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To: _____

From: **AMY BERNSTEIN / BERNSTEIN REALTY, INC.** (Broker)

Property Address: **9715 Greenwillow St, Houston, TX 77096**

Date: **September 4, 2022**

(1) Broker obtained the attached information, identified as **Inspection Report by Sunbelt Inspections, dated 8/30/22, 70 pages; Investigative Plumbing Report and Estimate by Herndon Muncy, INC, dated Continued... See Addendum Attached Information 1**,
from _____

(2) Broker has relied on the attached information and does not know and has no reason to know that the information is false or inaccurate except: **NA**

(3) **Broker does not warrant or guarantee the accuracy of the attached information. Do not rely on the attached information without verifying its accuracy.**

AMY BERNSTEIN / BERNSTEIN REALTY, INC.

Broker

By:  _____
DocuSigned by:
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Receipt of this notice is acknowledged by:

Signature _____ Date _____

Signature _____ Date _____

Jerry Brame TDA # 0844272

Inspection Report


Property Address:
9715 Greenwillow St
Houston TX 77096



Sunbelt Inspections

Jerry Brame 24113

PROPERTY INSPECTION REPORT FORM

	8/30/2022
Name of Client	Date of Inspection
9715 Greenwillow St, Houston, TX 77096	
Address of Inspected Property	
Jerry Brame	24113
Name of Inspector	TREC License #
Name of Sponsor (if applicable)	TREC License #

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

In Attendance:

Customer and their agent

Type of building:

Single Family (1 story)

Approximate age of building:

Over 50 Years

Temperature:

Over 65

Weather:

Partly Cloudy

Ground/Soil surface condition:

Damp

Rain in last 3 days:

Yes

Sq Ft: 1958

Year Built: 1957

Foundation: Slab on grade

Occupied: yes

Utilities On: yes

Who is ordering this inspection? : Buyer

Occupied : No
Attending : Buyer

Ratified contract? : Yes

City Water : City
City Sewer : City

Access options : SUPRA

Utilities On : Yes

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s):: Poured Concrete

Comments:

(1) There is some slab edge cracking. There is little to no deflection across the crack. This type of flexural crack is generally the result of seasonal variations in soil moisture causing the soils to shrink and/or swell exerting pressure on the foundation.

This type of crack is not structurally significant.



A. Item 1(Picture) There is some slab edge cracking.

(2) Elevation readings of the slab, with a zip level indicate evidence the slab is not level. This condition is not uncommon in slabs of this age. It is likely that the slab was poured out of level.

The visible portions of the foundation and slab appear to be functioning as intended. No signs of significant movement such as: significant slab edge cracks, excessive brick veneer and drywall cracking, abnormal door operation, unlevelled soffits or severely sloped floors. Therefore, it is my opinion that the foundation is adequately performing its intended function.

No foundation repairs are recommended at this time.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I	NI	NP	D
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B. Grading and Drainage

Comments:

(1) High soil conditions observed at front of home left side and right side. High soil conditions are conducive to wood destroying insects and should be avoided. I recommend a minimum six inch foundation side wall exposure around the entire perimeter of the foundation. High soil levels prevent a quality Termite inspection. Recommend correction.



B. Item 1(Picture) High soil conditions observed at front of home left side and right side.

(2) Drainage swales at rear and sides of home appears to have low spots. Water will most likely pool in the drainage swales and not drain normally towards the street. Possible remedies might include the installation of catch basins, or French Drains at low spots connected to underground drain pipe to the street.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



B. Item 2(Picture) Drainage swales at rear and sides of home appears to have low spots.

(3) An underground drainage system with catch basins and underground pipe has been installed to assist with drainage. I cannot determine the current effectiveness of this underground system.

(4) No gutters observed at on the structure. Gutters are recommended at all appropriate roof slopes to channel and direct rain water away from the structure and to promote foundation health.

C. Roof Covering Materials

Type(s) of Roof Covering: Architectural Asphalt Shingles

Viewed From: Walked roof

Roof Ventilation: Ridge vents, Soffit Vents

Comments:

The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof. Flashing and roof jacks need to be replaced. This roof covering is probably around 8 to 12 years old. This type of architectural style composition shingles typically lasts about 20 years in this climate. This roof is in need of replacement.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 1(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 2(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 3(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 4(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 5(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 6(Picture) The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 7(Picture) Flashing need to be replaced.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 8(Picture) Flashing need to be replaced.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 9(Picture) Flashing need to be replaced.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 10(Picture) Flashing need to be replaced.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 11(Picture) Old vents need to be removed.

D. Roof Structures and Attic

Roof Structure: Stick-built, 2 X 6 Rafters, 2 X 8 Rafters, Plywood, No Radiant Barrier, Wood slats

Attic Viewed From: Adequate Walkways and Service Platforms

Attic Insulation: Vermiculite

Approximate Average Depth of Insulation: less than 6 inches

Comments:

(1) The attic access material is not fire rated. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 1(Picture) The attic access material is not fire rated. Recommend correction.

(2) The area of the front door porch has a sag. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 2(Picture) The area of the front door porch has a sag. Recommend correction.

(3) The strong back bracing over the garage has a crack or has been cut. Recommend having a contractor to evaluate.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 3(Picture) The strong back bracing over the garage has a crack or has been cut. Recommend having a contractor to evaluate.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 4(Picture) The strong back bracing over the garage has a crack or has been cut. Recommend having a contractor to evaluate.

(4) The insulation in the attic is very thin. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 5(Picture) The insulation in the attic is very thin. Recommend correction.

E. Walls (Interior and Exterior)

Comments:

(1) Wood rot was observed on the fascia at the back of the home. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 1(Picture) Wood rot was observed on the fascia at the back of the home. Recommend correction.

(2) Drywall was missing in parts of the garage. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

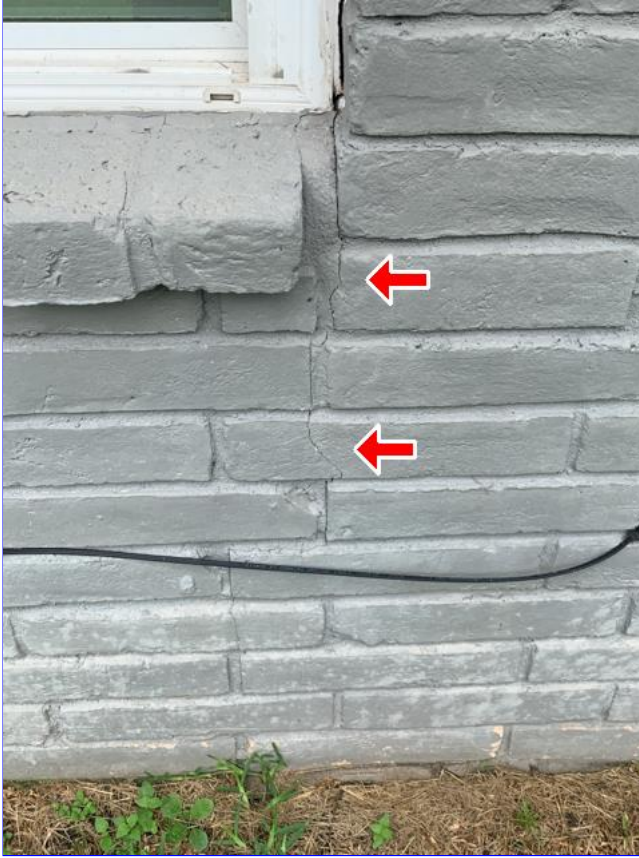


E. Item 2(Picture) Drywall was missing in parts of the garage. Recommend correction.

(3) Brick veneer mortar cracks were observed. This condition is cosmetic in nature and not structurally significant. The cracking of the brick veneer is likely due to flexing of the foundation during repeated seasonal changes. The expansive clay soil in the area is prone to excessive swelling during rainy periods and shrinkage during dry periods.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 3(Picture) Brick veneer mortar cracks were observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 4(Picture) Brick veneer mortar cracks were observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 5(Picture) Brick veneer mortar cracks were observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 6(Picture) Brick veneer mortar cracks were observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 7(Picture) Brick veneer mortar cracks were observed.

