

**REVIEWED FOR CODE COMPLIANCE
BY THE CITY OF LEAGUE CITY**
Permits and approved plans must be kept on site.
All construction must comply with City adopted codes.
Follow all City policies and Standard Operating Procedures.

THIS PROJECT SHALL BE CONSIDERED TO BE IN FULL COMPLIANCE WITH ALL RESTRICTIONS OF REGULAR
 (1) ARTS AND CRAFTS, AND ALL OTHER APPLICABLE CITY ORDINANCES AND REGULATIONS, STRUCTURES
 (2) SHALL BE CONSIDERED TO BE IN FULL COMPLIANCE WITH ALL RESTRICTIONS OF REGULAR
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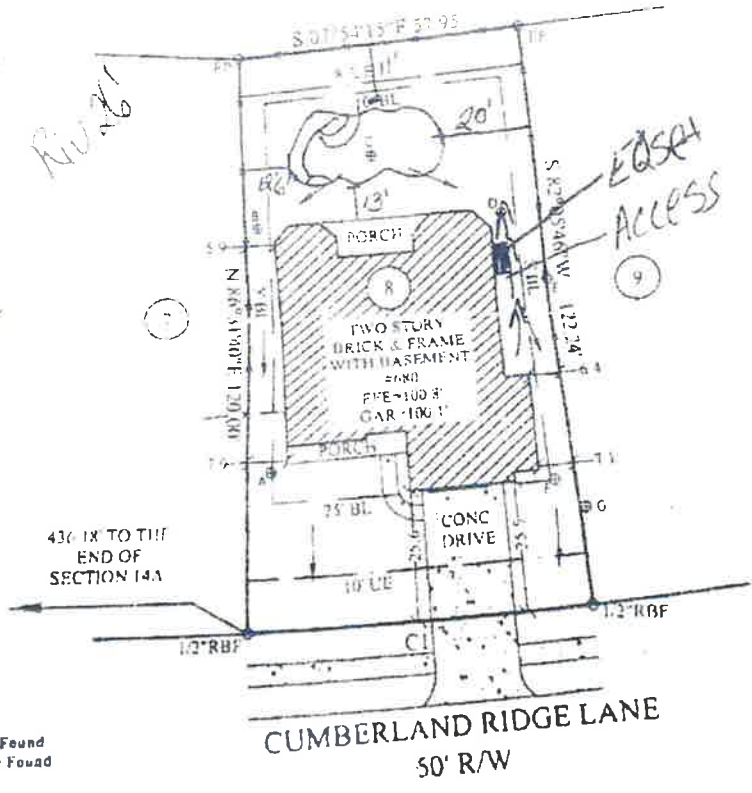
Code	Project	Permit	Field	Approved
11	4500	05/22	05/22	05/22/14

ADDRESS: 780 CUMBERLAND RIDGE LANE

AREA: 1.05 AC (0.07 AC) 100' X 100'
 780 CUMBERLAND RIDGE LANE, 75001442



- ELEVATIONS:**
- A - 90.0
 - B - 70.5
 - C - 9.8
 - D - 90.0
 - E - 90.4
 - F - 90.0
 - G - 90.0



- LEGEND:**
- FP - Fence Post
 - PP - Power Pole
 - P - Power Line
 - SB - Setback Line
 - RRS - Rebar Set
 - KNF - Rebar Found
 - OTPF - Open Top Pipe Found
 - CTPF - Crimp Top Pipe Found
 - BL - Building Line
 - DE - Drainage Easement
 - PE - Perpetual Easement
 - NSSE - Nantary Sewer Easement
 - P - Porch
 - LE - Utility Easement
 - N - Fence
 - D - Drainage Easement
 - S - Sewer Easement
 - CB - Catch Basin
 - R/W - Right of Way
 - CONC - Concrete
 - DK - Deck
 - Pat - Patio
 - S - Sloop

CUMBERLAND RIDGE LANE
50' R/W

TITLE CHECKED: GF # 154-130205443-167

NOTE: BASE ELEVATION IS ASSUMED.
(FOR REFERENCE ONLY)

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND HAS BEEN PREPARED WITHIN THE MINIMUM STANDARDS AND REQUIREMENTS OF LAW

SURVEY FOR:
DR HORTON

SUBDIVISION: WESTOVER PARK
 LOT 8 BLOCK: 3 SECTION 14A
 I & GRNN CO. SURVEY, A 606 & 614
 CITY OF LEAGUE CITY,
 GALVESTON COUNTY, TEXAS
 FIELD WORK DATE: 05/22/2014
 2014050055 DRH

**CARTER LAND SURVEYORS
AND PLANNERS**
 2780 Peachtree Industrial Boulevard
 Duluth, GA 30097
 Ph: 770.495.9793
 Toll Free: 855.637.1048
 www.carterland.com
 Atlanta • Charlotte • Houston • Dallas
 Galveston • Beaumont



