOOR PLAN 1 SCALE 1/4" = 1'-0"
FLOOR PLAN 2 SCALE 1/4" = 1'-0"

REMODEL RESIDENT PROJECT DESCRIPTION

NO.	DESCRIPTION	QTY	UNIT
1	CONCRETE	1	YD
2	BRICK	1	YD
3	CEMENT MORTAR	1	YD
4	CONCRETE	1	YD
5	BRICK	1	YD
6	CEMENT MORTAR	1	YD
7	CONCRETE	1	YD
8	BRICK	1	YD
9	CEMENT MORTAR	1	YD
10	CONCRETE	1	YD
11	BRICK	1	YD
12	CEMENT MORTAR	1	YD

LEGEND

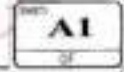
- NEW WINDOW PARTITION WALL
- EXISTING WINDOW PARTITION WALL
- WINDOW GLASS TO EXISTING TREAD
- GLASS
- GL. GLASS
- DOOR
- IN EXIST

DRAWING INDEX

- 1-1 WINDOW SCHEDULE
- 1-2 CEILING FINISHES
- 1-3 DOOR SCHEDULE
- 1-4 WINDOW SCHEDULE
- 1-5 CEILING FINISHES
- 1-6 CEILING FINISHES
- 1-7 WINDOW SCHEDULE

THE ATTACHED GARAGE WILL BE SEPARATED FROM THE STIC BY A MINIMUM OF 1" OF GYP BOARD ON THE GARAGE SIDE. THE GARAGE CEILING MUST BE 1/2" GYP BOARD ON TOP WITH A CEILING APPLIED TO THE GARAGE SIDE OF THE GYP BOARD. THE GARAGE CEILING MUST BE 1/2" GYP BOARD ON TOP WITH A CEILING APPLIED TO THE GARAGE SIDE OF THE GYP BOARD. THE GARAGE CEILING MUST BE 1/2" GYP BOARD ON TOP WITH A CEILING APPLIED TO THE GARAGE SIDE OF THE GYP BOARD.

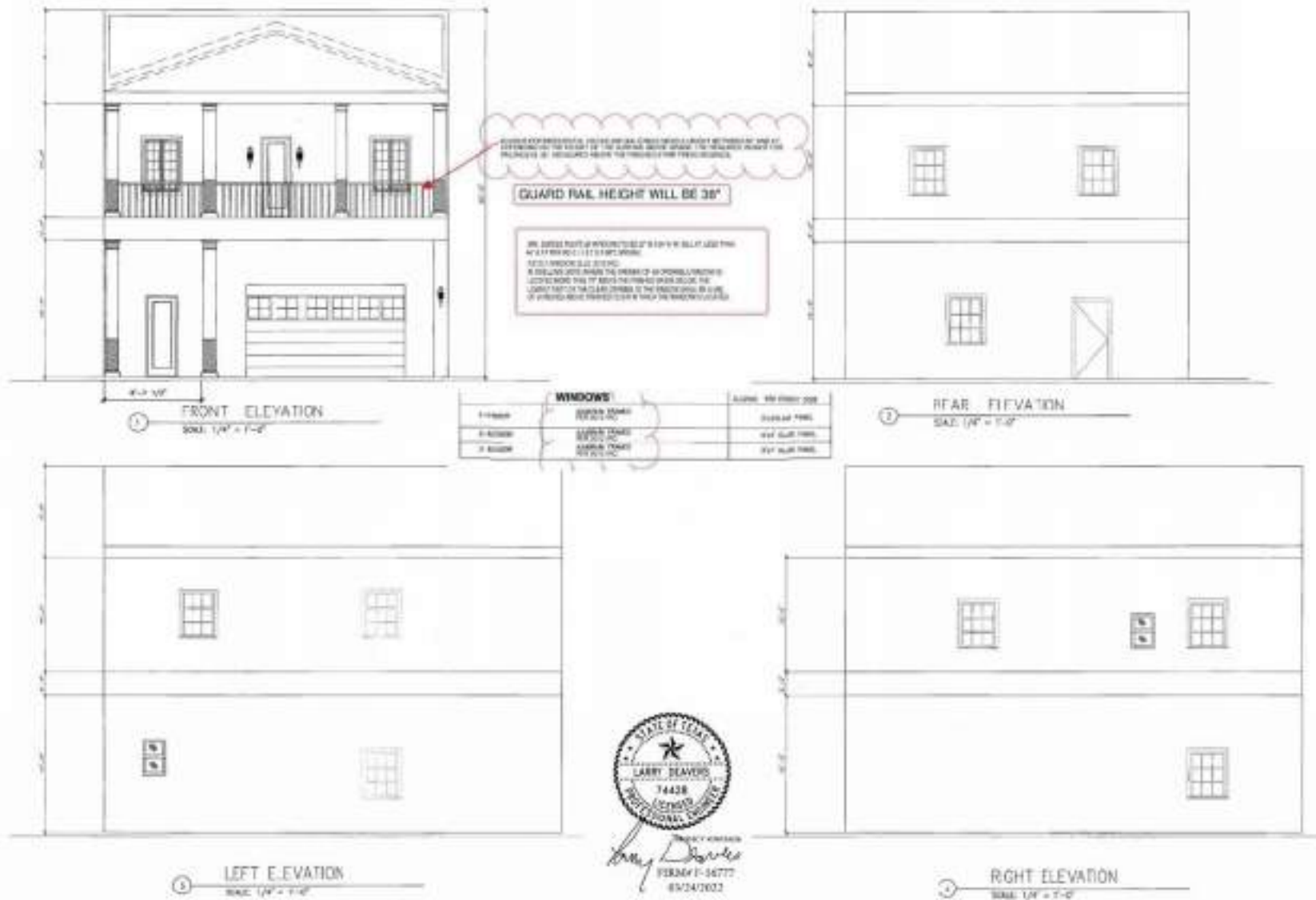
PROCESSED BY THE CITY OF HOUSTON
 1100 CALLETON STREET
 HOUSTON, TX 77001





REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. (1/13/22)

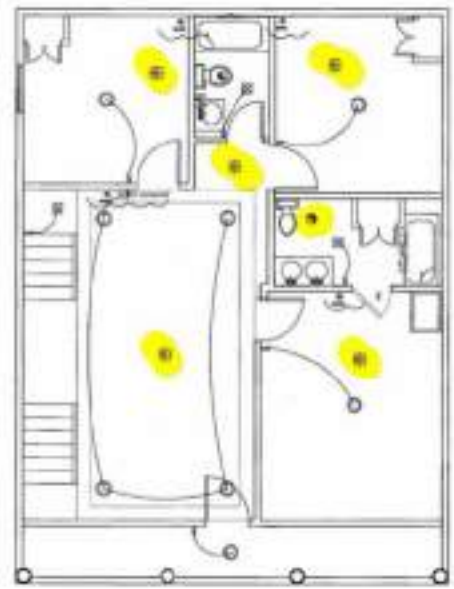
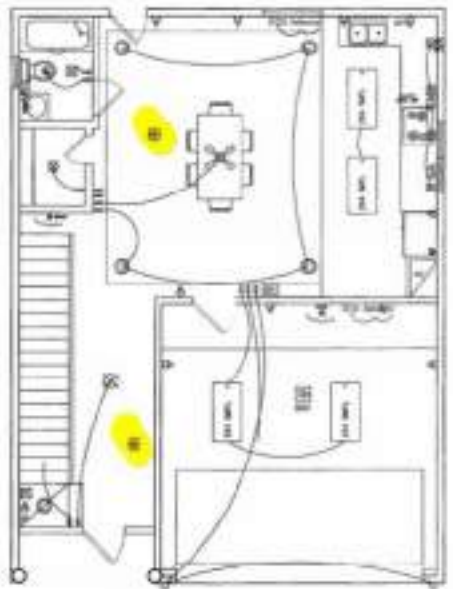


PROFESSIONAL SEAL FOR
LARRY WEAVER
74428
ARCHITECT
REGISTERED PROFESSIONAL ARCHITECT
STATE OF TEXAS

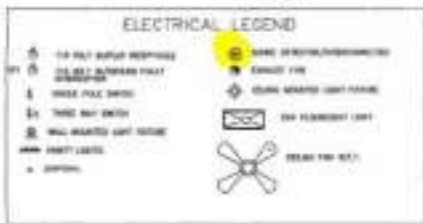


01000001

REVIEWED FOR COMPLIANCE
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 03/13/22



ELECTRICAL PLAN
 10' = 1" = 1/2"



ELECTRICAL POWER GENERAL NOTES:

- ALL BRANCH CIRCUITS SHALL HAVE A GROUNDING CONNECTION LOCATED AT THE LOWEST FEASIBLE POINT.
- REFER TO ARCHITECTURAL PLANS FOR EXISTING LIGHTING, RECEPTACLES, SWITCHES, AND PANELS. ALL NEW WALL MOUNTED DEVICES INCLUDING ALL DATA AND PHONE DEVICES.
- CONDUITS AND METALS SHALL BE PROVIDED PERMANENTLY FOR ALL POWER, DATA, AND COMMUNICATIONS. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH.
- ALL ELECTRICAL CONTRACTOR SHALL GUARANTEE: INSTALLATION OF ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH.
- THE CONTRACTOR SHALL VERIFY THE LOCATION & DEPTH OF ALL UNDERGROUND UTILITIES BEFORE ANY CONSTRUCTION. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH.
- CONDUITS AND WIRING SHALL BE INSTALLED PERMANENTLY FOR ALL POWER, DATA, AND COMMUNICATIONS. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH.
- ALL ELECTRICAL CONTRACTOR SHALL GUARANTEE: INSTALLATION OF ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH. CONDUITS SHALL BE INSTALLED IN ALL OTHER APPLICABLE AREAS AND IDENTIFIED AS SUCH.

ELECTRICAL NOTES:

- ALLOW FOR ALL UNITS. 1 - 1
 PROVIDE ALL INFORMATION AS REQUESTED.
 VERIFY ALL INFORMATION AND QUANTITIES TO UNDERSTAND THE REQUIREMENTS FOR THIS PROJECT.
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NOTE: CONTRACTOR TO VERIFY ALL ELECTRICAL REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS. CONTRACTOR SHALL VERIFY ALL INFORMATION AND QUANTITIES TO UNDERSTAND THE REQUIREMENTS FOR THIS PROJECT.

PROPOSED REVISIONS FOR
 PROJECT NO. 10000001
 401 FRENCH STREET
 HOUSTON, TX 77001

E1



ROOM SCHEDULE

ROOM NO.	ROOM	AREA	FINISH	FLOOR FINISH		WALL FINISH		CEILING FINISH		DOOR	WINDOW	EQUIP.	REMARKS
				WALL	FLOOR	WALL	FLOOR	WALL	FLOOR				
001	DR	100	01	01	01	01	01	01	01				
002	BR	120	01	01	01	01	01	01	01				
003	BR	120	01	01	01	01	01	01	01				
004	BR	120	01	01	01	01	01	01	01				
005	BR	120	01	01	01	01	01	01	01				
006	BR	120	01	01	01	01	01	01	01				
007	BR	120	01	01	01	01	01	01	01				
008	BR	120	01	01	01	01	01	01	01				
009	BR	120	01	01	01	01	01	01	01				
010	BR	120	01	01	01	01	01	01	01				
011	BR	120	01	01	01	01	01	01	01				
012	BR	120	01	01	01	01	01	01	01				
013	BR	120	01	01	01	01	01	01	01				
014	BR	120	01	01	01	01	01	01	01				
015	BR	120	01	01	01	01	01	01	01				
016	BR	120	01	01	01	01	01	01	01				
017	BR	120	01	01	01	01	01	01	01				
018	BR	120	01	01	01	01	01	01	01				
019	BR	120	01	01	01	01	01	01	01				
020	BR	120	01	01	01	01	01	01	01				
021	BR	120	01	01	01	01	01	01	01				
022	BR	120	01	01	01	01	01	01	01				
023	BR	120	01	01	01	01	01	01	01				
024	BR	120	01	01	01	01	01	01	01				
025	BR	120	01	01	01	01	01	01	01				
026	BR	120	01	01	01	01	01	01	01				
027	BR	120	01	01	01	01	01	01	01				
028	BR	120	01	01	01	01	01	01	01				
029	BR	120	01	01	01	01	01	01	01				
030	BR	120	01	01	01	01	01	01	01				
031	BR	120	01	01	01	01	01	01	01				
032	BR	120	01	01	01	01	01	01	01				
033	BR	120	01	01	01	01	01	01	01				
034	BR	120	01	01	01	01	01	01	01				
035	BR	120	01	01	01	01	01	01	01				
036	BR	120	01	01	01	01	01	01	01				
037	BR	120	01	01	01	01	01	01	01				
038	BR	120	01	01	01	01	01	01	01				
039	BR	120	01	01	01	01	01	01	01				
040	BR	120	01	01	01	01	01	01	01				
041	BR	120	01	01	01	01	01	01	01				
042	BR	120	01	01	01	01	01	01	01				
043	BR	120	01	01	01	01	01	01	01				
044	BR	120	01	01	01	01	01	01	01				
045	BR	120	01	01	01	01	01	01	01				
046	BR	120	01	01	01	01	01	01	01				
047	BR	120	01	01	01	01	01	01	01				
048	BR	120	01	01	01	01	01	01	01				
049	BR	120	01	01	01	01	01	01	01				
050	BR	120	01	01	01	01	01	01	01				