- (4) Soffits and fascia have been covered with aluminum or vinyl siding. I am unable to tell the condition of the underlying material.
- (5) Areas around the home where the brick, trim, and siding meet, need to be caulked and sealed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



E. Item 8(Picture) Areas around the home where the brick, trim, and siding meet, need to be caulked and sealed.

F. Ceilings and Floors

Comments:

(1) Drywall tape joint cracks observed in the garage ceiling. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



F. Item 1(Picture) Drywall tape joint cracks observed in the garage ceiling. Recommend correction.

(2) Some floor tiles are not fully set to slab. This is suggested by hollow sound coming from tiles when tapped with a hard object. The tiles may become loose and the grout surrounding them may begin to crack over time. Recommend correction as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



F. Item 2(Picture) Some floor tiles are not fully set to slab.

G. Doors (Interior and Exterior)

Comments:

(1) Damage was observed to both garage doors. The weather stripping on both is deteriorated. Both doors do open.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



G. Item 1(Picture) Damage was observed to both garage doors. The weather stripping on both is deteriorated. Both doors do open.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



G. Item 2(Picture) Damage was observed to both garage doors. The weather stripping on both is deteriorated. Both doors do open.

(2) Damage to the garage door trim and areas that need to be caulked were observed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



G. Item 3(Picture) Damage to the garage door trim and areas that need to be caulked were observed.

(3) The master bedroom door drifts from open to close. Recommend adjustment.

(4) The garage walk through door inside the home is not a fire rated door, and should be self closing. This door should be replaced with a self closing fire rated door.

H. Windows

[Comments:](#)

(1) The perimeter sealant, has failed on some windows. Recommend caulking.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



H. Item 1(Picture) The perimeter sealant, has failed on some windows. Recommend caulking.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



H. Item 2(Picture) The perimeter sealant, has failed on some windows. Recommend caulking.

- (2) There are missing screens. Recommend correction.
- (3) Some windows will not stay open when I opened. Recommend correction.
- (4) Window latch does not operate properly. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



H. Item 3(Picture) Window latch does not operate properly. Recommend correction.

(5) There is cracked glass in some windows. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



H. Item 4(Picture) There is cracked glass in some windows. Recommend correction.

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Operable Fireplaces: None

Chimney (exterior): N/A

Types of Fireplaces: None

Comments:

K. Porches, Balconies, Decks and Carports

Comments:

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

II. ELECTRICAL SYSTEMS

Smoke alarms and carbon monoxide (CO) monitors are not operated and are only checked for installation at proper locations. The installation of interconnected (sound or visibly alert at all locations) combination type ionization/photoelectric smoke detectors/alarms is now required in new construction and upgrading of older homes is advised.

These smoke detectors/alarms are required on each level including the basement, crawl space, and attic, where applicable, inside of all bedrooms or any rooms designated for the purpose of sleeping and outside within the near proximity of the doors to these rooms.

Test all alarms and detectors by both the test button and smoke per the manufactures instructions. Replace batteries at a minimum of every year or as required.

The smoke detectors and CO monitors are are not tested to avoid nuisance alarms, consult your security monitor company for further details and too assure proper function and application. All units should be fully evaluated and tested per the manufacture's instructions and replaced at least every 10 years.

A. Service Entrance and Panels

Electrical Service Conductors: Overhead service, Aluminum feed from meter, 220 volts

Panel Capacity: 125 AMP

Electric Panel Manufacturer: GENERAL ELECTRIC

Panel Type: Circuit breakers

Comments:

(1) The main electrical service panel, shown with dead front cover removed for inspection purposes.



A. Item 1(Picture) The main electrical service panel, shown with dead front cover removed for inspection purposes.

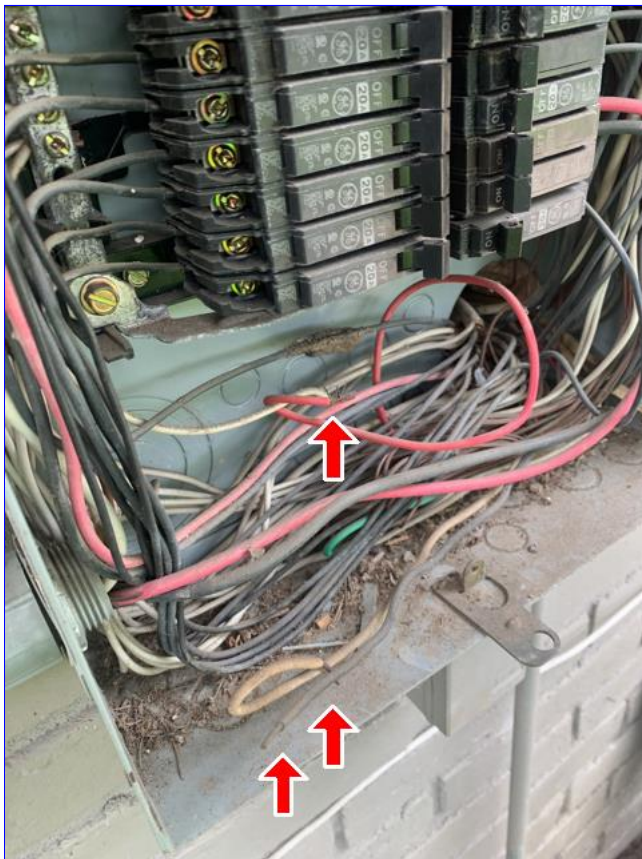
(2) Anti-oxidant paste, was not observed on service entrance conductor terminations. Anti-oxidant paste is

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

recommended to prevent corrosion at the terminations.

(3) Wiring in the panel box was not terminated properly. Recommend correction.



A. Item 2(Picture) Wiring in the panel box was not terminated properly. Recommend correction.

(4) Some labels are present, but are illegible or confusing. The cover is missing a screw to hold it in place. I recommend correcting for safety reasons.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 3(Picture) Some labels are present, but are illegible or confusing. I recommend correcting for safety reasons.

B. Branch Circuits, Connected Devices, and Fixtures

Branch wire 15 and 20 AMP: Copper

Comments:

(1) There are damaged/missing receptacle/switch, cover plates. These plates should be replaced for safety reasons.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



B. Item 1(Picture) There are damaged/missing receptacle/switch, cover plates. These plates should be replaced for safety reasons.

(2) Laundry Room receptacles are either not **accessible** and/or not Ground Fault Circuit Interrupter (GFCI) and Arc Fault Circuit Interrupter (AFCI) protected. This may not have been required during the time period that this home was built. More stringent building codes have been established since that time and currently all Laundry Room outlets are required to be **accessible** and GFCI & AFCI protected in new construction. I recommend that you consider upgrading all Laundry Room outlets to GFCI & AFCI protection for personal safety reasons.

(3) Not all garage receptacles, are GFCI protected. This was allowable during the time period that this home was built. More stringent building codes have been established since that time and currently all garage receptacles, even those on ceilings, are required to be GFCI protected depending on local adoption of the new standard.

(4) Kitchen receptacles are either not **accessible** and/or not Ground Fault Circuit Interrupter (GFCI) and Arc Fault Circuit Interrupter (AFCI) protected. This may not have been required during the time period that this home was built. More stringent building codes have been established since that time and currently all kitchen outlets are required to be **accessible**, GFCI & AFCI protected in new construction. I recommend that you consider upgrading all kitchen counter outlets to GFCI & AFCI protection for personal safety reasons.

(5) No Arc Fault Circuit Interrupter (AFCI) breakers, are installed. One or more circuits are not protected by an Arc Fault Circuit Interrupter (AFCI). Arc Fault Circuit Interrupter (AFCI) breakers are now required, depending on local adoption of these new standards, at all 120-volt, single phase, 15 & 20 amp branch

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

circuits supplying outlets installed in a dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, hallways, recreation rooms, closets, and similar rooms or areas.

AFCI's are devices designed to protect against fires caused by arcing faults in the homes wiring. Arcing faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors. AFCIs are required in new construction per current building standards which have been adopted in most jurisdictions across the country. Older homes with aging and deteriorating wiring systems can especially benefit from the added protection of AFCIs.