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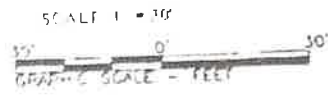
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1. THE SURVEYOR HAS REVIEWED THE PLANS FOR CONFORMANCE WITH THE CITY OF LEAGUE CITY ORDINANCES AND STANDARDS FOR CONSTRUCTION STRUCTURES.
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LINE	BEARING	DISTANCE	AREA	PERIMETER
1	S 07°54'15" E	57.95'		
2	S 82°05'46" W	122.24'		
3	N 86°11'40" E	120.00'		
4	N 07°54'15" W	57.95'		
TOTAL				

ADDRESS: 680 CUMBERLAND RIDGE LANE

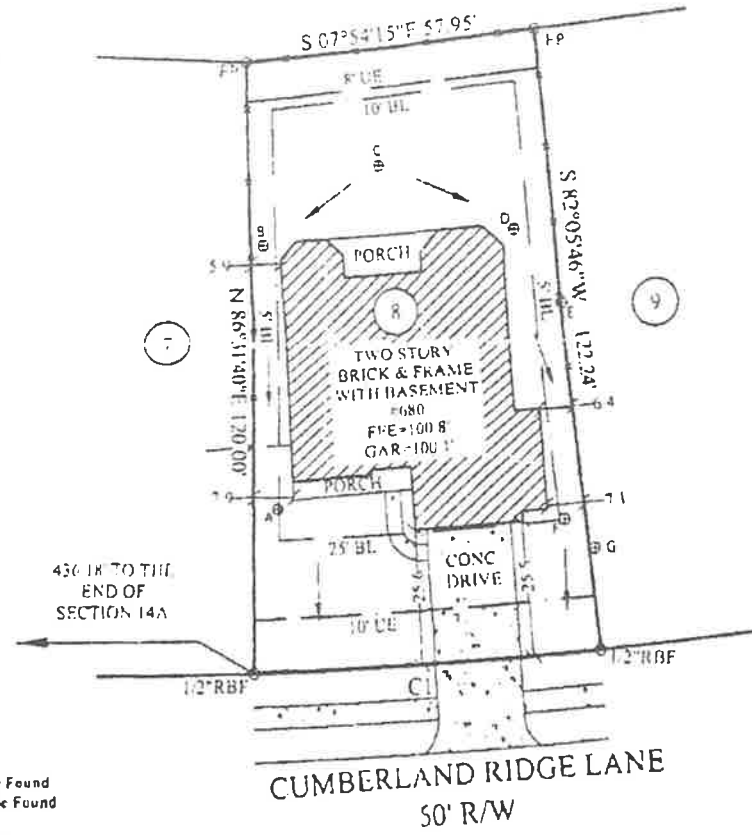
AREA: 1.055 ACRES (0.17 ACRES)
PLAT RECORD 2012 A PGS 109-110



COMMON PRIVACY
FENCES CONSTRUCTED
BY BUILDER

FUTURE DEVELOPMENT

- ELEVATIONS:**
- A - 100.5
 - B - 100.5
 - C - 99.5
 - D - 99.5
 - E - 99.4
 - F - 99.2
 - G - 95.3



- LEGEND:**
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 - PL - Power Line
 - SD - Setback Line
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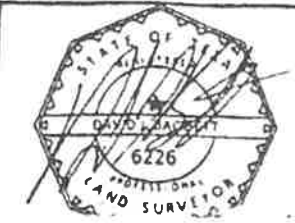
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SURVEY FOR:
DR HORTON

SUBDIVISION WESTOVER PARK
107 R BLOCK 3 SECTION 14A
1 & GRN CO SURVEY, A 606 & 614
CITY OF LEAGUE CITY,
GALVESTON COUNTY, TEXAS
FIELD WORK DATE: 05/22/2014

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STATEMENT OF COMPLIANCE (POOLS BARRIERS AND OPERATION)

I, _____, take the responsibility of installing a barrier to enclose my pool at _____

I understand that this barrier may be of a temporary nature during the construction process, but that a permanent barrier meeting the requirements of the applicable residential or building code shall be installed prior to final inspection. I also understand that the project is NOT finished until the City has completed the final inspection and written confirmation is provided in the form of a signature on the pool job card. I also understand that my pool must be maintained in an operable state (functioning filtration and relative water clarity)