UNIT XX WINDOW SCHEDULE

UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE
001	DR	001	DR	001	DR
002	BR	002	BR	002	BR
003	BR	003	BR	003	BR
004	BR	004	BR	004	BR
005	BR	005	BR	005	BR
006	BR	006	BR	006	BR
007	BR	007	BR	007	BR
008	BR	008	BR	008	BR
009	BR	009	BR	009	BR
010	BR	010	BR	010	BR
011	BR	011	BR	011	BR
012	BR	012	BR	012	BR
013	BR	013	BR	013	BR
014	BR	014	BR	014	BR
015	BR	015	BR	015	BR
016	BR	016	BR	016	BR
017	BR	017	BR	017	BR
018	BR	018	BR	018	BR
019	BR	019	BR	019	BR
020	BR	020	BR	020	BR
021	BR	021	BR	021	BR
022	BR	022	BR	022	BR
023	BR	023	BR	023	BR
024	BR	024	BR	024	BR
025	BR	025	BR	025	BR
026	BR	026	BR	026	BR
027	BR	027	BR	027	BR
028	BR	028	BR	028	BR
029	BR	029	BR	029	BR
030	BR	030	BR	030	BR
031	BR	031	BR	031	BR
032	BR	032	BR	032	BR
033	BR	033	BR	033	BR
034	BR	034	BR	034	BR
035	BR	035	BR	035	BR
036	BR	036	BR	036	BR
037	BR	037	BR	037	BR
038	BR	038	BR	038	BR
039	BR	039	BR	039	BR
040	BR	040	BR	040	BR
041	BR	041	BR	041	BR
042	BR	042	BR	042	BR
043	BR	043	BR	043	BR
044	BR	044	BR	044	BR
045	BR	045	BR	045	BR
046	BR	046	BR	046	BR
047	BR	047	BR	047	BR
048	BR	048	BR	048	BR
049	BR	049	BR	049	BR
050	BR	050	BR	050	BR

UNIT XX WINDOW SCHEDULE

UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE
001	DR	001	DR	001	DR
002	BR	002	BR	002	BR
003	BR	003	BR	003	BR
004	BR	004	BR	004	BR
005	BR	005	BR	005	BR
006	BR	006	BR	006	BR
007	BR	007	BR	007	BR
008	BR	008	BR	008	BR
009	BR	009	BR	009	BR
010	BR	010	BR	010	BR
011	BR	011	BR	011	BR
012	BR	012	BR	012	BR
013	BR	013	BR	013	BR
014	BR	014	BR	014	BR
015	BR	015	BR	015	BR
016	BR	016	BR	016	BR
017	BR	017	BR	017	BR
018	BR	018	BR	018	BR
019	BR	019	BR	019	BR
020	BR	020	BR	020	BR
021	BR	021	BR	021	BR
022	BR	022	BR	022	BR
023	BR	023	BR	023	BR
024	BR	024	BR	024	BR
025	BR	025	BR	025	BR
026	BR	026	BR	026	BR
027	BR	027	BR	027	BR
028	BR	028	BR	028	BR
029	BR	029	BR	029	BR
030	BR	030	BR	030	BR
031	BR	031	BR	031	BR
032	BR	032	BR	032	BR
033	BR	033	BR	033	BR
034	BR	034	BR	034	BR
035	BR	035	BR	035	BR
036	BR	036	BR	036	BR
037	BR	037	BR	037	BR
038	BR	038	BR	038	BR
039	BR	039	BR	039	BR
040	BR	040	BR	040	BR
041	BR	041	BR	041	BR
042	BR	042	BR	042	BR
043	BR	043	BR	043	BR
044	BR	044	BR	044	BR
045	BR	045	BR	045	BR
046	BR	046	BR	046	BR
047	BR	047	BR	047	BR
048	BR	048	BR	048	BR
049	BR	049	BR	049	BR
050	BR	050	BR	050	BR

UNIT XX DOOR SCHEDULE

UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE	UNIT NO.	UNIT TYPE
001	DR	001	DR	001	DR
002	BR	002	BR	002	BR
003	BR	003	BR	003	BR
004	BR	004	BR	004	BR
005	BR	005	BR	005	BR
006	BR	006	BR	006	BR
007	BR	007	BR	007	BR
008	BR	008	BR	008	BR
009	BR	009	BR	009	BR
010	BR	010	BR	010	BR
011	BR	011	BR	011	BR</

CITY OF HOUSTON

Building Code Enforcement

21080224

S.F. RES W/ATT.
GARAGE (1-2-5-R3-B)
12 IRC/15 IECC

COH Project Number

APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.

Daniel Storer 12/2/2022

Structural

APPROVED

Traffic Design

Alexander Varela
4/20/2022

Traffic

APPROVED
STORM DRAINAGE

Stormwater runoff shall not cross property line. The construction of the proposed improvements shall not cause the capacity of any part of the existing C.O.H storm system to be exceeded. Responsibility for any impact on the C.O.H system lies with the designer of proposed project.

Joshua Thomas 12/12/2022

STORM FORM LOG #: n/a

Storm

Electrical

Mechanical

Plumbing

RECOMMENDED APPROVAL
PLANNING AND
DEVELOPMENT DEPARTMENT

DEVELOPMENT SERVICES

Jenny Lai 5/9/2022

LANDSCAPING REQUIRED

Planning

APPROVED

PUBLIC WORKS & ENGINEERING
UTILITY ANALYSIS SECTION

Nhut Nguyen 12/1/2022

Utility Analysis

Airport (HAS)

Flood

Health

Health/Pools

Fire Marshal

High Pile/HazMat

LPG Tank

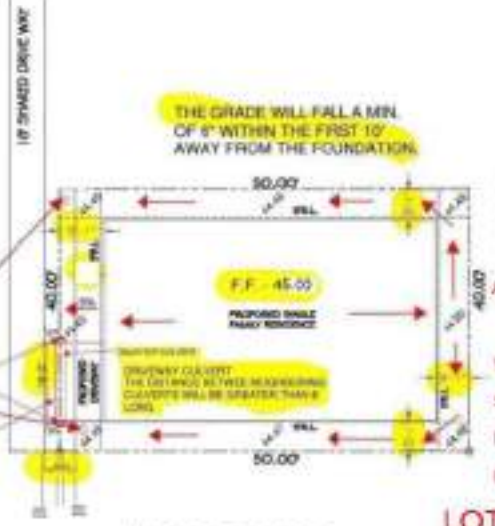
Sprinkler

THIS PROJECT WILL COMPLY WITH THE FOLLOWING CODES AS THEY APPLY:
 202-BC WITH CITY OF HOUSTON AMENDMENTS AS PER SEC 101.5
 2007 CITY OF HOUSTON CODE WORDS
 2007 LMC - UNIFORM MECHANICAL CODE
 2007 LFC - UNIFORM PLUMBING CODE
 2007 NBC - NATIONAL ELECTRICAL CODE (STATE ADOPTED) EFFECTIVE SEPTEMBER 18, 2017
 2005 ICC SUBJECTS AS APPEARED IN 1 ENERGY CODE PURSUANT TO 1990-IF SUB-CHAP C, CHF, 15, TITLE 34, TEXAS ADMINISTRATIVE CODE
 2002 IFC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD-COSMETICS/HEALTH CODE

REVISIONS LISTED IN THE PROPOSED PLAN IS IN THE PROPOSED PLAN'S AREA ONLY. ALL DIMENSIONS UNLESS OTHERWISE NOTED.

NO.	DATE	BY	DESCRIPTION
1	12/1/2022	MM	ISSUED FOR PERMIT
2	12/1/2022	MM	ISSUED FOR PERMIT
3	12/1/2022	MM	ISSUED FOR PERMIT
4	12/1/2022	MM	ISSUED FOR PERMIT
5	12/1/2022	MM	ISSUED FOR PERMIT

PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK



BFE - 39.00
 FIRM PANEL - 48201C08X6
 FLOW DIRECTION

Approved Only for Water/Sewer Point of Connection

WATER P.O.C. 8" in MAGGIE ST

SEWER P.O.C. 8" in MAGGIE ST

Project No: 21080195

By: Nhat Nguyen 12/1/2022

GENERAL NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



**LOT3 BLOCQ 1
 CHERRY
 ESTATES @
 MAGGIE STREET**

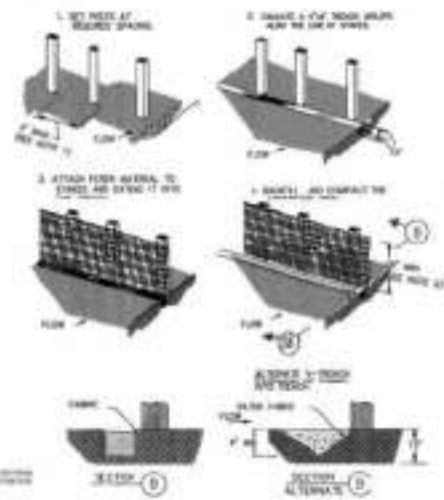


LEGEND

SYMBOL	KEY	QTY	SCIENTIFIC NAME
	0	1	oak
	0	1	oak
	0	1	oak

1. PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK
2. PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK

- NOTES**
1. THE PROPOSED LOT 3 BLOCQ 1 CHERRY ESTATES @ MAGGIE STREET IS SUBJECT TO THE CITY OF HOUSTON'S ZONING ORDINANCES AND REGULATIONS.
 2. THE PROPOSED LOT 3 BLOCQ 1 CHERRY ESTATES @ MAGGIE STREET IS SUBJECT TO THE CITY OF HOUSTON'S ZONING ORDINANCES AND REGULATIONS.
 3. THE PROPOSED LOT 3 BLOCQ 1 CHERRY ESTATES @ MAGGIE STREET IS SUBJECT TO THE CITY OF HOUSTON'S ZONING ORDINANCES AND REGULATIONS.
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 10. THE PROPOSED LOT 3 BLOCQ 1 CHERRY ESTATES @ MAGGIE STREET IS SUBJECT TO THE CITY OF HOUSTON'S ZONING ORDINANCES AND REGULATIONS.



- CONSTRUCTION NOTES**
1. SET BACK BY 8 INCHES FROM CURB TO SET AT BASELINE OF A KEY AND GRASSY A 8" x 8" HOLES BY PROVISIONS WITH SUPPORTING IS USED. SPACING OF HOLES MUST BE INCREASED TO 8 FEET LONG.
 2. ATTACH TO 1/2" THICK TO WOODEN CURB. FIRM PANEL SHALL HAVE A MIN HEIGHT OF 3 INCHES AND MAX HEIGHT OF 24 INCHES ABOVE WOODEN CURB.
 3. SET BACK FROM CURB BY 8 INCHES. THE GRASSY AREA SHOULD BE INCREASED TO 8 FEET LONG.



PROPOSED RESOURCES FOR
 TRINITY CHURCH
 4819 AMALGAM STREET
 HOUSTON, TX 77056

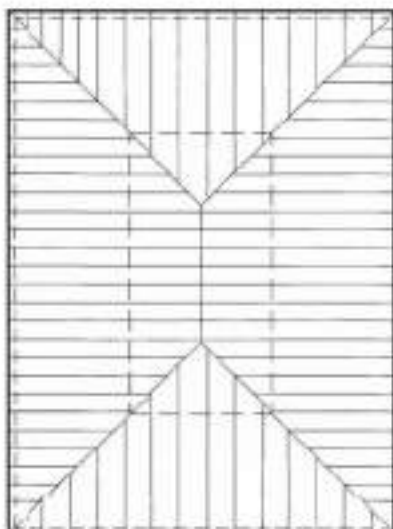
CS



21082008

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/2022



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

110 MILE PER HOUR WIND SPEED WITH A 3 SECOND GUST FACTOR



LARRY DEAVERS
74439
MECHANICAL
PROFESSIONAL ENGINEER
STATE OF TEXAS
DESIGNED AND DRAWN BY
Larry Deavers
FIRM# E-16777
03/24/2022

FRAMING NOTES: (UNLESS NOTED OTHERWISE, U.N.O.)

- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
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- | MEMBER TYPE | MEMBER SIZE | MEMBER GRADE |
|-------------|------------------|--------------|
| JOIST | 2" x 8" L24 S275 | A |
| RAFTER | 2" x 8" L24 S275 | A |
| CHORD | 2" x 8" L24 S275 | A |
| POST | 2" x 8" L24 S275 | A |
- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
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ATTIC VENTILATION

1. TOTAL NET FREE VENTILATION AREA SHALL BE 1% OF THE UNVENTILATED ATTIC SPACE.

2. TOTAL NET FREE VENTILATION AREA SHALL BE 1% OF THE UNVENTILATED ATTIC SPACE.

3. TOTAL NET FREE VENTILATION AREA SHALL BE 1% OF THE UNVENTILATED ATTIC SPACE.

ITEM	QTY
WOOD SHAKES	10
RAFTERS	10
JOISTS	10
POSTS	10
CHORDS	10
OTHER	10
TOTAL	10



- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
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PROPOSED INSURANCE FOR
LARRY DEAVERS
808 W. WOODS STREET
HOUSTON, TX 77007

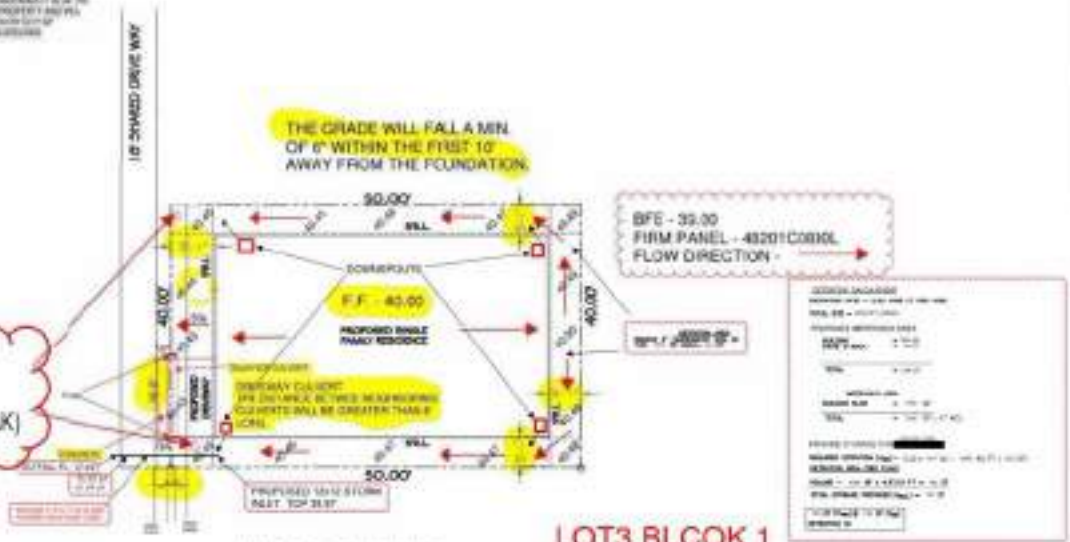
A3

THIS PROJECT WILL COMPLY WITH THE FOLLOWING CODES AS THEY APPLY:
 2012 IRC WITH CITY OF HOUSTON AMENDMENTS AS PER ORD. 16112
 2010 CITY OF HOUSTON CODE BOOKS
 2012 UMC - UNIFORM MECHANICAL CODE
 2012 UPC - UNIFORM PLUMBING CODE
 2011 NEC - NATIONAL ELECTRICAL CODE STATE MANDATE EFFECTIVE SEPTEMBER 18, 2017
 2015 EOC ON 213 ASHRAE 90.1 ENERGY CODE PLUMBING TO 2015 OF SUPPLEMENT 1, 2015, TITLE 24, TEXAS ADMINISTRATIVE CODE
 2012 IFC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD CREDENTIALS/HEALTH CODE

REVISIONS AND/OR THE PROPOSED WORK IS TO BE PROVIDED WITHIN 14 DAYS OF APPROVAL DATE

LOT #	LOT AC	LOT SQ FT	MAXIMUM COVERAGE	COVERAGE %
1	1.50	66,171	500	0.76
2	1.50	66,171	500	0.76
3	1.50	66,171	500	0.76
4	1.50	66,171	500	0.76
5	1.50	66,171	500	0.76

PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK



GENERAL NOTES

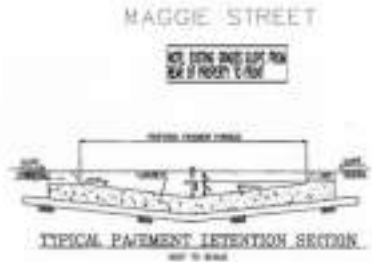
- ALL EXISTING WALLS TO REMAIN FOR ALL EXISTING FOUNDATIONS AND FOUNDATION WALLS.
- CONCRETE SHALL HAVE ALL DIMENSIONS EXCEPT WHERE SHOWN OTHERWISE.
- ALL CONCRETE SHALL BE 4000 PSI STRENGTH WITH 4% STEEL REINFORCEMENT UNLESS OTHERWISE SHOWN.
- ALL EXISTING FOUNDATIONS SHALL BE EXAMINED AND FOUNDATIONS SHALL BE REPAIRED OR REPLACED AS NECESSARY TO SUPPORT THE PROPOSED FOUNDATION.
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LEGEND

1-4-0 1000 001 002 003

SYMBOL	KEY	QTY.	SCIENTIFIC NAME
	0	1	QOAK
	0	1	SPIN
	0	1	SPIN

- THE PROPOSED WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- THE PROPOSED WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- THE PROPOSED WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.



LOT 3 BLOC 1



- NOTES**
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CONSTRUCTION NOTES

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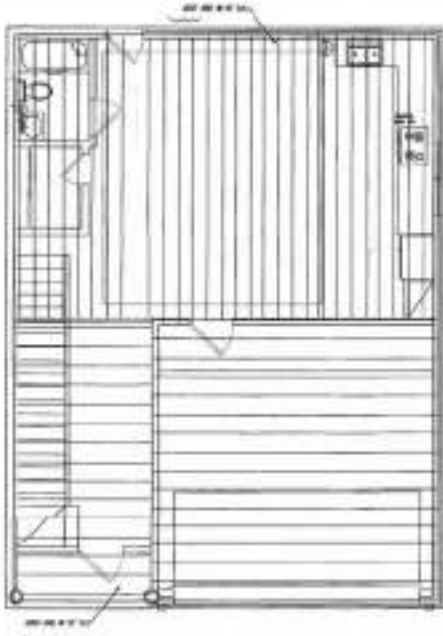
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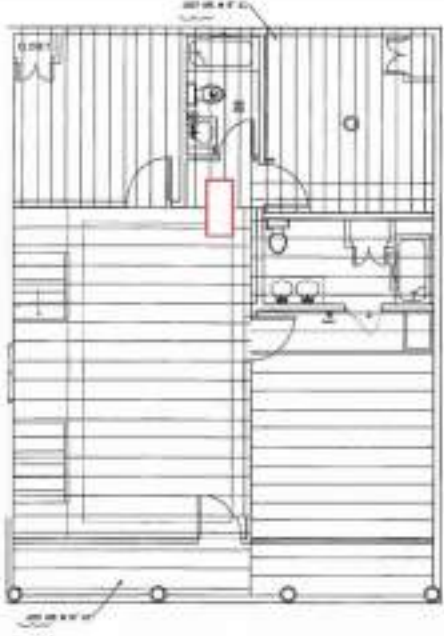


2108085

REVIEWED FOR COMPLIANCE
Performance of this review does not constitute an endorsement or approval of the work shown on this drawing.



1 CEILING FRAMING FIRST FLOOR PLAN I
SCALE: 1/4" = 1'-0"



2 CEILING FRAMING SECOND FLOOR PLAN II
SCALE: 1/4" = 1'-0"

TRUSS FRAMING NOTES:

- ALL LAMINATED WOOD TRUSSES SHALL HAVE AN ALLOWABLE BENDING STRESS OF 1750 PSI, ADJUSTED TO MEET REQUIREMENTS OF ASHRAE 90.1 (2004-64) (2) EXCEPT FOR TRUSSING.
- MEMBER END BRACES SHALL BE DESIGNED FOR LOADS AS FOLLOWS:
 - DOWN AND UPWARD ON ALL TRUSSES MUST MEET WITH NATIONAL DESIGN SPECIFICATION FOR STEEL DECK JOINTS AND ITS REQUIREMENTS BY NATIONAL FIREPROOFING ASSOCIATION (LATEST REVISION) TOWER CONSTRUCTION (LATEST REVISION) AND DESIGN SPECIFICATIONS FOR LOW ALLOY STEEL PLATE CONNECTED WOOD TRUSSES BY TRUSS PLATE INSTITUTE (LATEST REVISION).
 - TRUSS MANUFACTURER SHALL SUPPLY LETTERS REFERENCE TO BUILDING INSPECTOR FOR APPROVAL BEFORE ERECTION OF TRUSSES.
 - ROOFING SHALL BE DESIGNED AND DETAIL FOR:
 - DEAD LOAD = 11 PSF
 - LIVE = 20 PSF
 - WIND LOAD = 10 MPH W/ 3 SEC DUCT
 - BE DESIGNED WITH THE 2004 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE LOCAL CODES.
 - NOTES:
 - TRUSSING AND TRUSSING IN GENERAL TO BE SPACED BY 24" WALLS AND PARTITIONS.
 - WELLS, TYPED PANELS, IF USED, TO BE 12" MAX. W/ 24" MAX. SPACING.
 - 10'-0" MIN. LENGTH OF WALL (TYP.)

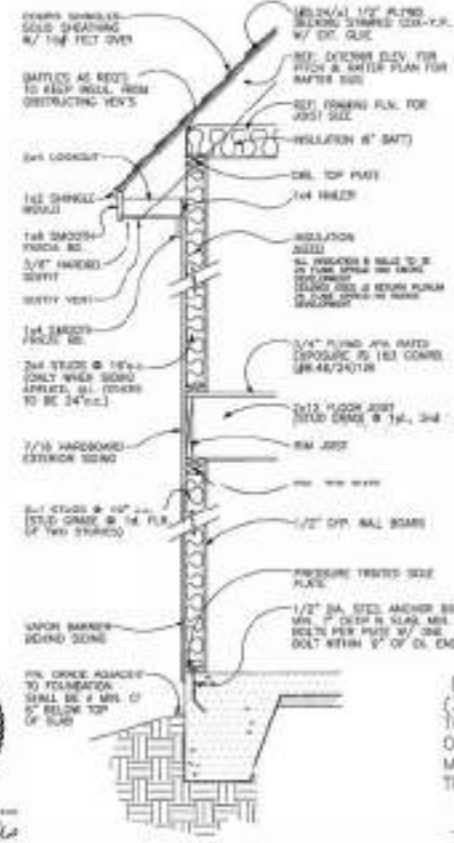
TRUSS DESIGN / INSTALLATION SPECIFICATIONS

- TRUSS SPACING IS 7'-0" O.C.
- TRUSS SIZE TO BE VERIFIED BY TRUSS MANUFACTURER.
- TRUSS BRACING BEHIND OR THROUGH WALL SHALL BE PROVIDED TO BE PROTECTED FOR DAMAGE.
- TRUSS BRACING SHALL INCLUDE: STUDS, SIDES AND CORNERS OF LAMBS AND CORNER PLATE SIZE AND DESIGNATION FOR EACH TRUSS TYPE.
- ALL LAMINATED WOOD IN ALL CONSTRUCTION SHALL BE SPECIES GRADO 2 AND QUALITY IN THE WOOD GRAIN.
- ALL CONNECTION PLATE SHALL BE STAMPED FROM 1/4" OR 3/8" GRADE STEEL, A BALANCED STRUCTURAL STEEL.
- BEAM PLATE WITH PROTECTIVE ROOF FINISH TO BE PROVIDED IN THE WOOD JOINTS.
- TRUSSES SHALL BE FABRICATED IN ACCORDANCE WITH THE TRUSS DESIGN FROM ACCURATELY CUT WOOD MEMBERS CLAMPED IN SUBS. PROVIDED DURING ASSEMBLY TO MAINTAIN TRUSS STRENGTH AND UNIFORMITY IN CONNECTION WITH JOINTS.
- CONNECTION PLATES SHALL BE PROVIDED WITH TWO WOOD MEMBERS ON BOTH SIDES.
- IF THE TRUSS IS LAMINATED THE FULL PENETRATION OF THE WOOD JOINT SHALL BE PROVIDED WITH OVERLAP OF THE WOOD.
- TRUSSING OR WOOD MEMBERS IN ANY TRUSS MEMBER OR PART OF WOOD IS NOT ALLOWED.

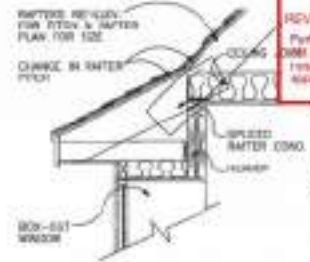
WIND SPEED WITH A 3 SECOND GUST FACTOR
110 MILE PER HOUR



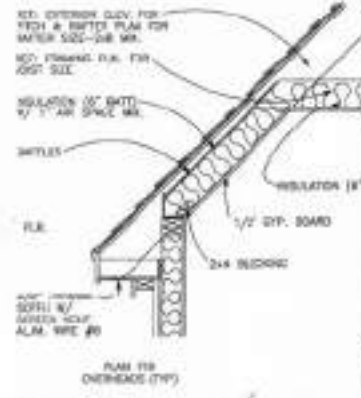
Larry Deavers
Professional Engineer
05/26/2023



WALL SECTION-EXTERIOR SIDING



FLARE-OUT SOFFIT DETAIL



RAISED CEILING



BEAM (see plan)
BRN-1000

TYPICAL COLUMN DETAIL

REVISIONS:
1. TRUSS BRACING FOR
4000 LBS. PER LINEAL FOOT
HOUSE ON 10' X 10'

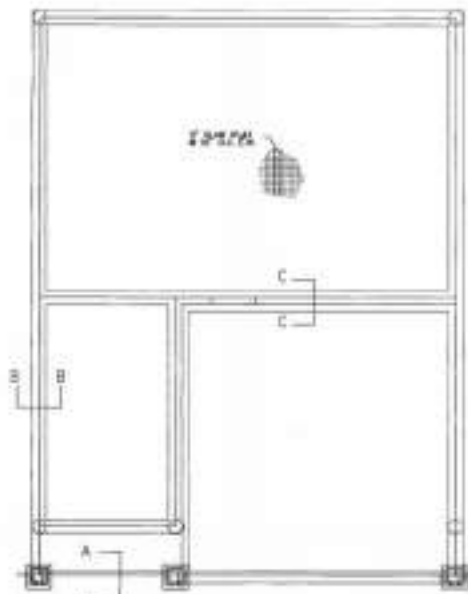
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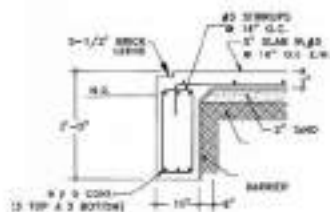
REVIEWED FOR COMPLIANCE

Permittees of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations. 12-1-2022