I recommend the client consider having a qualified licensed electrician evaluate and upgrade branch circuits to AFCI protection per current building standards.

(6) The exterior outlets, are not all GFCI protected.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

NOTE: HVAC units should be serviced annually. If the date of the last service receipt is more than one year old, you should consider having the unit(s) serviced for preventative maintenance even if operation of the unit(s) is currently normal. Air filters should be changed as needed.

Checking Humidifiers, electric air filters, ultra-violet lights and air flow balance is not included in the scope of this inspection. Accuracy and complete functionality of thermostats is not included in the scope of this inspection. Evaporator coils and heat exchangers are usually not accessible without dismantling some system components. Dismantling A/C system components to check evaporator coils and heat exchangers is outside of the scope of a standard home inspection.

A. Heating Equipment

Heat System Brand: PAYNE

Type of Systems: Forced Air

Energy Source: Natural gas

Number of Heat Systems (excluding wood): One

Comments:

The unit appeared to operate normally using the standard controls. I could not determine if the heat exchanger is cracked or not without dismantling the furnace. Dismantling of components is outside of the scope of a standard home inspection. Manufacture date 2010.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 1(Picture) Furnace burners



A. Item 2(Picture) Furnace service tag

B. Cooling Equipment

Type of Systems: Air conditioner unit

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

Central Air Manufacturer: PAYNE

A/C Tonnage: 5 Ton

A/C Amperage: 50 AMPS

Comments:

(1) Ambient air test was performed using laser thermometer readings to determine if the temperature difference between the supply and return air was between 14 and 22 degrees; which would indicate that the unit is cooling as intended.

The air temperatures read:

Return Air Temperature: 71 degrees

Supply Air Temperature: 54 degrees

Difference: 17 degrees

The low pressure line was cold to the touch at the condenser unit.

These conditions indicate that the system is currently cooling normally.

Manufacture date 2009.



B. Item 1(Picture) AC service tag

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

(2) The insulation, on the refrigeration line(s) is deteriorated. I recommend it be repaired or replaced.



B. Item 2(Picture) The insulation, on the refrigeration line(s) is deteriorated. I recommend it be repaired or replaced.

(3) The AC drain line was observed to be draining into a barrel outside.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



B. Item 3(Picture) The AC drain line was observed to be draining into a barrel outside.

C. Duct System, Chases, and Vents

Ductwork: Silverflex-round

Filter Type: Disposable

Comments:

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

IV. PLUMBING SYSTEM

While water was run down the drains, this alone cannot simulate the waste flows characteristic of full occupancy. Underground sanitary drain lines are not visible during the course of a standard home inspection and are not inspected. Complete examination of sanitary drain lines requires equipment and time beyond the scope of a standard home inspection. Comprehensive sanitary drain line testing is available from certain licensed plumbers with specialized equipment. Water softening/filtration systems are not included in the inspection.

A. Plumbing Supply, Distribution Systems and Fixtures

Water Source: Public

Location of water meter: Front

Plumbing Water Supply (into home): Galvanized

Plumbing Water Distribution (inside home): Galvanized

Location of main water supply valve: Left Exterior

Static water pressure reading: 60 pounds/square inch

Comments:

(1) Galvanized pipe distributes the water within the structure. Galvanized pipe typically deteriorates from the inside out when it begins to fail. Internal corrosion or deterioration is not visible in piping and is beyond the scope of this inspection.

An indication of internal corrosion is reduced flow at plumbing fixtures. Today, all fixtures had functional flow.

(2) The main water supply line at the exterior, is not properly protected from freezing.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 1(Picture) The main water supply line at the exterior, is not properly protected from freezing.

(3) No anti-siphon devices, were observed at exterior hose bibbs. These are low cost devices that screw on to the exterior hose bibbs to prevent back-flow into the water supply. They are required by most municipalities.

(4) The toilet is loose at floor at the bath. Repairs may involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 2(Picture) The toilet is loose at floor at the bath.

- (5) The master tub is not secured to the floor. Recommend caulking.
- (6) The surround for the master shower is deteriorated at the bottom. Recommend caulking.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 3(Picture) The surround for the master shower is deteriorated at the bottom. Recommend caulking.

(7) Faucet handles at the master shower are loose and in need of adjustment. The shower head is partly stopped up. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 4(Picture) Faucet handles at the master shower are loose and in need of adjustment. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 5(Picture) Faucet handles at the master shower are loose and in need of adjustment. The shower head is partly stopped up. Recommend correction.

(8) The faucet stand for the master bath is loose. Recommend correction.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 6(Picture) The faucet stand for the master bath is loose. Recommend correction.

(9) Exposed water pipes observed in the attic space are not properly protected from freezing. Water pipes should be buried under the insulation or properly wrapped to prevent breakage from freezing.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



A. Item 7(Picture) Exposed water pipes observed in the attic space are not properly protected from freezing.

B. Drains, Waste, and Vents

Washer Drain Size: 1 1/2" Diameter (undersized)

Plumbing Waste: PVC, Cast iron

Comments:

(1) Note: Some of the showers have built up tile. I cannot determine if a shower pan or liner has been installed under the tile (not visible). The shower does not appear to be currently leaking.

(2) **Note:** While water was run down the drains, this alone cannot simulate the waste flows characteristic of full occupancy. Underground sanitary drain lines are not visible during the course of a standard home inspection and are not inspected. Complete examination of sanitary drain lines requires equipment and time beyond the scope of a standard home inspection. Comprehensive sanitary drain line testing is available from certain licensed plumbers with specialized equipment.

This home has cast iron waste and vent lines. I recommend you have at least a hydrostatic test performed by a licensed professional plumber with the necessary equipment; to ascertain the condition of the underground waste lines.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



B. Item 1(Picture) Cast iron pipe that is not capped.

C. Water Heating Equipment

Energy Source: Gas (quick recovery)

Capacity: 40 Gallon

Water Heater Manufacturer: ENVIROTEMP

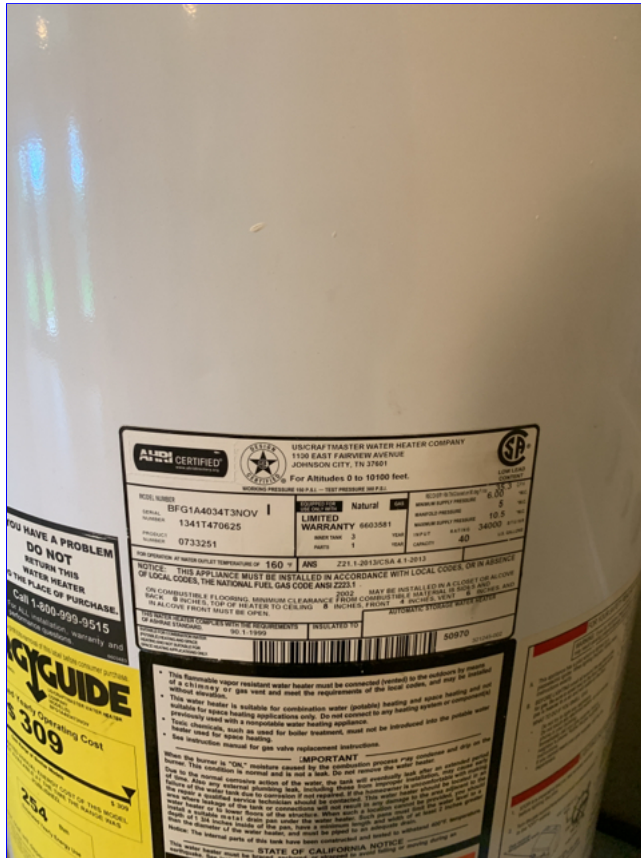
Water Heater Location: Laundry Room

Comments:

Water heater service tag. Manufacture date 2013.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



C. Item 1(Picture) Water heater service tag. Manufacture date 2013.

D. Hydro-Massage Therapy Equipment

Comments:

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

V. APPLIANCES

Special precautions for dryer ducts and vents

Clean the lint screen/filter before or after drying each load of clothes. If clothing is still damp at the end of a typical drying cycle or drying requires longer times than normal, this may be a sign that the lint screen or the exhaust duct is blocked.

Clean the dryer vent and exhaust duct periodically. Check the outside dryer vent while the dryer is operating to make sure exhaust air is escaping. If it is not, the vent or the exhaust duct may be blocked. To remove a blockage in the exhaust path, it may be necessary to disconnect the exhaust duct from the dryer. Remember to reconnect the ducting to the dryer and outside vent before using the dryer again.

Clean behind the dryer, where lint can build up. Have a qualified service person clean the interior of the dryer chassis periodically to minimize the amount of lint accumulation. Keep the area around the dryer clean and free of clutter.

Replace plastic or foil, accordion-type ducting material with rigid or corrugated semi-rigid metal duct. Most manufacturers specify the use of a rigid or corrugated semi-rigid metal duct, which provides maximum airflow. The flexible plastic or foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow.

Take special care when drying clothes that have been soiled with volatile chemicals such as gasoline, cooking oils, cleaning agents, or finishing oils and stains. If possible, wash the clothing more than once to minimize the amount of volatile chemicals on the clothes and, preferably, hang the clothes to dry. If using a dryer, use the lowest heat setting and a drying cycle that has a cool-down period at the end of the cycle. To prevent clothes from igniting after drying, do not leave the dried clothes in the dryer or piled in a laundry basket.

A. Dishwasher

Dishwasher Brand: LG

Comments:

B. Food Waste Disposers

Disposer Brand: BADGER

Comments:

C. Range Hood and Exhaust Systems

Exhaust/Range Hood: RE-CIRCULATE, BROAN

Comments:

D. Ranges, Cooktops and Ovens

Range/Oven: SAMSUNG

Range/Cooktop/Oven Connections: Gas Only

Comments:

E. Microwave Ovens

Built in Microwave: SHARP

Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters

Mechanical Exhaust Vents and Bathroom Heaters: Fan only

Comments:

G. Garage Door Operators

Garage Door Operator: TWO UNITS, CHAMBERLAIN, OVERHEAD DOOR

Comments:

The garage door opener for the left side, the chamberlain unit does not have an interior activation switch.. This unit does not work. Recommend replacing.

H. Dryer Exhaust Systems

Dryer Vent: Smooth Metal

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I	NI	NP	D
---	----	----	---

Dryer Connections: Both Gas and 220 Volt AC

Comments:

I. **Doorbell and Chimes**

Comments:

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D

IX. CRITICAL PEST ISSUES

A. Open vents

[Comments:](#)

B. evidence of ants

[Comments:](#)

C. Evidence of rodents

[Comments:](#)

D. Evidence of Termites

[Comments:](#)

Termite damage observed in the attic over garage. Recommend calling Sunbelt Pest Control 713-331-5530.

I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 1(Picture) Termite damage observed over garage.

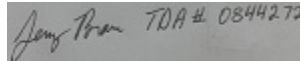
I = Inspected NI = Not Inspected NP = Not Present D = Deficiency

I NI NP D



D. Item 2(Picture) Termite damage observed in the attic over garage.

General Summary



Sunbelt Inspections

Customer

David Rodriguez

Address

9715 Greenwillow St
Houston TX 77096

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. STRUCTURAL SYSTEMS

A. Foundations

Inspected, Deficiency

(1) There is some slab edge cracking. There is little to no deflection across the crack. This type of flexural crack is generally the result of seasonal variations in soil moisture causing the soils to shrink and/or swell exerting pressure on the foundation.

This type of crack is not structurally significant.

(2) Elevation readings of the slab, with a zip level indicate evidence the slab is not level. This condition is not uncommon in slabs of this age. It is likely that the slab was poured out of level.

The visible portions of the foundation and slab appear to be functioning as intended. No signs of significant movement such as: significant slab edge cracks, excessive brick veneer and drywall cracking, abnormal door operation, unlevelled soffits or severely sloped floors. Therefore, it is my opinion that the foundation is adequately performing its intended function.

No foundation repairs are recommended at this time.

B. Grading and Drainage

Inspected, Deficiency

(1) High soil conditions observed at front of home left side and right side. High soil conditions are conducive to wood destroying insects and should be avoided. I recommend a minimum six inch foundation side wall exposure around the entire perimeter of the foundation. High soil levels prevent a quality Termite inspection. Recommend correction.

(2) Drainage swales at rear and sides of home appears to have low spots. Water will most likely pool in the drainage swales and not drain normally towards the street. Possible remedies might include the installation of catch basins, or French Drains at low spots connected to underground drain pipe to the street.

(3) An underground drainage system with catch basins and underground pipe has been installed to assist with drainage. I cannot determine the current effectiveness of this underground system.

(4) No gutters observed at on the structure. Gutters are recommended at all appropriate roof slopes to channel and direct rain water away from the structure and to promote foundation health.

C. Roof Covering Materials

Inspected, Deficiency

The roof covering, is not new and shows signs of wear consistent with its age. Hail damage was observed on the south facing area of the roof. Flashing and roof jacks need to be replaced. This roof covering is probably around 8 to 12 years old. This type of architectural style composition shingles typically lasts about 20 years in this climate. This roof is in need of replacement.

D. Roof Structures and Attic

Inspected, Deficiency

- (1) The attic access material is not fire rated. Recommend correction.
- (2) The area of the front door porch has a sag. Recommend correction.
- (3) The strong back bracing over the garage has a crack or has been cut. Recommend having a contractor to evaluate.
- (4) The insulation in the attic is very thin. Recommend correction.

E. Walls (Interior and Exterior)

Inspected, Deficiency

- (1) Wood rot was observed on the fascia at the back of the home. Recommend correction.
- (2) Drywall was missing in parts of the garage. Recommend correction.
- (3) Brick veneer mortar cracks were observed. This condition is cosmetic in nature and not structurally significant. The cracking of the brick veneer is likely due to flexing of the foundation during repeated seasonal changes. The expansive clay soil in the area is prone to excessive swelling during rainy periods and shrinkage during dry periods.
- (4) Soffits and fascia have been covered with aluminum or vinyl siding. I am unable to tell the condition of the underlying material.
- (5) Areas around the home where the brick, trim, and siding meet, need to be caulked and sealed.

F. Ceilings and Floors

Inspected, Deficiency

- (1) Drywall tape joint cracks observed in the garage ceiling. Recommend correction.
- (2) Some floor tiles are not fully set to slab. This is suggested by hollow sound coming from tiles when tapped with a hard object. The tiles may become loose and the grout surrounding them may begin to crack over time. Recommend correction as needed.

G. Doors (Interior and Exterior)

Inspected, Deficiency

- (1) Damage was observed to both garage doors. The weather stripping on both is deteriorated. Both doors do open.
- (2) Damage to the garage door trim and areas that need to be caulked were observed.
- (3) The master bedroom door drifts from open to close. Recommend adjustment.
- (4) The garage walk through door inside the home is not a fire rated door, and should be self closing. This door should be replaced with a self closing fire rated door.

H. Windows

Inspected, Deficiency

- (1) The perimeter sealant, has failed on some windows. Recommend caulking.
- (2) There are missing screens. Recommend correction.
- (3) Some windows will not stay open when I opened. Recommend correction.
- (4) Window latch does not operate properly. Recommend correction.
- (5) There is cracked glass in some windows. Recommend correction.

II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Inspected, Deficiency

- (1) The main electrical service panel, shown with dead front cover removed for inspection purposes.
- (2) Anti-oxidant paste, was not observed on service entrance conductor terminations. Anti-oxidant paste is recommended to prevent corrosion at the terminations.
- (3) Wiring in the panel box was not terminated properly. Recommend correction.
- (4) Some labels are present, but are illegible or confusing. The cover is missing a screw to hold it in place. I recommend correcting for safety reasons.