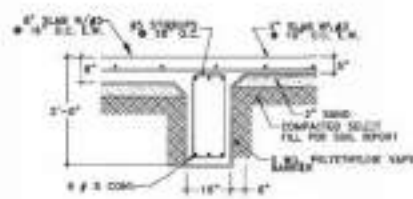


FOUNDATION PLAN

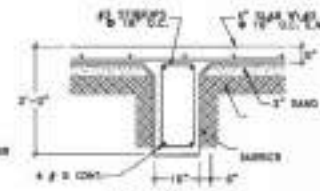
SCALE: 3/16" = 1'-0"



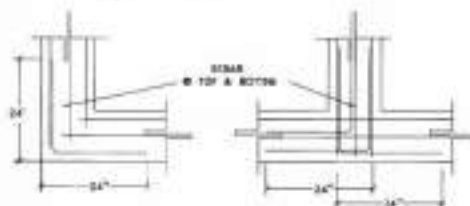
SECTION A-A



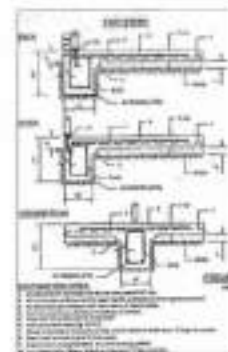
SECTION B-B



SECTION C-C



TYPICAL BAR PLACING DETAILS
● CORNER & INTERSECTION



Larry Deavers
PROFESSIONAL ENGINEER
F0834 P-1677
03/24/2022

GENERAL NOTES - CONCRETE

- VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECESS, LEDGES AND STOPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.
- NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.
- CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318 WITH LATEST REVISIONS.
- CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT.
- REINFORCING STEEL SHALL BE ASTM A601 GR60 AS WITH 4308 DIMENSIONS, DETAILS, FABRICATED AND INSTALLED PER ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," ALL-318, LATEST REVISION.
- WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A188.
- REINFORCING STEEL MINIMUM COVERED UNLESS NOTED ON PERMITS CHAIRS SHALL BE:
 - FOOTINGS 3" MIN., 5" BECS & 5" TOP
- CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.
- HOLES FOR DRILLED POSTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER CLEANING.
- PROVIDE CORNER BARS IN THE OUTSIDE FACE IF EXTERIOR GRADE BEAMS TO MATCH THE HORIZONTAL STEEL. AT ALL RE-ENTRANT CORNERS PLACE 2 - # 4 x 4'-0" IN THE SLAB.
- UNBORINGHOLED STUDIES OF OBSTRUCTIONS ENCOUNTERED SHALL BE REMOVED, RELIEVED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14. SAND DETAILS AS CONTINUOUS SHALL BE LAPPED 30 BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.
15. ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON BUILDING CODE, (THE LATEST EDITION OR UBC).
16. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 1,000.
17. SUBGRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT.
18. THE GENERAL CONTRACTOR SHALL EXAMINE THE THE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL NOTIFY AND RECEIVE PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES OR OTHER MATERIALS.
19. ALL SPIES GOING THROUGH EXTERIOR GRADE BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MID DEPTH OF GRADE BEAM.
20. DIST OF SLEEVES SHALL NOT EXCEED 1/3 OF PERALL THICKNESS OF GRADE BEAM. SPACES OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS IN CENTER.
21. THE CONTRACTOR SHALL NOT BE LIABLE FOR ANY FOUNDATION REVISION OR CHANGE FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
22. CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.

REFER ARCHITECTURAL PLANS FOR:
ALL DIMENSIONS NOT SHOWN
ALL DROPS NOT SHOWN
ALL PLUMBING FIXTURES NOT SHOWN
ALL ELECTRICAL STUBS NOT SHOWN
ALL DEEP VALVES NOT SHOWN

110 WLB PER HOUR
WIND SPEEDS WITH A 3 SECOND GUST FACTOR

PROPOSED RESIDENCE WITH
REINFORCING STEEL AND BRIDGE STREET
ADJACENT TO HWY 10

S1



21082088

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/19/22

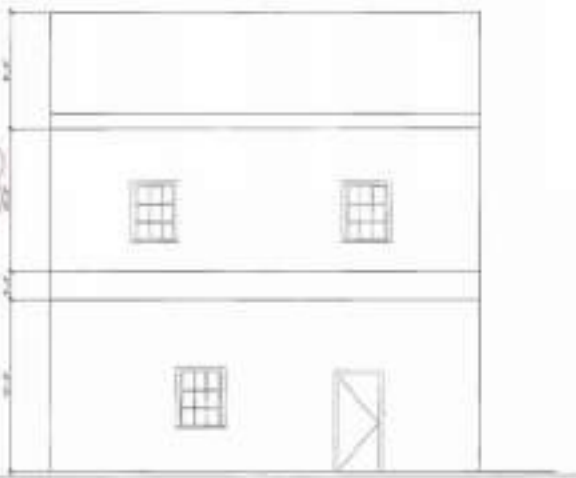


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

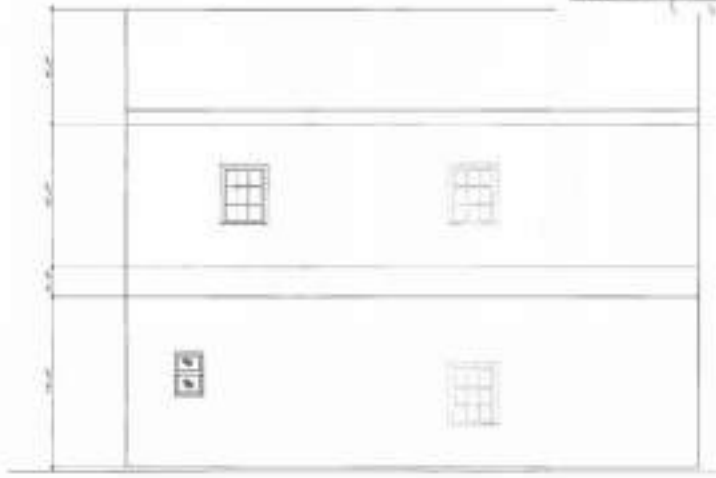
GUARD RAIL HEIGHT WILL BE 36"

ALL WOOD DECKS & WOOD FLOORING SHALL BE TYPICAL 2x4 JOIST WITH 1x6 SPACING @ 16" O.C. ALL DECKING SHALL BE 2x6 TYPICAL. ALL WOOD SHALL BE TYPICAL 2x4 JOIST WITH 1x6 SPACING @ 16" O.C. ALL WOOD SHALL BE TYPICAL 2x4 JOIST WITH 1x6 SPACING @ 16" O.C. ALL WOOD SHALL BE TYPICAL 2x4 JOIST WITH 1x6 SPACING @ 16" O.C.

WINDOWS			GLASS AND OTHER INFO
1 WINDOW	20'0" x 30'0"	GLASS PANEL	
2 WINDOW	4'0" x 6'0"	GLASS PANEL	
3 WINDOW	4'0" x 6'0"	GLASS PANEL	



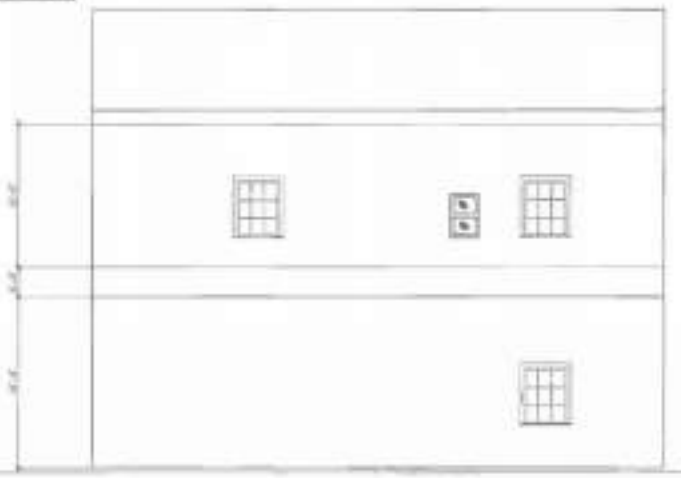
2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



Larry Deavers
74428
ARCHITECTURAL
FIRM NO. 1-34777
08/24/2022



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

PROPOSED RESIDENCE FOR
ANNE CLARY
AND MARCOSE CORREY
RESIDENTIAL EX-1049

DATE: 08/24/22
A2



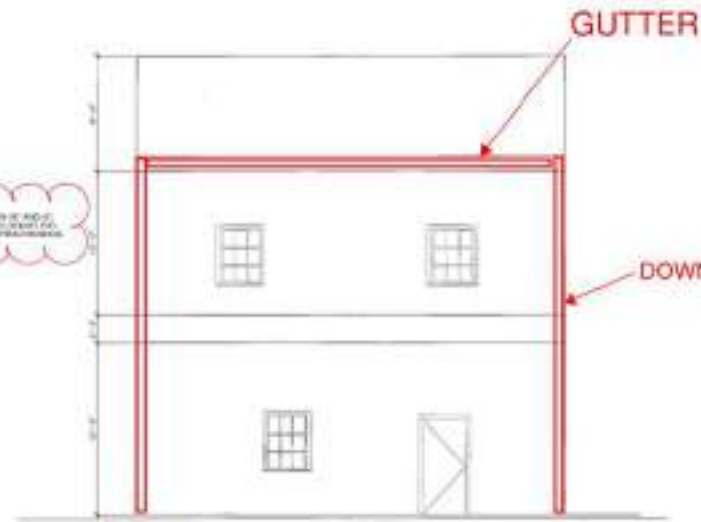
21082030

RENEWED FOR COMPLIANCE

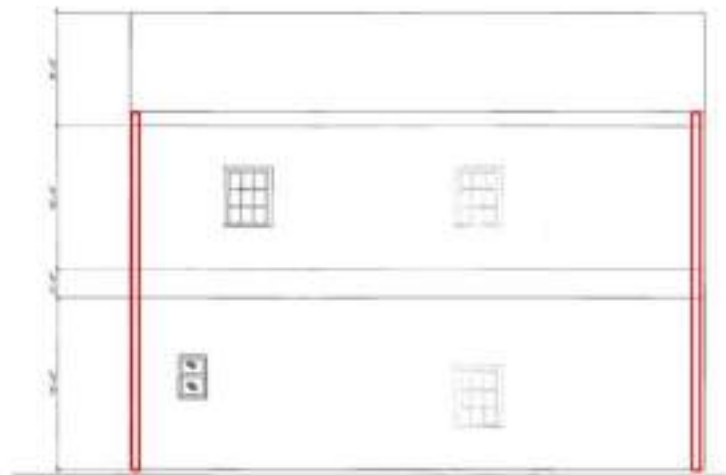
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/20



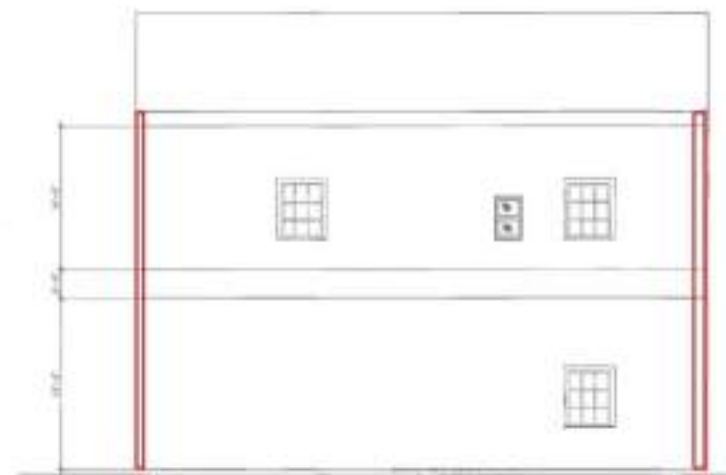
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

CLADDING FOR BRICKS TO BE USED AND BRICKS TO BE USED ARE TO BE SET WITHIN 1/2" OF EXTERIOR OF THE ROOF OF THE GARAGE. THE ROOF IS TO BE FULLY INSULATED TO MEET THE ENERGY CODE. THE GARAGE IS TO BE FULLY INSULATED TO MEET THE ENERGY CODE. THE GARAGE IS TO BE FULLY INSULATED TO MEET THE ENERGY CODE.

GUTTER

DOWNSPOUT

APPROVED FOR PERMITS FOR
REAR ELEVATION
401 W. MARSH STREET
HOUSTON, TX 77002

A2

1. ALL PROJECTS SHALL ADHERE WITH THE FOLLOWING CODES AS THEY APPLY:
 2012 DC WITH CITY OF HOUSTON AMENDMENTS AS PER SAC 101.2
 2017 CITY OF HOUSTON CODE BOOKS
 2012 IBC - UNIFORM BUILDING CODES
 2012 UPC - UNIFORM PLUMBING CODE
 2017 NEC - NATIONAL ELECTRICAL CODE (STATE WAREHOUSE EFFECTIVE SEPTEMBER 15, 2017)
 2015 ICC OR 2013 ASHRAE 90.1 ENERGY CODE
 PURSUANT TO 1940 OF SUB CHAPTER 104F, 16 TITLE 34, TEXAS ADMINISTRATIVE CODE
 2012 ICC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD, DRINK, & HEALTH
 www.hou.gov

LOT #	LOT AREA	APPROXIMATE TOTAL AREA	PERCENTAGE
1	1,000 SQ. FT.	1,000 SQ. FT.	100%
2	1,000 SQ. FT.	1,000 SQ. FT.	100%
3	1,000 SQ. FT.	1,000 SQ. FT.	100%
4	1,000 SQ. FT.	1,000 SQ. FT.	100%

INTERESTED PARTY IN THE PROPOSED PROJECT SHALL BE NOTIFIED BY E-MAIL AT LEAST 10 BUSINESS DAYS BEFORE THE MEETING.