B. Branch Circuits, Connected Devices, and Fixtures

Inspected, Deficiency

- (1) There are damaged/missing receptacle/switch, cover plates. These plates should be replaced for safety reasons.
- (2) Laundry Room receptacles are either not **accessible** and/or not Ground Fault Circuit Interrupter (GFCI) and Arc Fault Circuit Interrupter (AFCI) protected. This may not have been required during the time period that this home was built. More stringent building codes have been established since that time and currently all Laundry Room outlets are required to be **accessible** and GFCI & AFCI protected in new construction. I recommend that you consider upgrading all Laundry Room outlets to GFCI & AFCI protection for personal safety reasons.
- (4) Kitchen receptacles are either not **accessible** and/or not Ground Fault Circuit Interrupter (GFCI) and Arc Fault Circuit Interrupter (AFCI) protected. This may not have been required during the time period that this home was built. More stringent building codes have been established since that time and currently all kitchen outlets are required to be **accessible**, GFCI & AFCI protected in new construction. I recommend that you consider upgrading all kitchen counter outlets to GFCI & AFCI protection for personal safety reasons.
- (5) No Arc Fault Circuit Interrupter (AFCI) breakers, are installed. One or more circuits are not protected by an Arc Fault Circuit Interrupter (AFCI). Arc Fault Circuit Interrupter (AFCI) breakers are now required, depending on local adoption of these new standards, at all 120-volt, single phase, 15 & 20 amp branch circuits supplying outlets installed in a dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun rooms, hallways, recreation rooms, closets, and similar rooms or areas.

AFCI's are devices designed to protect against fires caused by arcing faults in the homes wiring. Arcing faults can be created by damaged, deteriorated, or worn electrical plugs, cords, and/or branch circuit conductors. AFCIs are required in new construction per current building standards which have been adopted in most jurisdictions across the country. Older homes with aging and deteriorating wiring systems can especially benefit from the added protection of AFCIs.

I recommend the client consider having a qualified licensed electrician evaluate and upgrade branch circuits to AFCI protection per current building standards.

- (6) The exterior outlets, are not all GFCI protected.

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Inspected

The unit appeared to operate normally using the standard controls. I could not determine if the heat exchanger is cracked or not without dismantling the furnace. Dismantling of components is outside of the scope of a standard home inspection. Manufacture date 2010.

B. Cooling Equipment

Inspected, Deficiency

- (1) Ambient air test was performed using laser thermometer readings to determine if the temperature difference between the supply and return air was between 14 and 22 degrees; which would indicate that the unit is cooling as intended.

The air temperatures read:

Return Air Temperature: 71 degrees

Supply Air Temperature: 54 degrees

Difference: 17 degrees

The low pressure line was cold to the touch at the condenser unit.

These conditions indicate that the system is currently cooling normally.

Manufacture date 2009.

(2) The insulation, on the refrigeration line(s) is deteriorated. I recommend it be repaired or replaced.

(3) The AC drain line was observed to be draining into a barrel outside.

IV. PLUMBING SYSTEM

A. Plumbing Supply, Distribution Systems and Fixtures

Inspected, Deficiency

(1) Galvanized pipe distributes the water within the structure. Galvanized pipe typically deteriorates from the inside out when it begins to fail. Internal corrosion or deterioration is not visible in piping and is beyond the scope of this inspection.

An indication of internal corrosion is reduced flow at plumbing fixtures. Today, all fixtures had functional flow.

(2) The main water supply line at the exterior, is not properly protected from freezing.

(3) No anti-siphon devices, were observed at exterior hose bibbs. These are low cost devices that screw on to the exterior hose bibbs to prevent back-flow into the water supply. They are required by most municipalities.

(4) The toilet is loose at floor at the bath. Repairs may involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.

(5) The master tub is not secured to the floor. Recommend caulking.

(6) The surround for the master shower is deteriorated at the bottom. Recommend caulking.

(7) Faucet handles at the master shower are loose and in need of adjustment. The shower head is partly stopped up. Recommend correction.

(8) The faucet stand for the master bath is loose. Recommend correction.

(9) Exposed water pipes observed in the attic space are not properly protected from freezing. Water pipes should be buried under the insulation or properly wrapped to prevent breakage from freezing.

B. Drains, Waste, and Vents

Inspected, Deficiency

(1) Note: Some of the showers have built up tile. I cannot determine if a shower pan or liner has been installed under the tile (not visible). The shower does not appear to be currently leaking.

(2) **Note:** While water was run down the drains, this alone cannot simulate the waste flows characteristic of full occupancy. Underground sanitary drain lines are not visible during the course of a standard home inspection and are not inspected. Complete examination of sanitary drain lines requires equipment and time beyond the scope of a standard home inspection. Comprehensive sanitary drain line testing is available from certain licensed plumbers with specialized equipment.

This home has cast iron waste and vent lines. I recommend you have at least a hydrostatic test performed by a licensed professional plumber with the necessary equipment; to ascertain the condition of the underground waste lines.

C. Water Heating Equipment

Inspected, Deficiency

Water heater service tag. Manufacture date 2013.

V. APPLIANCES

G. Garage Door Operators

Inspected, Deficiency

The garage door opener for the left side, the chamberlain unit does not have an interior activation switch.. This unit does not work. Recommend replacing.

IX. CRITICAL PEST ISSUES

D. Evidence of Termites

Inspected

Termite damage observed in the attic over garage. Recommend calling Sunbelt Pest Control 713-331-5530.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jerry Brame

HERNDON/MUNCEY, INC.
INVESTIGATIVE PLUMBING

Office: (281) 579-0515

Fax: (281) 579-1960

September 1, 2022

OUR JOB # HR27593



SUMMARY

The test revealed no under slab plumbing leaks. The camera inspection revealed bellies in the yard line.

The following tests were performed on the plumbing system at the above referenced residence. The scheduled test was on August 31, 2022 and began at 9:00 AM. The structure is approximately (65) sixty-five years old. There are three (2) exits from the structure, and a cleanout was available. The AC Condensate Drain is located on the outside of the house as per our drawing.

STATIC TEST – EXIT #1

Exit #1 consists of Bath #1 and Bath #2. A (30) thirty minute test revealed no loss of water. There is PVC piping.

STATIC TEST – EXIT #2

Exit #2 consists of the Kitchen. A (30) thirty minute test revealed no loss of water. There is PVC piping.