GENERAL NOTES

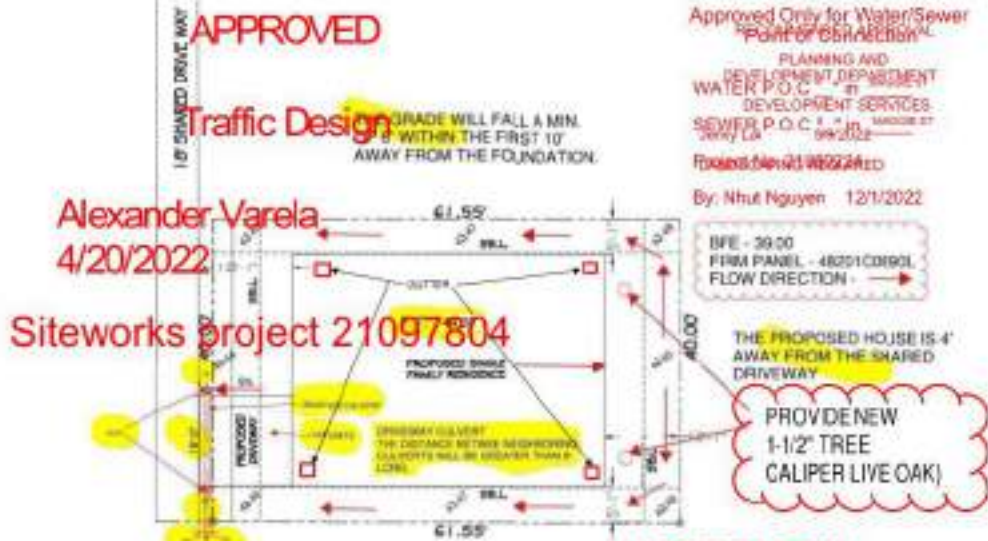
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
2. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
3. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
4. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
5. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
6. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
7. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.

LEGEND

1/4" = 1' SCALE (SEE PLAN)

PLANT SCHEDULE			
SYMBOL	KEY	QTY	SCIENTIFIC NAME
	0		0000
	0	1	0000
	0	1	0000

1. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
2. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.



Alexander Varela
 4/20/2022
Siteworks project 21097804

Approved Only for Water/Sewer
 "Point of Connection"
 PLANNING AND DEVELOPMENT DEPARTMENT
 WATER P.O.C. AT DEVELOPMENT SERVICES
 SEWER P.O.C. AT DEVELOPMENT SERVICES
 10000 Katy Rd, Suite 200
 Houston, TX 77054
 By: Nhu Nguyen 12/1/2022

BFE - 30.00
 FIRM PANEL - 48201C0001
 FLOW DIRECTION →

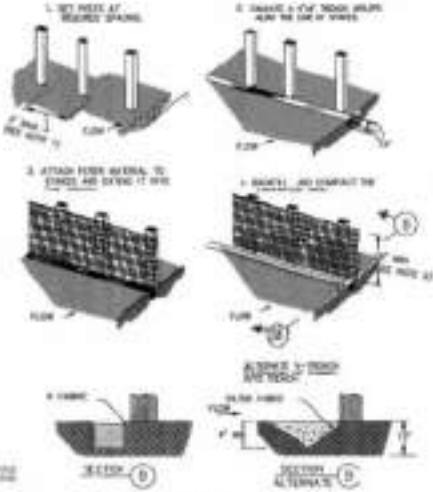
PROVIDE NEW 1-1/2" TREE CALIPER LIVE OAK

LOT 5 BLOCK 1



LEGEND

	PROPERTY LINE
	SEWER
	WATER



- CONSTRUCTION NOTES**
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
 2. THE PROPOSED WORK SHALL BE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.

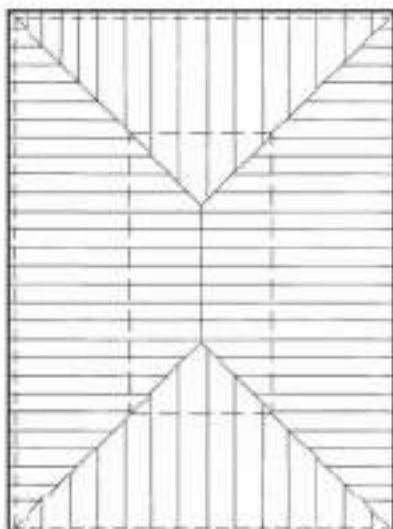
PROPOSED RESOURCES FOR TRIVETT CHARTER SCHOOL
 4819 ACADUZZO STREET
 HOUSTON, TX 77056



21082024

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/2022



ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

110 MILE PER HOUR WIND SPEED WITH A 3 SECOND GUST FACTOR

FRAMING NOTES: (UNLESS NOTED OTHERWISE, U.N.O.)

- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
 - ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
- | MEMBER SIZE | MEMBER SIZE | MEMBER SIZE |
|-------------|-------------|-------------|
| 2" x 8" | 2" x 8" | 2" x 8" |
| 2" x 10" | 2" x 10" | 2" x 10" |
| 2" x 12" | 2" x 12" | 2" x 12" |
| 2" x 14" | 2" x 14" | 2" x 14" |
| 2" x 16" | 2" x 16" | 2" x 16" |
- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.
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 - ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

ATTIC VENTILATION

1. TOTAL FREE AREA SHALL BE 1/30 OF THE TOTAL AREA OF THE ROOF.

2. TOTAL FREE AREA SHALL BE 1/30 OF THE TOTAL AREA OF THE ROOF.

3. TOTAL FREE AREA SHALL BE 1/30 OF THE TOTAL AREA OF THE ROOF.

ITEM	QTY
2" x 8" JOIST	10
2" x 10" RAFTER	10
2" x 12" RAFTER	10
2" x 14" RAFTER	10
2" x 16" RAFTER	10
2" x 18" RAFTER	10
2" x 20" RAFTER	10
2" x 22" RAFTER	10
2" x 24" RAFTER	10
2" x 26" RAFTER	10
2" x 28" RAFTER	10
2" x 30" RAFTER	10



LARRY DEAVERS
 ENGINEER
 FIRM# E-1677
 03/24/2022

ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

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- ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE. ALL JOIST AND RAFTER SPACING SHALL BE 16" O.C. UNLESS NOTED OTHERWISE.

PROPOSED RESIDENCE FOR
 TREVOR LAMBERT
 4814 W. MARQUEE STREET
 HOUSTON, TX 77051

A3



21082034

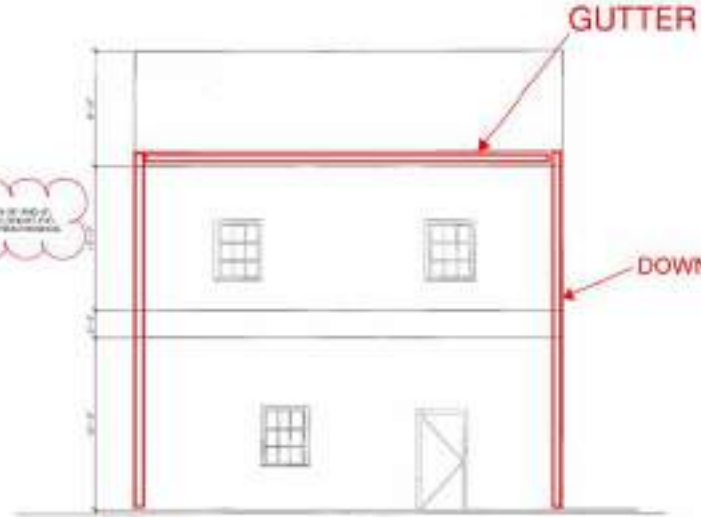
RENEWED FOR COMPLIANCE

Performance of this review does not constitute an approval from the City of Houston. The applicant is responsible for compliance with all applicable codes and regulations. 12/13/2022

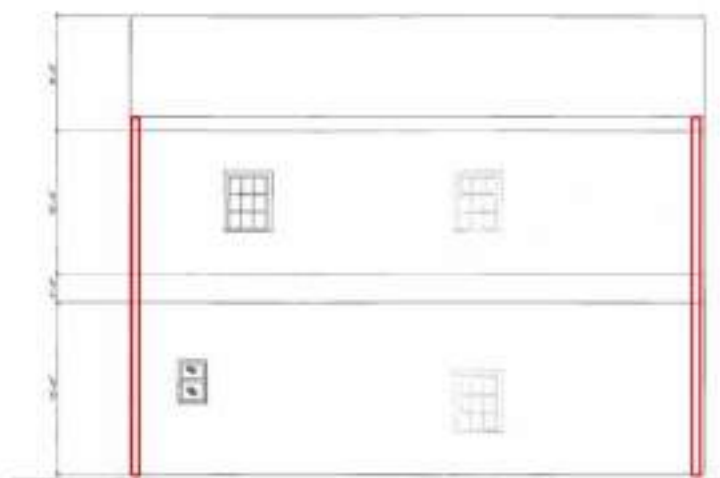


1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

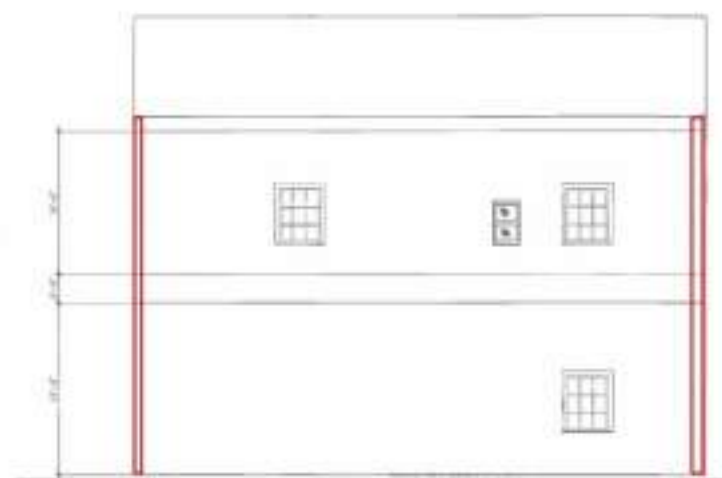
SPACE FOR BRACKETS TO BE USED AND BRACKETS SHOULD BE PLACED BETWEEN OR END OF SPACES OF THE AREA OF THE DRAWING ABOVE QUOTE. THE BRACKETS SHOULD BE PLACED AT THE END OF THE SPACES ABOVE QUOTE. THE BRACKETS SHOULD BE PLACED AT THE END OF THE SPACES ABOVE QUOTE.



2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED REVISION FOR
"REAR ELEVATION"
401 FRENCH STREET
HOUSTON, TX 77001

A2



THIS PROJECT WILL COMPLY WITH THE FOLLOWING CODES AS THEY APPLY:
 2012 BC WITH CITY OF HOUSTON AMENDMENTS AS PER SEC 101.2
 2010 CITY OF HOUSTON CODE BOOKS
 2012 UMC - UNIFORM MECHANICAL CODE
 2012 UPC - UNIFORM PLUMBING CODE
 2017 NEC - NATIONAL ELECTRICAL CODE (TYPE M) DATE EFFECTIVE SEPTEMBER 16, 2017
 2015 ECG OR 2013 ASHRAE 90.1 ENERGY CODE PURSUANT TO 153 OF SUB-CHAPTER 19, TITLE 34, TEXAS ADMINISTRATIVE CODE
 2012 IFC INTERNATIONAL FIRE CODE
 CITY OF HOUSTON FOOD DRAINAGE (HEALTH CODE)

LOT #	LOT AREA	PERMITS	STREET	STREET	STREET
1	1,000 SQ. FT.	200	100'	100'	100'
2	1,000 SQ. FT.	200	100'	100'	100'
3	1,000 SQ. FT.	200	100'	100'	100'
4	1,000 SQ. FT.	200	100'	100'	100'
5	1,000 SQ. FT.	200	100'	100'	100'

WATERMETER SHALL BE ON THE PROPOSED PROPERTY AND SHALL BE INSTALLED BY THE HOMEOWNER.

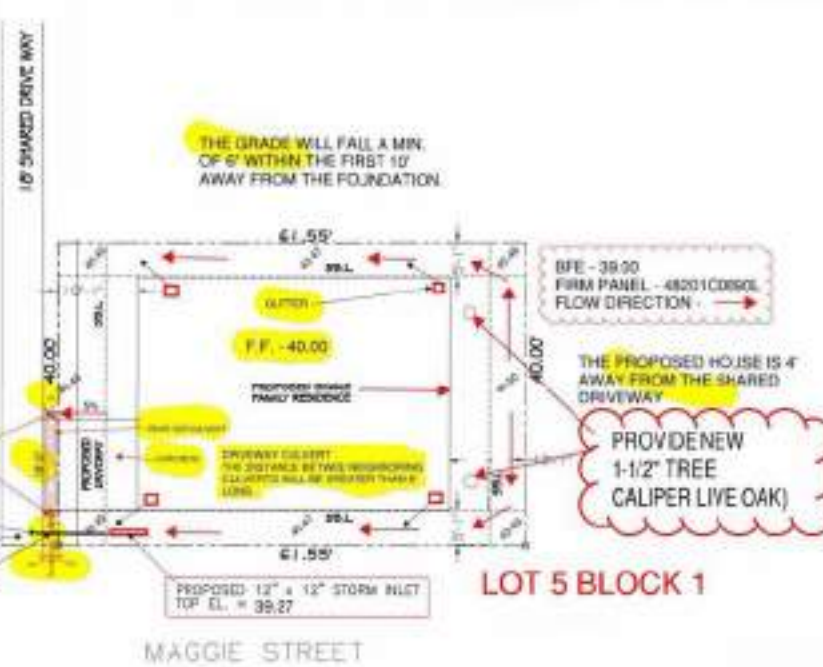
GENERAL NOTES

- ALL NEW WORK SHALL BE PERMITTED AND SHALL BE PERMITTED.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.
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- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF HOUSTON CODES AND ORDINANCES.