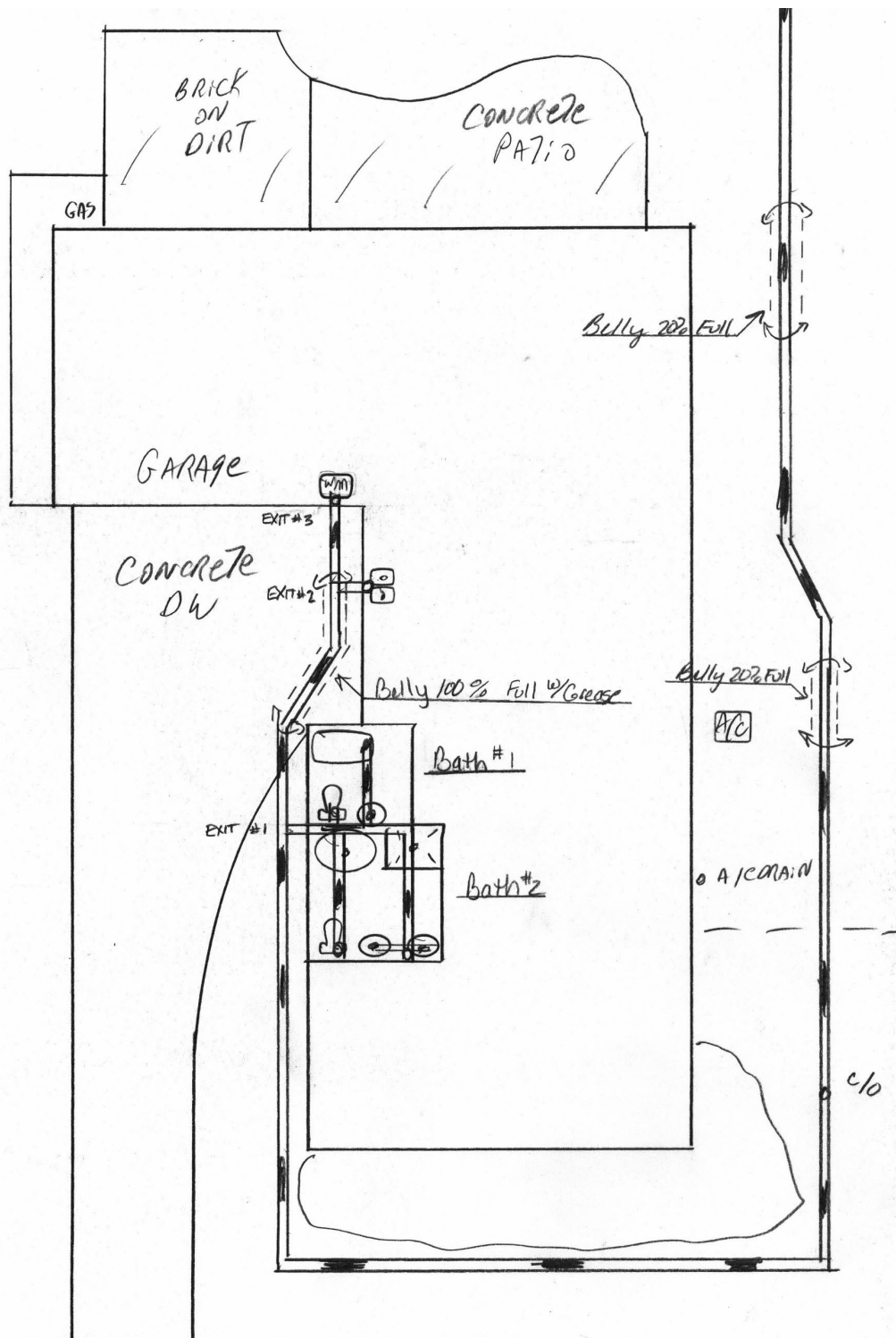
STATIC TEST – EXIT #3

Exit #3 consists of the Washer. A (30) thirty minute test revealed no loss of water. There is PVC piping.

The camera inspection of the yard line revealed three bellies with standing water in the pipe. Two of the bellies were 20% full and are not causing issues at this time. The third belly is 100% full of water and grease.

Homeowner: [REDACTED]
Address: 9715 Greenwillow Street
Houston TX 77096

Drawings are for bid purposes only and are not intended to be used to locate drain lines in their exact locations.





Photograph #1



Photograph #2



Photograph #3

HERNDON/MUNCEY, INC.
INVESTIGATIVE PLUMBING

Office: (281) 579-0515

Fax: (281) 579-1960

September 1, 2022

PLUMBING PROPOSAL
JOB NO.: HR27593

Submitted To: [REDACTED]
9715 Greenwillow Street
Houston TX 77096

Job Address: SAME

Herndon/Muncey, Inc. (Herndon) proposes to furnish all necessary materials and labor for the replacement and relocation of drain lines at the above address in accordance with the specifications detailed herein:

I. REPAIRS AS FOLLOW:

- A. Remove and replace approximately (45) forty-five square feet of concrete at driveway, connect to Washer wall out, route approximately fifty-three feet (53') to the front and connect to existing sewer as per detail drawing.
- B. Exit Kitchen Drain through exterior wall to below ground, route approximately two feet (2') and connect to new sewer from the Washer as per detail drawing.

II. SPECIFICATIONS:

- A. All new drain piping is to be Schedule-40 PVC fittings. Joints to said fittings are to be made per manufacturer recommendations using the solvent primer and the PVC glue for this type of installation. Proper support for piping will be used to minimize movement during back filling.
- B. Piping and connections for lavatories and showers will be made below the slab. Kitchen and Washer connections will be made below the slab except when exiting the house above the slab. New piping for water closets and tubs will be extended through the slab except where the existing pipe is encased in a concrete beam, in which case the connection will be made below the beam and not jeopardize the integrity of the beam of the house.
- C. Back-filling of the tunnels will be done by hand tamping into the tunnel to fill all voids with appropriate mixes to be determined by an engineer's recommendation. Soil excavated from the exterior trenches will be used to back-fill said trenches after all piping has been installed. All excess soil will be removed from the job site.
- D. The price included herein is intended to be all-inclusive. Herndon may however, encounter circumstances that could not have been anticipated which result in higher costs. If such circumstances occur, Herndon will advise Homeowner of the situation and Herndon and Homeowner will agree on a procedure to reimburse Herndon for its increased costs. An example of this situation might be the encounter of a piling or unusually deep beam under the slab where Herndon had planned to place its tunnel, thus causing increased tunneling cost.
- E. Landscape restoration will be limited to replanting shrubs removed and placing sod on yard line trenches.

- III. Upon completion and acceptance by Homeowner of the plumbing repair work outlined in this proposal, Herndon will grant a one-year warranty covering the work performed.
- IV. All foundation penetrations or excavations above or below grade shall be done at the written direction of the Homeowner, their agent, or the chosen engineer. Any ensuing damage to the foundation or structure of the Building resulting from any excavation or penetration through the floor and/or beam or by back-filling procedures shall be the responsibility of Homeowners and are not a Warranty responsibility provided in Paragraph III above.
- V. Herndon does not assume any responsibility for existing warranties that may be voided due to the repairs or tunnel process. This includes any termite protection warranty.
- VI. Any interior or cosmetic repairs are limited to the scope of work included herein.
- VII. Estimated time for completion of job will be one (1) to two (2) weeks. Herndon is not responsible for any delays caused by inclement weather or other acts of God.
- VIII. This proposal may be withdrawn by Herndon if not accepted within (60) sixty days.

Herndon/Muncey, Inc. _____ DATE: _____
 (HERNDON/MUNCEY EMPLOYEE SIGNATURE)

ACCEPTANCE OF PROPOSAL

All work will be performed for the total sum of:

\$5,670.00 (FIVE THOUSAND SIX HUNDRED SEVENTYAND NO/100 DOLLARS:)

50% due at the start of work:	<u>\$2,835.00</u>
50% due upon completion of job:	<u>\$2,835.00</u>

The above amounts, specifications, and conditions are satisfactory and hereby accepted. You are authorized to do the repairs as specified. Payment will be made as outlined above. A Visa or MasterCard may be used for payment but the price will be increased by three percent (3%) to cover Herndon's cost. All checks to be written as follows: Herndon/Muncey, Inc.

Accepted _____ DATE: _____
 (CUSTOMER SIGNATURE)

MASTER PLUMBER – DENNIS THIBODAUX - MASTER PLUMBING LICENSE # M-16447
 REGULATED BY THE TEXAS STATE BOARD OF PLUMBING EXAMINERS
 919 EAST 41ST STREET - P. O. BOX 4200
 AUSTIN, TEXAS 78765 - 512/458-2145 - FAX 512/450-0637 - 1-800-845-6584