LEGEND:

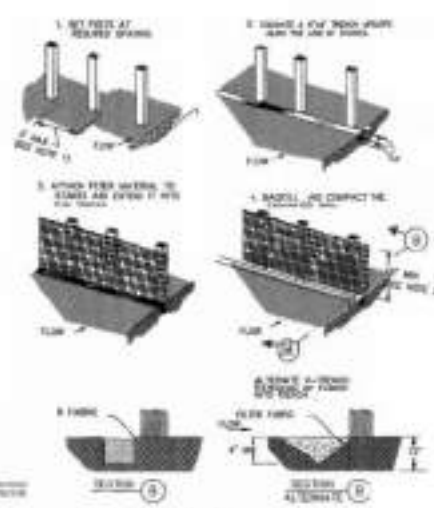
PLANT SCHEDULE			
SYMBOL	KEY	QTY.	SIGNIFICANT NAME
(Symbol)	Ø	1	PROVIDEN NEW 1-1/2" TREE CALIPER LIVE OAK
(Symbol)	Ø	1	PROVIDEN NEW 1-1/2" TREE CALIPER LIVE OAK
(Symbol)	Ø	1	PROVIDEN NEW 1-1/2" TREE CALIPER LIVE OAK

1. THE PROPOSED HOUSE IS 4' AWAY FROM THE SHARED DRIVEWAY.

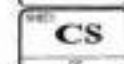


LEGEND

(Symbol)	PROPOSED HOUSE
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	PROPOSED STORM INLET
(Symbol)	PROPOSED UTILITY LINE



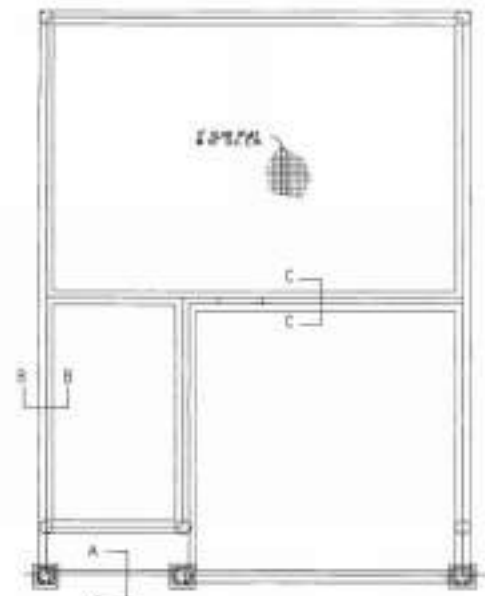
PROVIDEN RESIDENCE FOR TRAVIS CHERRY WITH MAGGIE STREET HOUSTON, TX 77001



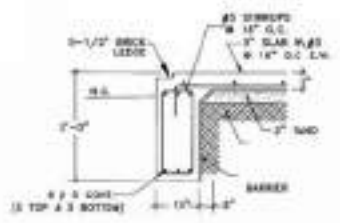


21080334

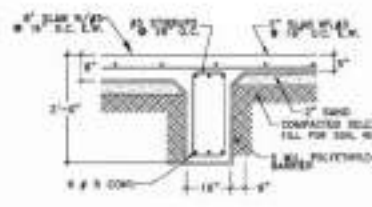
REVIEWED FOR COMPLIANCE
 Performance of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations.
 12/19/22



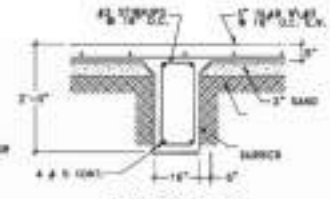
FOUNDATION PLAN
 SCALE: 3/16" = 1'-0"



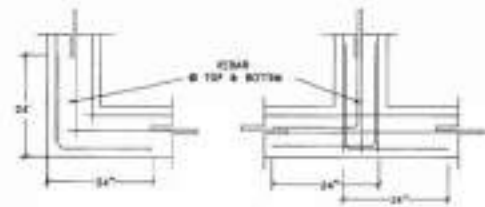
SECTION A-A
 @ WALL



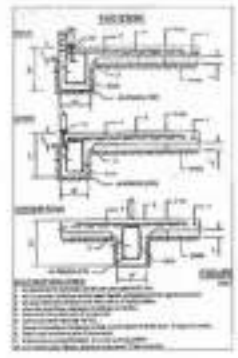
SECTION B-B
 @ WALL



SECTION C-C
 @ WALL



TYPICAL BAR PLACING DETAILS
 @ CORNER & INTERSECTION



Larry Deavers
 PROJECT ENGINEER
 FIRM# P-16777
 03/24/2022

GENERAL NOTES - CONCRETE

- VERIFY ALL DIMENSIONS AND ELEVATIONS OF RECES, LEDGES AND STEPS WITH ARCHITECTS BEFORE COMMENCEMENT OF FORM WORK.
- NO CONCRETE IS TO BE PLACED WITHOUT APPROVAL FROM ENGINEER OR ARCHITECT.
- CONCRETE SHALL NOT BE PLACED IN FREEZING OR RAINY WEATHER.
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 308 WITH LATEST REVISIONS.
- CRUSHED STONE AND GRAVEL CONCRETE SHALL HAVE MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- ALL CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINMENT.
- REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 WITH A305 CERTIFICATIONS, DETAILS, FABRICATED AND INSTALLED PER A311 "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCING CONCRETE," A311-115 LATEST REVISION.
- WELDED SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM-A185.
- REINFORCING STEEL MINIMUM COVERAGE UNLESS NOTED ON REBAR CHART SHALL BE:
 - FOOTINGS: 1" BOT., 2" SIDES & 3" TOP
- CHAMFER ALL EXPOSED EDGES 3/4" AT 45 DEGREES.
- HOLES FOR DRILLED FOOTINGS SHALL BE PLUMB AND FREE OF ALL LOOSE MATERIALS AND WATER. CONCRETE AND REINFORCING SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION.
- PROVIDE CORNER CHAIR IN THE OUTSIDE FACE OF EXTERIOR FRAME BEAMS TO WELD THE HORIZONTAL STEEL. AT ALL BE-ENTRANCE CORNERS PLACE 2 - # 4 x 4'-0" IN THE SLAB.
- UNDERGROUND UTILITIES OR OBSTRUCTIONS ENCOUNTERED SHALL BE MARKED, RELOCATED OR LEFT IN PLACE AS DIRECTED BY ENGINEER.

14. UNID DETAIL AS CONTIGUOUS SHALL BE LAPPED TO BAR DIAMETER AT SPLICES. THE SPLICES SHALL OCCUR AT MIDSPAN FOR TOP BARS AND OVER THE SUPPORTS FOR BOTTOM BARS.
15. ALL CONSTRUCTION SHALL CONFORM TO CURRENT CITY OF HOUSTON CODE (THE LATEST EDITION OR LATER).
16. FOOTING DESIGN BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 2,000.
17. SUBGRADE PREPARATION AND COMPACTION SHALL BE PER SOIL REPORT.
18. THE GENERAL CONTRACTOR SHALL LEAVE THE TIE MECHANICAL DRAWINGS FOR REQUIRED MECHANICAL WORK TO BE PLACED IN CONCRETE. THIS CONTRACTOR SHALL VERIFY AND OBTAIN PERMISSION FROM THE STRUCTURAL ENGINEER FOR THE PLACING OF SLEEVES, PIPES, OR OTHER MATERIALS.
19. ALL PIPES GOING THROUGH EXTERIOR BRACK BEAMS SHALL BE SLEEVED. ALL PIPES SHALL BE LOCATED AT MIN. DEPTH OF BRACK BEAM.
20. SIDE OF SLEEVES SHALL NOT EXCEED 1/3 OF OVERALL THICKNESS OF BRACK BEAM. SPACES OF SLEEVES SHALL NOT BE CLOSER THAN 3 DIAMETERS ON CENTER.
21. THE ENGINEER SHALL NOT BE LIABLE FOR ANY TOLERANCE REVISION OR CHANGES FROM THE ARCHITECTS, CONTRACTORS OR OWNERS WITHOUT WRITTEN APPROVAL FROM THE ENGINEER.
22. CURE ALL CONCRETE IMMEDIATELY AFTER FINISHING WITH APPROVED CHEMICAL CURING COMPOUND.

REFER ARCHITECTURAL PLANS FOR ALL DIMENSIONS NOT SHOWN
 ALL DIMENSIONS NOT SHOWN
 ALL PLUMBING TOILETS NOT SHOWN
 ALL ELECTRICAL TOILETS NOT SHOWN
 ALL DEEP VALLES NOT SHOWN

1 TO SCALE PER HOUR
 WIND SPEED WITH A 2 SECOND DURATION FACTOR

PROPOSED REVISIONS FOR
 TUDOR CHURCH
 401 MCMAHON STREET
 HOUSTON, TX 77001



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.

PLANS ARE IN COMPLIANCE WITH THE 2015 IECC

1. SHALL VERIFY ALL INFORMATION PROVIDED.
2. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
3. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
4. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
5. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
6. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
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13. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
14. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
15. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
16. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
17. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
18. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
19. I WILL REVIEW ALL PERMITS FOR THE PROJECT.
20. I WILL REVIEW ALL PERMITS FOR THE PROJECT.

NOTE:
A note explaining the details of the project.

WINDER TREADS:
WINDER TREADS - PD11.7.5.2.1 WINDER TREADS SHALL HAVE A TREAD DEPTH OF AT LEAST 10 AT THE WALKLINE AND SHALL NOT BE LESS THAN 6 AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR.

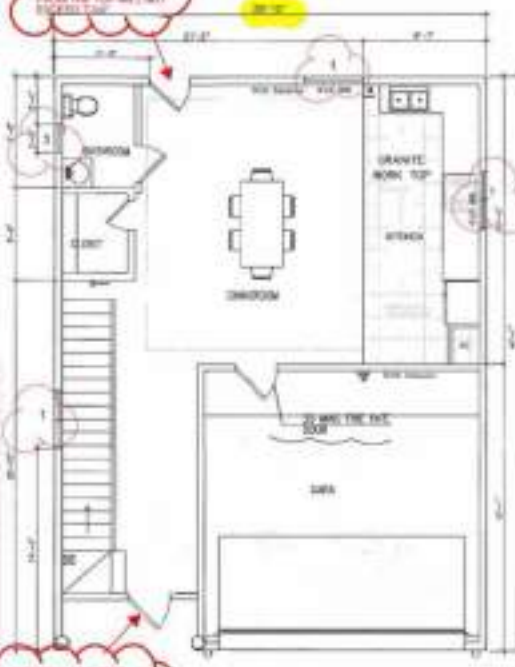
TABLE WITH 2 COLUMNS: ITEM, QUANTITY

TABLE WITH 2 COLUMNS: ITEM, QUANTITY

TABLE WITH 2 COLUMNS: ITEM, QUANTITY

LOADING THE DROP FROM THE TOP AND NOT EXCEED 1/4"

LOADING THE DROP FROM THE TOP AND NOT EXCEED 1/4"



FLOOR PLAN 1
SCALE 1/8" = 1'-0"

FLOOR PLAN 2
SCALE 1/8" = 1'-0"

REMODEL RESIDENC
PROJECT DESCRIPTION

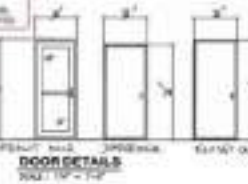
NO.	DESCRIPTION	QTY
1	...	...
2	...	...
3	...	...
4	...	...
5	...	...
6	...	...
7	...	...
8	...	...
9	...	...
10	...	...

LEGEND

- NEW WINDOW PARTIAL-GLAZED
- NEW WINDOW PARTIAL-GLAZED
- WINDOW GLAZED TO EXISTING TREAD
- WINDOW
- GL. WINDOW
- DOOR
- OR WINDOW

DRAWING INDEX

- 1-1 WINDOW PARTIAL-GLAZED
- 1-2 WINDOW PARTIAL-GLAZED
- 1-3 WINDOW PARTIAL-GLAZED
- 1-4 WINDOW PARTIAL-GLAZED
- 1-5 WINDOW PARTIAL-GLAZED
- 1-6 WINDOW PARTIAL-GLAZED
- 1-7 WINDOW PARTIAL-GLAZED
- 1-8 WINDOW PARTIAL-GLAZED
- 1-9 WINDOW PARTIAL-GLAZED
- 1-10 WINDOW PARTIAL-GLAZED



ROOM FINISH SCHEDULE / WINDOW SCHEDULE

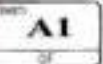
NO.	FINISH	DESCRIPTION	QTY
1
2
3
4
5
6
7
8
9
10

GENERAL NOTES

1. VERIFY ALL PERMITS FOR THE PROJECT.
2. VERIFY ALL PERMITS FOR THE PROJECT.
3. VERIFY ALL PERMITS FOR THE PROJECT.
4. VERIFY ALL PERMITS FOR THE PROJECT.
5. VERIFY ALL PERMITS FOR THE PROJECT.
6. VERIFY ALL PERMITS FOR THE PROJECT.
7. VERIFY ALL PERMITS FOR THE PROJECT.
8. VERIFY ALL PERMITS FOR THE PROJECT.
9. VERIFY ALL PERMITS FOR THE PROJECT.
10. VERIFY ALL PERMITS FOR THE PROJECT.

THE ATTACHED GARAGE WILL BE SEPARATED FROM THE STIC BY A MINIMUM OF 1" OF CYPRUS BOARD ON THE GARAGE SIDE. THE GARAGE CEILING MUST BE 1" ABOVE THE GARAGE FLOOR. THE GARAGE CEILING MUST BE 1" ABOVE THE GARAGE FLOOR. THE GARAGE CEILING MUST BE 1" ABOVE THE GARAGE FLOOR.

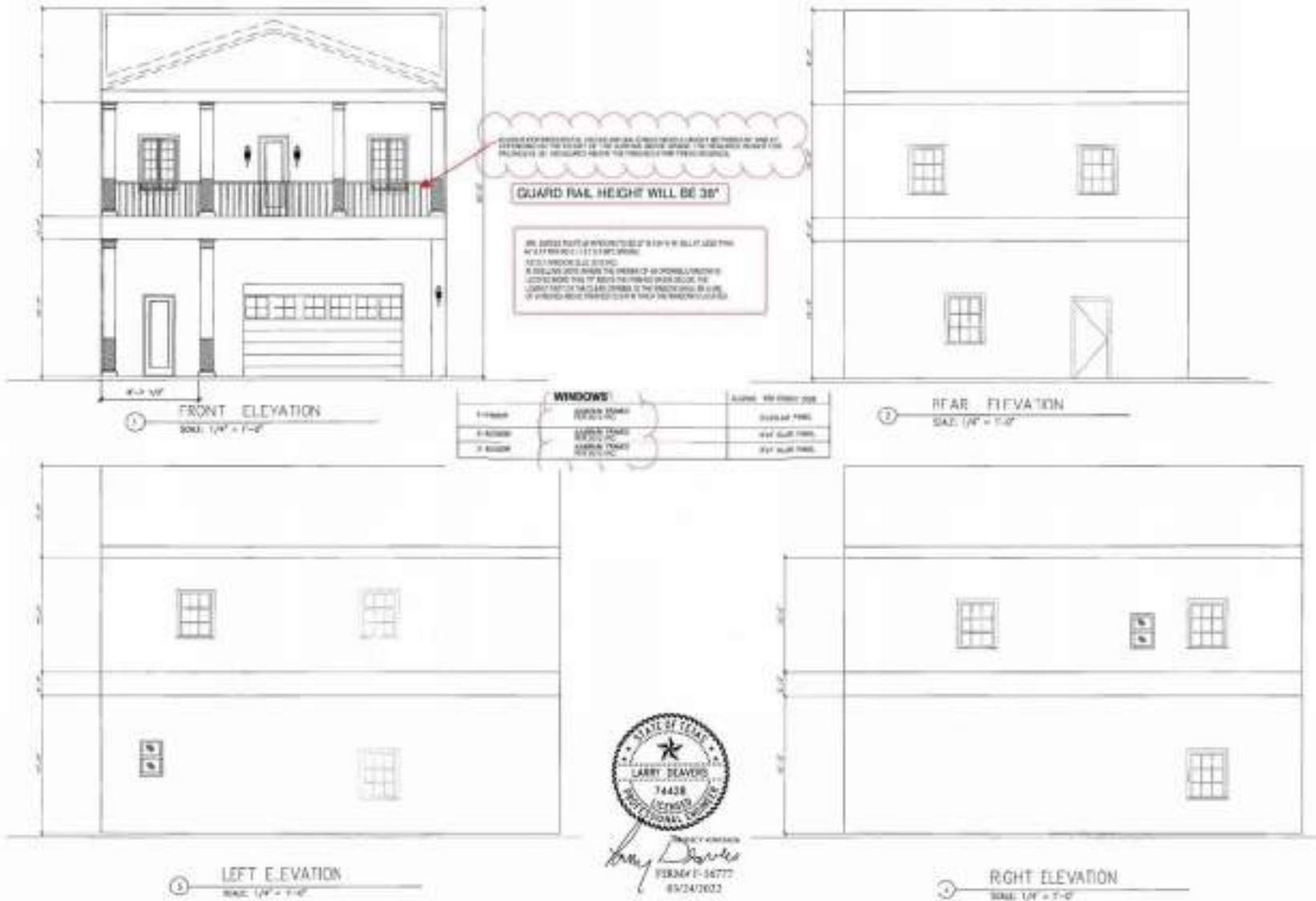
PROVIDED AS-BUILT WITH
1515 LAMAR STREET
HOUSTON, TX 77001





REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from its responsibility to comply with all applicable code and regulations. (1/13/22)



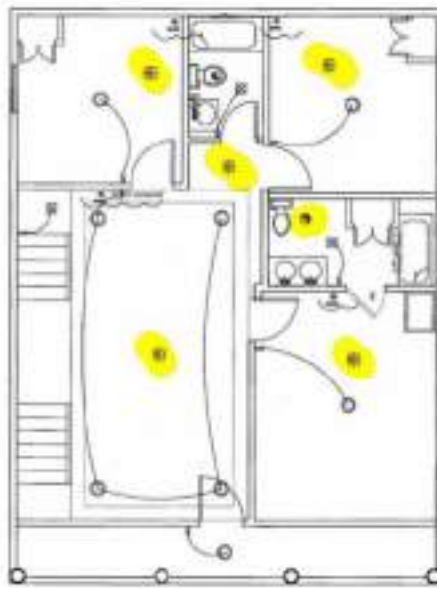
PROFESSIONAL SEAL FOR
LARRY WEAVER, ARCHITECT
STATE OF TEXAS
EXPIRES 08/31/2025



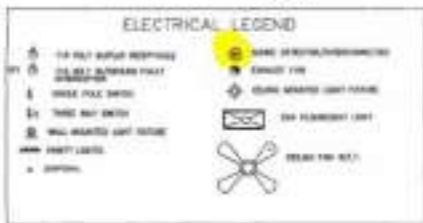
014882034

REVIEWED FOR COMPLIANCE

Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations. 12/13/22



ELECTRICAL PLAN
1st - 712



ELECTRICAL POWER GENERAL NOTES:

- 1. ALL BRANCH CIRCUITS SHALL HAVE A GROUNDING CONDUCTOR EQUIVALENT TO THE LARGEST BRANCH CIRCUIT. REFER TO ADDITIONAL PLANS FOR EXACT LAYOUT AND WIRING METHODS. OBSERVE AND CHECK FOR ALL WALL MOUNTED DEVICES INCLUDING ALL DATA AND PHONE DEVICES.
2. OBSERVE AND INSTALL 1-1/2" MINIMUM CLEARANCE FROM ALL WALLS, CEILING, OTHER WIRING AND ELECTRICAL CONTRACTOR SHALL GUARANTEE.
3. INSTALLATION OF ALL OTHER APPROVED AND SHOWN EQUIPMENT INCLUDING WIRING AND DEVICES SHALL BE DONE WITHOUT DAMAGE AND OTHER TRADES TO EXISTING EXCEPT NOTATIONS LOCATING AND IDENTIFY TRADESMANSHIP.
4. THE CONTRACTOR SHALL VERIFY THE EXISTING IS WORKING AND OPERATIONAL FROM WORKING OPERATIONAL INCLUDING ALL PANELS, DEVICES AND CIRCUITS.
5. APPROVED AND OBSERVE BEFORE, DISCONNECT FROM ALL EXISTING DEVICES AND WIRING. VERIFY WORKING WITH USER CHECKED AND VERIFY OPERATIONAL WITH USER. QUANTITY COORDINATED WITH USER.
6. ALL EXISTING MOUNTED RECEPTABLES SHALL BE RELOCATED TO BE MOUNTED WITH "DECK" RECEPTABLES. PLEASE SEE ADDITIONAL PLANS.

ELECTRICAL NOTES:

- ALLOW FOR ALL UNITS. 1-1
PROVIDE GFCI PROTECTION AS REQUIRED.
WALL MOUNTED DEVICES SHALL BE MOUNTED TO EXISTING WALLS IN ACCORDANCE WITH ALL APPLICABLE CODES.
DO NOT CONNECT TRAPS TO SYSTEMS.
DO NOT USE GAS PIPING FOR WIRING.
PROVIDE THE EQUIPMENT AT EACH FLOOR LEVEL.
PROVIDE THE WIRING METHOD FOR WIRING ALIENS.
COORDINATE WITH ALL OTHER TRADES AND CONTRACTORS.
REFER TO ALL OTHER PLANS FOR ALL FLOOR PLANS.
ALSO SEE ALL OTHER PLANS AND SPECIFICATIONS.

NOTE: CONTRACTOR TO VERIFY ALL ELECTRICAL REQUIREMENTS OF ALL APPLICABLE CODES AND REGULATIONS. CONTRACTOR SHALL PROVIDE ALL NECESSARY COMPONENTS REQUIRED FOR A COMPLETE SYSTEM.

PROPOSED REVISIONS FOR:
1. REVISION 1
407 FRENCH STREET
HOUSTON, TX 77001

E1

ROOM WINDOW SCHEDULE

ROOM NO.	FLOOR	AREA	FINISH	WALLS		FLOOR		CEILING		DOOR	WINDOW	GLASS	FINISH
				TYPE	THICKNESS	TYPE	THICKNESS	TYPE	THICKNESS				
0000	00	000	00	00	00	00	00	00	00	00	00	00	00
001	01	100	01	01	01	01	01	01	01	01	01	01	01
002	02	200	02	02	02	02	02	02	02	02	02	02	02
003	03	300	03	03	03	03	03	03	03	03	03	03	03
004	04	400	04	04	04	04	04	04	04	04	04	04	04
005	05	500	05	05	05	05	05	05	05	05	05	05	05
006	06	600	06	06	06	06	06	06	06	06	06	06	06
007	07	700	07	07	07	07	07	07	07	07	07	07	07
008	08	800	08	08	08	08	08	08	08	08	08	08	08
009	09	900	09	09	09	09	09	09	09	09	09	09	09
010	10	1000	10	10	10	10	10	10	10	10	10	10	10

UNIT XX WINDOW SCHEDULE

UNIT NO.	FLOOR	AREA	FINISH	WALLS	FLOOR	CEILING	DOOR	WINDOW	GLASS	FINISH
001	01	100	01	01	01	01	01	01	01	01

UNIT XX WINDOW SCHEDULE

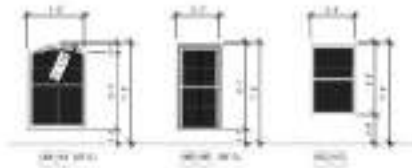
UNIT NO.	FLOOR	AREA	FINISH	WALLS	FLOOR	CEILING	DOOR	WINDOW	GLASS	FINISH
001	01	100	01	01	01	01	01	01	01	01

UNIT XX DOOR SCHEDULE

UNIT NO.	FLOOR	AREA	FINISH	WALLS	FLOOR	CEILING	DOOR	WINDOW	GLASS	FINISH
001	01	100	01	01	01	01	01	01	01	01

UNIT XX DOOR SCHEDULE

UNIT NO.	FLOOR	AREA	FINISH	WALLS	FLOOR	CEILING	DOOR	WINDOW	GLASS	FINISH
001	01	100	01	01	01	01	01	01	01	01



1. ESCAPE AND RESCUE WINDOWS - BASEMENTS AND BEDROOMS SHALL HAVE A DOOR OR OPERATIONAL WINDOW THAT OPENS TO A YARD OR COURT THAT LEADS TO THE RIGHT OF WAY THAT MEETS THE FOLLOWING MIN REQ - 24 MIN CLEAR OPENING HEIGHT, 20 MINIMUM CLEAR OPENING WIDTH, 5 SQ FT OF CLEAR OPENING FOR WINDOWS ON ALL OTHER FLOORS FINISHED STILL HEIGHT NOT MORE THAT 44 A.F.F.

2. WINDOW TYPES - 1P - 7.4



3. DOOR TYPES - 1P - 7.4

THE 4x4 WINDOWS IN THE BEDROOMS WILL BE OPERATIONAL WINDOWS FOR MIN. EGRESS REQUIREMENTS (DOUBLE HUNG, SINGLE HUNG, CASEMENT, ETC..)

ESCAPE AND RESCUE WINDOWS - BASEMENTS AND BEDROOMS SHALL HAVE A DOOR OR OPERATIONAL WINDOW THAT OPENS TO A YARD OR COURT THAT LEADS TO THE RIGHT OF WAY THAT MEETS THE FOLLOWING MIN REQ - 24 MIN CLEAR OPENING HEIGHT, 20 MINIMUM CLEAR OPENING WIDTH, 5 SQ FT OF CLEAR OPENING FOR WINDOWS ON ALL OTHER FLOORS FINISHED STILL HEIGHT NOT MORE THAT 44 A.F.F.

**TWO FAMILY DWELLING - R302.2 TABL3 R302.1(1)
 THE DWELLING WILL BE CONSTRUCTED AS A WALL OR FLOOR ASSEMBLY HAVING NOT LESS THAT A 1 HOUR FIRE RATING WHEN TESTED IN ACCORDANCE WITH ASTM E119 OR UL 263.**

PROPOSED RESIDENCE FOR
 TREVOR CHERRY
 4619 #C MAGGIE STREET
 HOUSTON, TX 77051

DATE	12/13/22
BY	XXXXXXXXXX
FOR	XXXXXXXXXX
SCALE	AS SHOWN
PROJECT	XXXXXXXXXX
NO.	A2.01

CITY OF HOUSTON

Building Code Enforcement

21080224

S.F. RES W/ATT.
GARAGE (1-2-5-R3-B)
12 IRC/15 IECC

COH Project Number

APPROVED
FOR BUILDING PERMIT ONLY
CITY OF HOUSTON
CODE ENFORCEMENT DIVISION

The owner is responsible for compliance with the Building Code. Such approved plans and specifications shall not be changed, modified or altered without authorization from the building official, and all work shall be done in accordance with the approved plans.