PROPOSAL BREAKDOWN

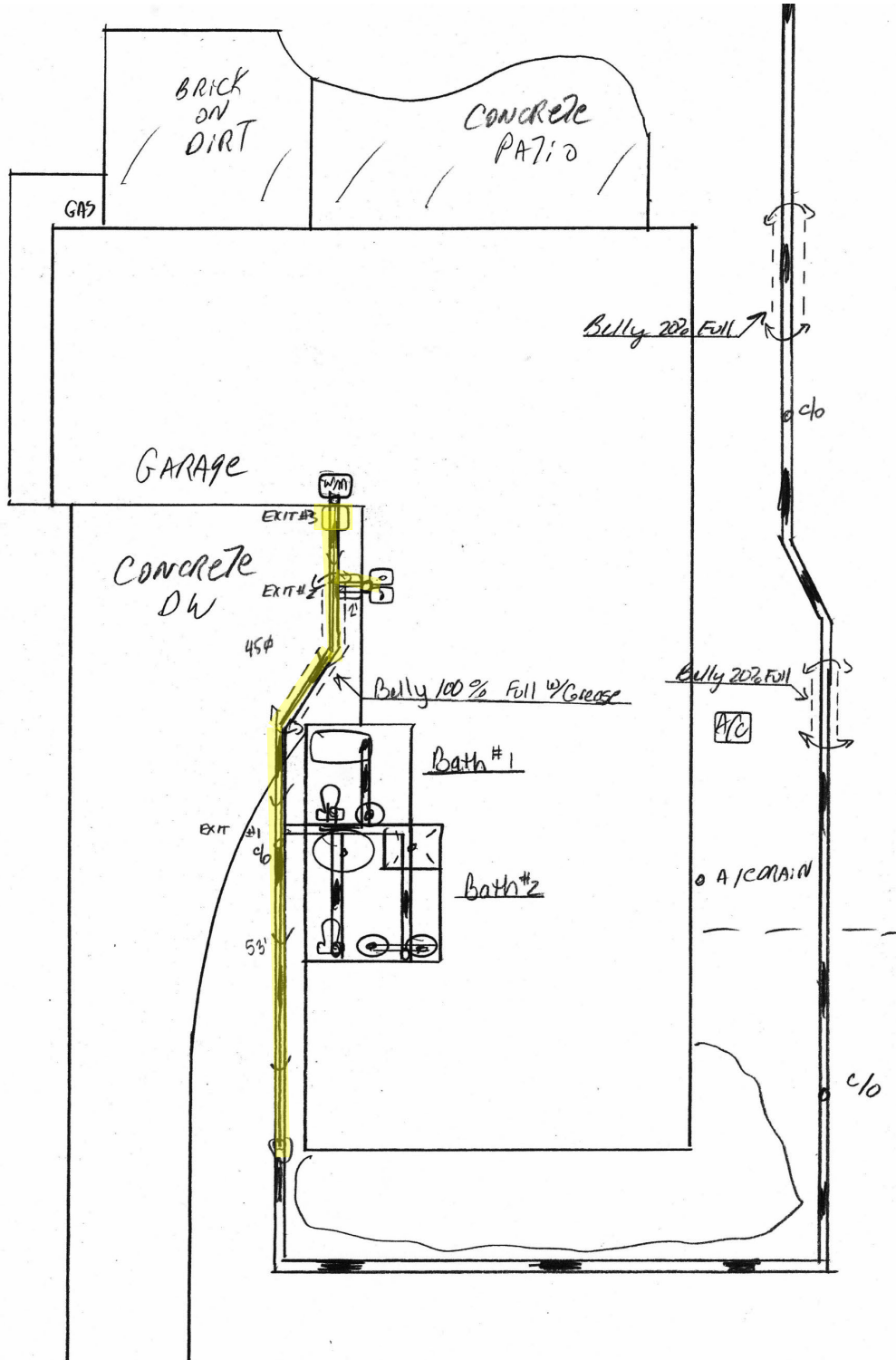
Description	Quantity	Unit Cost	Cost
<u>ACCESS COSTS TO MAKE REPAIRS</u>			
Dig & Fill Access Hole	<u>2</u>	275.00	<u>550.00</u>
Ditch & Compaction - Outside Foundation	<u>55</u> '	40.00	<u>2,200.00</u>
Landscape	<u>1</u>	125.00	<u>125.00</u>
Exterior Wall Penetration	<u>1</u>	250.00	<u>250.00</u>
Wall Penetration Repair	<u>1</u>	250.00	<u>250.00</u>
Concrete	<u>45</u> s.f.	15.00	<u>675.00</u>
Clean-up, Debris Removal (\$250 for each 15' of Tunnel)	<u>1</u>	250.00	<u>250.00</u>
Permits/Fees	<u>1</u>	150.00	<u>150.00</u>
Tunnel Backfill Specifications Required By City	<u>1</u>	250.00	<u>250.00</u>
Total Cost for Access			4,700.00
<u>LABOR AND MATERIAL</u>			
Pipe and Plumbing	<u>1</u>	750.00	<u>750.00</u>
Pipe for Yard Line	<u>55</u> '	4.00	<u>220.00</u>
Total Cost For Labor & Material			970.00
TOTAL COST			\$5,670.00

Homeowner:

Address:

9715 Greenwillow Street
Houston TX 77096

Drawings are for bid purposes only and are not intended to be used to locate drain lines in their exact locations.





Bid Proposal

DATE: 9/1/2022
ESTIMATE: \$ 1,225.00

SERVICE PROVIDER
Kyle Pentecost One Call Enterprises, Inc. 2429 Bissonnet # 223 Houston, TX 77005 Phone: (832) 800-4441 Fax: (713)559-8309 sales@onecallcorp.com

CUSTOMER
<div style="background-color: black; width: 100px; height: 15px; margin-bottom: 5px;"></div> 9715 Greenwillow Houston, TX 77096 (210) 202-8782 caitrod2016@yahoo.com

DESCRIPTION	Quantity	Price	TOTAL
Labor:			
Straighten sag in garage ceiling by adding addition framing in attic.	1	\$ 1,225.00	\$ 1,225.00
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
			\$ -
Note: No sheetrock work is included in this bid. If required, new bid will be needed.			\$ -
Materials:			
			\$ -
			\$ -
			\$ -
			\$ -
All other materials included			\$ -
			\$ -
\$700 due to begin work, balance upon completion			\$ -
		SUBTOTAL	\$ 1,225.00
THANK YOU FOR YOUR BUSINESS!			
Accepted:			
_____		HANDLING	\$ -
		TOTAL FLAT RATE QUOTE	\$ 1,225.00

This is an estimate only, but becomes a home improvement contract when signed. This proposal is for completing the job described above, based on information provided by you and our evaluation. It does not include unforeseen changes hidden repairs or additional labor and/or materials that may be required should problems arise or the scope of work change.

The pricing on this estimate is only good for 30 days from the date show above.

All selections relative to style, color, texture, etc. are the sole responsibility of the Customer. One Call is not responsible for these selections. Please refer to www.onecallcorp.com/warranty.html for warranty info and other contract terms.

IMPORTANT NOTICE: You and your contractor are responsible for meeting the terms and conditions of this contract. Check this proposal to make sure all items are covered. If you sign this contract and you fail to meet the terms of this contract, you may lose your legal ownership rights in your home.

KNOW YOUR RIGHTS AND DUTIES UNDER THE LAW

Air conditioning is by Earth Power AC and Heat, 2129 FM 2920, Spring, TX 77388 - 281-355-0430 - TAFL B15309C
 Electrical is by Service R Unlimited, 2900 Carolina Av, League City, TX 77573 - 281-337-1101 - TECL 24192
 Plumbing is by Belford Enterprises, Mario Jimenez, 9010 Willow Meadows, Houston, TX 77031, 832-892-3132 - MPL 42403
 AC and Electricians regulated by the Texas Dept. of Licensing and Regulation,
 P.O.Box 12157, Austin, TX 78711 (800) 803-9202, (512) 463-6599; www.license.state.tx.us/complaints

Price quoted includes all applicable taxes.



Exceeding Expectations from Concept to Reality!



Proposal for Service

Services Provided By:

A Affordable Services

<http://www.AaffordableServices.com>

<http://www.AaffordableInsulators.com>

Services Provided For:

[REDACTED]

9715 Greenwillow St

Houston , TX 77096

C: 210-380-5487 W: H:

Estimate Description	Amount	Name/Description
Recommend Replacement due excessive aging/deterioration of the shingles from blistering and hail damage <ul style="list-style-type: none"> Remove squares of existing shingles Install/Replace with GAF Timberline HDZ shingle with limited lifetime Manufacturer Warranty Synthetic underlayment and perimeter starter course Use GAF Ice and water shield in all valleys and roof penetrations Remove/Replace Galvanized drip edge (prime and painted -color match to shingle color) Reseal any sidewall flashing Replace all plumbing jacks -Lead Jacks Install GAF Ridge Vent Reflash, Seal chimney flashing and Skylights (if applicable) Includes 2 sheets of OSB decking for repairs to damaged decking (any additional sheets @ \$50 per sheet installed labor and material included) Clean and haul away job site of all debris/ sweep yard and driveway with magnet for nails 10-year workmanship warranty- no leak, transferable labor warranty GAF System Plus - manufacturer extended warranty 	11900.00	Roof Replacement GAF Timberline HDZ Remove squares of existing shingles Install/Replace with GAF Timberline shingle with limited lifetime Manufacturer Warranty Synthetic underlayment and perimeter starter course Use GAF ice and water in all valleys and roof penetrations Remove/Replace Galvanized drip edge (prime and painted -color match) Reseal any sidewall flashing Replace all plumbing jacks -Lead Jacks Install GAF Ridge Vent Reflash, Seal chimney flashing and Skylights (if applicable) Includes 2 sheets of OSB decking for repairs to damaged decking (any additional sheets @ \$50 per sheet installed labor and material included) Clean and haul away job site of all debris/ sweep yard and driveway with magnet for nails 10-year workmanship warranty- no leak, transferable labor warranty
Install R-30 Blown Fiberglass Insulation	2580.00	Fiberglass Insulation R30 Install R-30 Blown Insulation
Install intake vents in eves Metal cut-in	600.00	Misc Misc

Subtotal	\$15,080.00
Sales Tax	\$0.00
Total	\$15,080.00

Thank you for giving us the opportunity to earn your business! A Affordable Services has been in business since 2002 and has established a reputation for quality and excellent customer service. We look forward to showing you our reputation is well deserved.