Daniel Storer 12/2/2022

Structural

APPROVED

Traffic Design

Alexander Varela
4/20/2022

Traffic

APPROVED
STORM DRAINAGE

Stormwater runoff shall not cross property line. The construction of the proposed improvements shall not cause the capacity of any part of the existing C.O.H storm system to be exceeded. Responsibility for any impact on the C.O.H system lies with the designer of proposed project.

Joshua Thomas 12/12/2022

STORM FORM LOG #: n/a

Storm

Electrical

Mechanical

Plumbing

RECOMMENDED APPROVAL
PLANNING AND
DEVELOPMENT DEPARTMENT

DEVELOPMENT SERVICES

Jenny Lai 5/9/2022

LANDSCAPING REQUIRED

Planning

APPROVED

PUBLIC WORKS & ENGINEERING
UTILITY ANALYSIS SECTION

Nhut Nguyen 12/1/2022

Utility Analysis

Airport (HAS)

Flood

Health

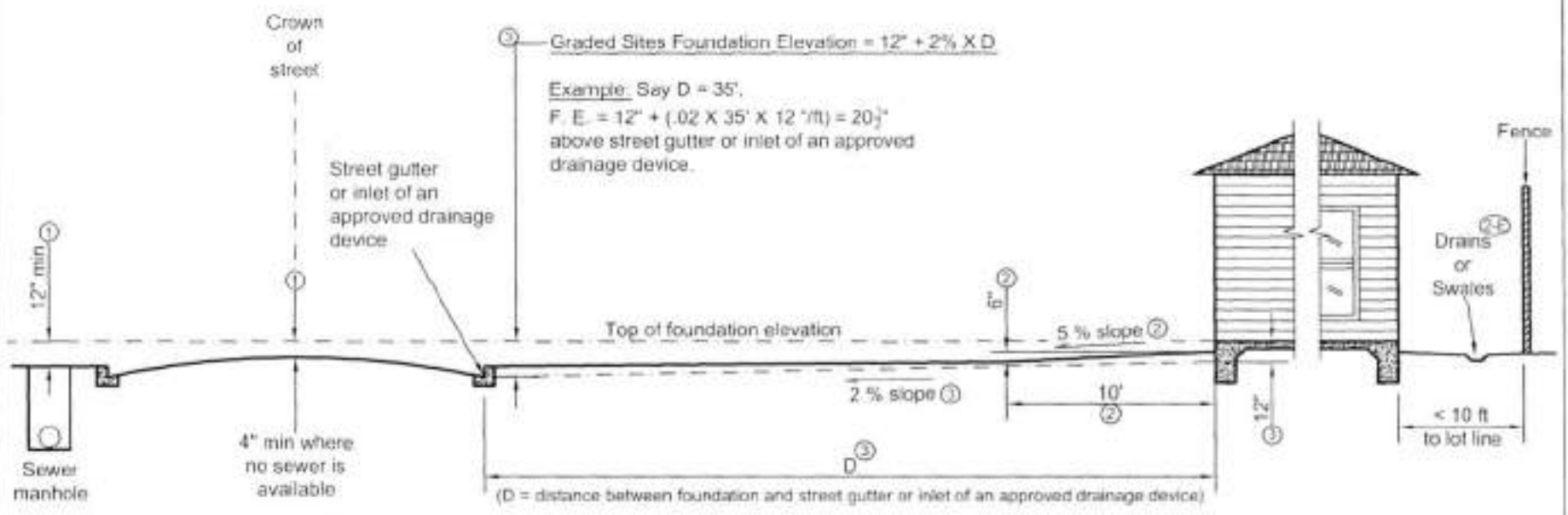
Health/Pools

Fire Marshal

High Pile/HazMat

LPG Tank

Sprinkler

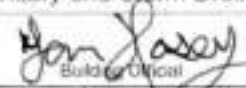


Notes:

- ① (R401.5) All new buildings constructed within this jurisdiction shall have the finished floor of the building not less than 12 inches above the nearest sanitary sewer manhole rim, or, where no sewer is available, the finished floor shall not be less than 4 inches above the crown of the street.
- ② (R401.3) Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first ten feet.
- ②-E Exception. Where lots lines, walls, slopes or other physical barriers prohibit 6" of fall within 10 feet, drains or swales shall be constructed to ensure drainage away from the structure. Impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.
- ③ (R403.1.7.3) On graded sites, the top of any exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved drainage device a minimum of 12 inches plus 2 percent.

CITY OF HOUSTON
 Department of Public Works and Engineering

**Residential Foundation Elevation
 for Sanitary and Storm Drainage.**

Approved by: 
 Build Official

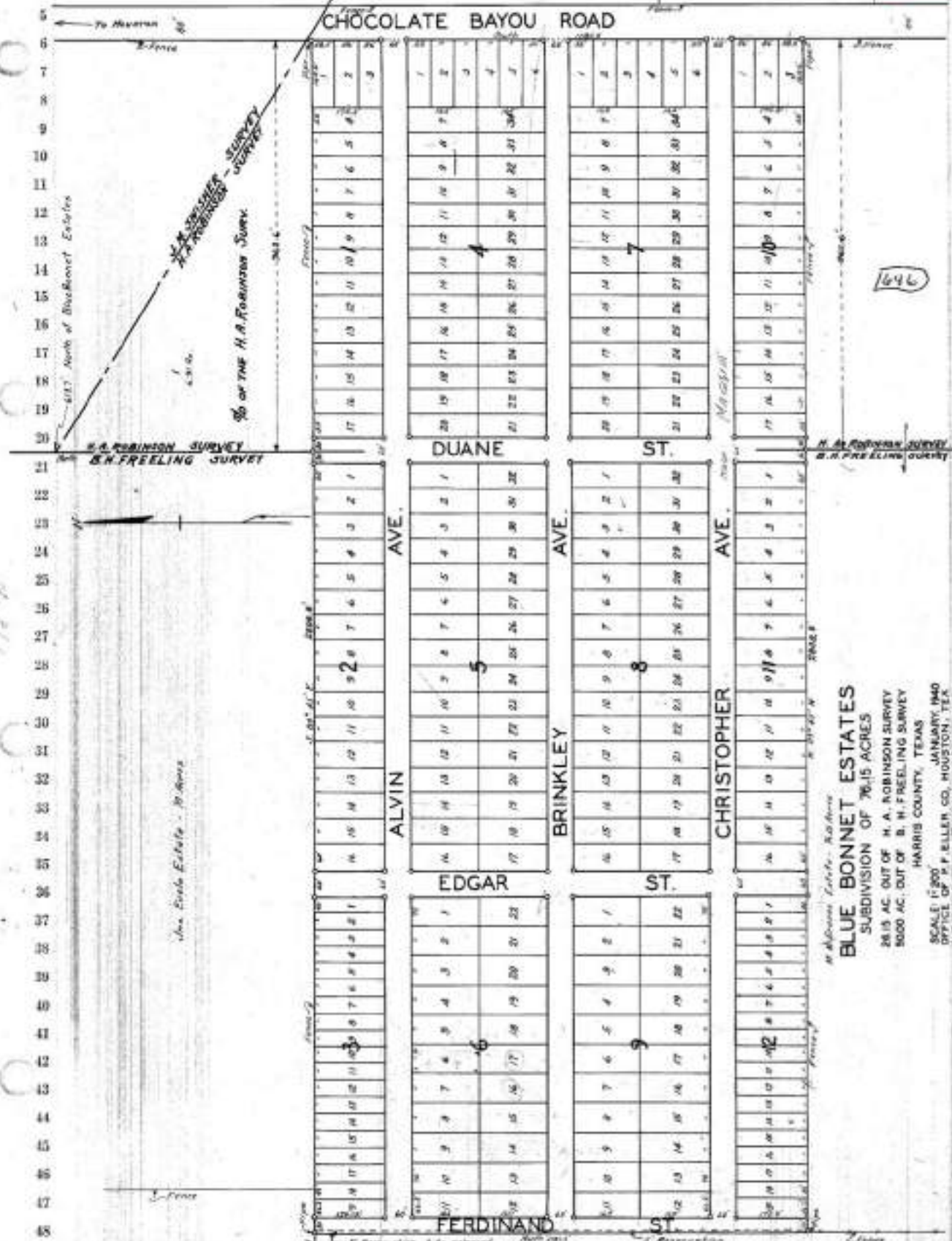
Date: 4 / 18 / 12 Dwg No: 12-01-R 1 of 1



161-998-713

No. 294135
 To
 Dedication & Map
 50% of THE H. A. ROBINSON SURVEY

National Realty Sales Co.,
 By Vice Pres.



646

BLUE BONNET ESTATES
 SUBDIVISION OF 76.15 ACRES
 26.15 AC. OUT OF H. A. ROBINSON SURVEY
 50.00 AC. OUT OF B. H. FREELING SURVEY
 HARRIS COUNTY, TEXAS
 SCALE 1"=200'
 OFFICE OF P. F. ELLER, CO. HOUSTON, TEX.

This plat is a true and correct copy of the original as filed in the office of the County Clerk of Harris County, Texas, on this 15th day of January, 1940.



21080234

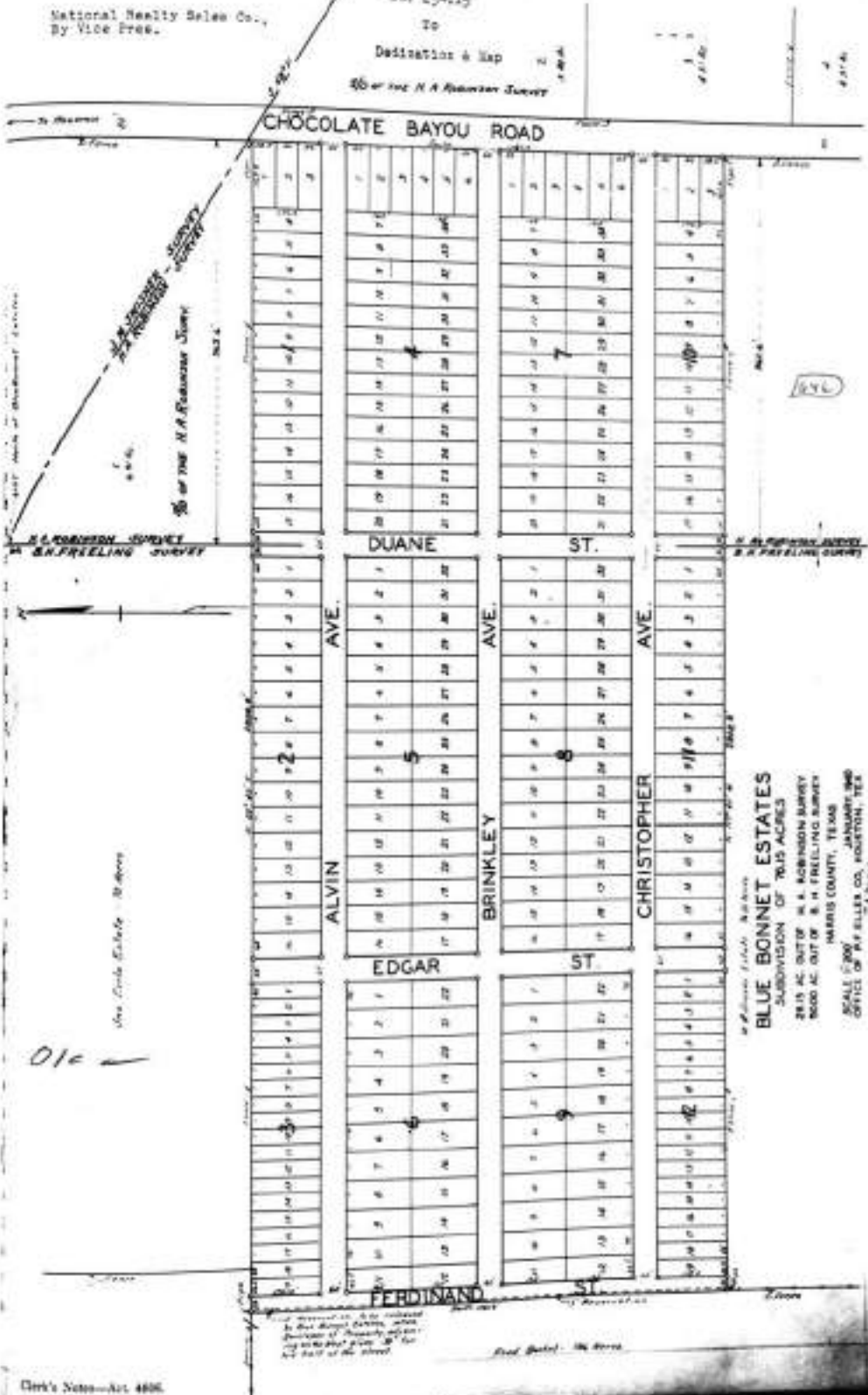
REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable codes and regulations.

713

Vol-997-713

National Realty Sales Co.,
By Vice Pres.

No. 254115
To
Destination & Exp
for the N.A. Robinson Survey



BLUE BONNET ESTATES
SUBDIVISION OF 76.15 ACRES
2815 AC OUT OF N.A. ROBINSON SURVEY
8000 AC OUT OF S.H. FREELING SURVEY
HARRIS COUNTY, TEXAS
SCALE 1"=200' JANUARY, 1960
OFFICE OF R.F. KILPATRICK CO., HOUSTON, TEX

010



REVIEWED FOR COMPLIANCE
Performance of this review does not relieve the applicant from full responsibility to comply with all applicable code and regulations.
12/13/22