Proposal Clarifications/Assumptions: **(1) No retainage will be withheld from our payment. (2) Payment will be due immediately upon job completion in the form of check, cash of credit cards. The job will be considered complete on the last full day AASC is on the job site. All supplements and insurance proceeds for the services performed by AASC will go to AASC.**

Roofing Agreement:

1. Legal Fees. In the event litigation or arbitration arises out of this contract, prevailing party(s) are entitled to all legal, arbitration, and attorneys' fees. The court or arbitrator shall not be bound to award fees based on any set, fee schedule but shall if it so chooses, award the true amount of all costs, expenses and attorney fees paid or incurred.

Arbitration of Disputes. Any controversy or claim arising out of or relating to this proposal/contract, or the breach thereof, shall be settled by arbitration in accordance with the applicable Construction Industry Arbitration Rules of the American Arbitration Association which are in effect at the time the demand for arbitration is filed. A judgement upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. Any arbitration award shall be subject to correction and/or vacation for the reasons stated in the law. The arbitrator shall award reasonable attorney fees and expenses to the prevailing party. After being given due notice, should any party fail to appear at or participate in the arbitration proceedings, the arbitrator shall make award based upon the evidence presented by the party(s) who do (does) appear and participate. Notwithstanding Contractor's right to arbitrate, Contractor does not waive any of its lien rights. You also agree to Pay a 10% fee for the total insurance company's scope of work, including overhead and profit, to AASC for services rendered, after insurance approval, and if you do not use AASC for general construction or roofing of said dwelling.

2. LIMITATIONS OF LIABILITY 2.1 Disclaimer of Warranties. Except as expressly stated herein, there are no other warranties, express or implied, with respect to the Services rendered by AASC personnel and representative or the results obtained from their work. 2.2 Restrictions on Type of Liability. Except as provided for specifically in this Agreement, in no event shall either party (including without limitation the agents and employees thereof) be liable to the other (including without limitation the agents and employees thereof) for any indirect, special, incidental, exemplary, punitive or consequential damages, even if the party shall have been advised of the possibility of such potential loss or damage. 2.3 Maximum Liability. The aggregate liability of AASC (including without limitation the agents and employees thereof) under this Agreement shall not exceed the amount of any payments received by and/or owed to AASC under this Agreement, regardless of the form of action giving rise to such liability (whether in contract, tort or otherwise).

3. Applicable Law. The laws of the State of Texas shall govern this Agreement. All disputes will be resolved in court or arbitration in the governing state. Each party waives its right to a jury trial in any matter arising out of or relating to this Agreement. Texas law requires a person insured under a property insurance policy to pay any deductible applicable to a claim made under the policy. It is a violation of Texas law for a seller of goods or services who reasonably expects to be paid wholly or partly from the proceeds of a property insurance claim to knowingly allow the insured person to fail to pay, or assist the insured person's failure to pay, the applicable insurance deductible.

4. Collection. Owner agrees to pay all collection fees and charges including but not limited to all legal and attorney fees that result should Owner default in payment of this contract. Overdue accounts are subject to interest charged at the rate of 18% per annual or at the highest rate permissible by law.

5. Subject to the limitations set forth below, for a period of 10 years from the date of completion of the work described and specified on the front of your contract (proposal for complete roof system), AASC will make repairs to the installed product (roofing system, including shingles, underlayment and flashing) resulting from defective workmanship. For this warranty to be valid, you must: • Pay the full contract price and proof of payment • Retain a copy of the original contract. AASC will not be responsible for any water damage caused by leaks except for negligence by AASC. AASC is not responsible for anything beyond the roof decking such as but not limited to water pipes, electrical wires etc. This limited warranty excludes: • Any work where AASC did not supply the materials. • Damage caused by impact of foreign objects • Leaks caused by faulty chimneys, gutters or carpenter work • Leaks at eaves or other points within the roof where roofing materials have been broken and said roof breakage is traceable to wind damage, tree branch damage and extreme weather damage. • Leaks or damage caused by lack of maintenance of the property by the homeowner/tenant, including, but not limited to, keeping debris out of the gutter system, keeping trees trimmed a minimum of three feet from the building, drains, scuppers, gutters and downspouts • Leaks or damage caused by modifications made by another party, other than AASC, during the term of the workmanship warranty • Leaks or damage caused by gutter accessory systems, such as gutter guards, gutter helmets, gutter covers, etc., installed by a party other than AASC • Any work which was not performed by AASC, including any acts or omissions of other parties, trades or contractors • Damage or defects caused in whole or in part by reason of fire, explosion, flood, acts of God, extreme weather conditions (i.e. hail, wind), misuse, alterations, abuse, vandalism, negligence, or any other similar causes beyond the control of AASC. • Normal weathering of surfaces • Damage or defects caused by settling, structural movement or structural defects • Damage or defects caused by dry rot, erosion, cracking and porosity of mortar and brick • Damage caused by lack of proper maintenance such as annual inspection included but not limited to caulking and resealing. AASC is not responsible for any damage caused by caulking or sealant product failure • Damage caused by any defects or failure of materials not installed by AASC • Damage relating to the color or other aesthetics of products installed by Contractor according to applicable manufacturers' installation instructions • Damage caused by termites, insects, rodents or other animals • Damage caused by fire or harmful chemicals, oils, acids and the like that come into contact with Owner's siding and/or gutters resulting in damage. **THIS LIMITED WARRANTY IS THE ONLY EXPRESS WARRANTY MADE BY THE CONTRACTOR AND IS IN LIEU OF ALL OTHER WARRANTIES, EXPRESS OR IMPLIED. THIS WARRANTY COVERS ONLY THOSE SERVICES PROVIDED BY AASC TO THE ORIGINAL PURCHASER NAMED ON THE FRONT OF THIS CONTRACT. IN NO EVENT SHALL THE CONTRACTOR BE LIABLE FOR INCIDENTAL OR CONSEQUENTIAL DAMAGES OR DAMAGES IN EXCESS OF THE ORIGINAL CONTRACT PRICE. THIS WARRANTY MAY NOT BE ALTERED OR EXTENDED FOR ANY PURPOSE UNLESS DONE SO IN WRITING IN A DOCUMENT EXECUTED BY ALL PARTIES TO THIS CONTRACT.**

This quote is valid for 10 days unless there is a material price increase. This quote is for the services and/or goods as described above. It is based on our evaluation and does not include additional material and labor if the project details change. Because of the current market instability due to the Coronavirus Pandemic, quotes are subject to change without notice. Pricing and product availability will be confirmed at the time of booking. Special order material requires a 50% deposit.

By approving the estimate you are agreeing to have any dispute arising out of the matters included in the "arbitration of disputes" provision decided by neutral arbitration as provided by law and you are giving up any rights you might possess to have the dispute litigated in a court or jury trial. By initialing in the space below you are giving up your judicial rights to discovery and appeal, unless those rights are specifically, included in the "arbitration of disputes" provision. If you refuse to submit to arbitration after agreeing to this provision, you may be compelled to arbitrate under the authority of the applicable laws. Your agreement to this arbitration provision is voluntary.

I have read and understand the foregoing and agree to submit disputes arising out of the matters included in the "arbitration of disputes" provision to neutral arbitration. I agree by approving this estimate.

www.aaffordableinsulators.com

Name _____

Contact us at 832-534-8836 | office@aaffordableservices.com