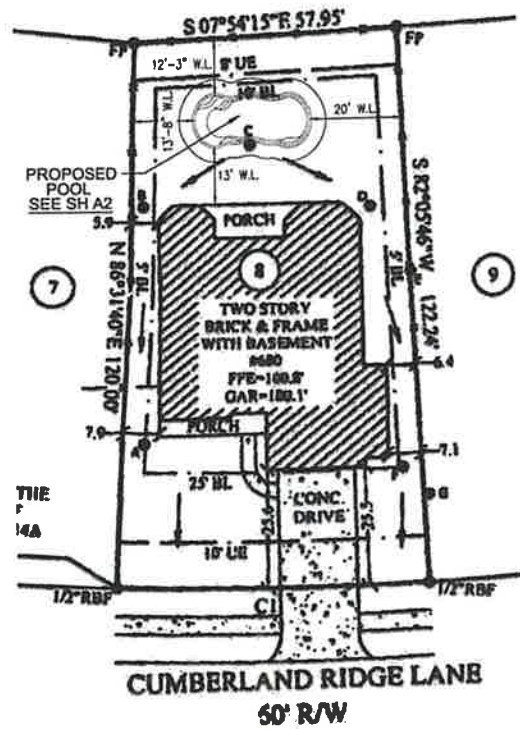
Protective pool barrier must be maintained from the day construction work begins.

- 1. Fencing/gates must be a minimum of 48" in height. (Measured from grade outside pool area).
- 2. Pedestrian access gates in the required barrier shall open outward from the pool.
- 3. Pedestrian access gates must be self-closing and self-latching.
- 4. Gates other than pedestrian access gates must be self-latching.
- 5. The self-latching mechanism must be located a minimum of 54 inches or
 - a. The release mechanism shall be located on the poolside of gate at least 3 inches below the top of gate.
 - b. The gate and barrier shall have no opening larger than 1/2 inch within 18 inches of the release mechanism.
- 6. All doors with access to pool area are to be equipped with an (audible) alarm
- 7. Lot drainage must not be affected by pool.

It shall be unlawful to maintain any swimming pool in the City, which is not fenced in accordance with the above-mentioned requirements and applicable code requirements for pool barriers. All pools shall also be maintained in a functional state with operable filtration equipment and relatively clear water for public safety and health purposes

Owner Signature _____ Date: _____

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SITE PLAN
1"=20'

POOLS 123-HOUSTON, LLC
 26909 Katy Fwy.
 KATY, TX 77494
 Ph-855.794.8994, Cell-281.734.2943

**AUSTIN RESIDENCE
 680 CUMBERLAND RIDGE LN.
 LEAGUE CITY, TX
 77573**

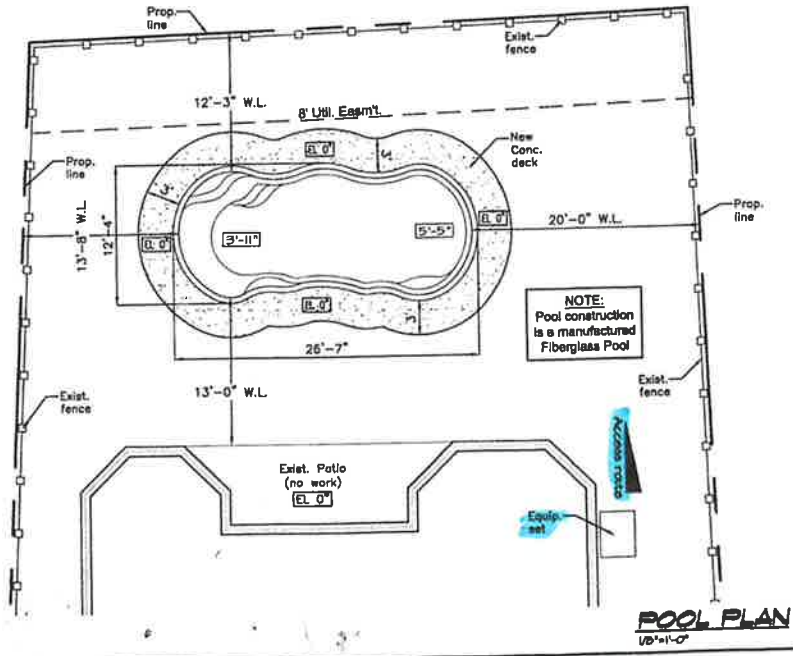
(Issued For Construction)
 This design is the property of
 Pools 123, LLC (Houston)
 Do not duplicate or
 redistribute in any form without
 the written consent of
 Pools 123, LLC (Houston)

Subperson	Joah N.
Issue Date	4-08-20
Subdivision/Addition	
Westover Park Addition	
Lot 8, Block 3, Sect-14A	
Dig-Texas:	

A1

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Pool Specs	
Pool: SqFt	243
Perimeter:	85'-8"
Gallons:	7,800
Equipment	
Pool Pump:	1.55 H.P. VS
Spa Pump:	
Filter Type:	Cartridge - No Backwash
Heater:	
Sanitization:	Auto In-line Chlorinator
Timer or Remote System:	Auto timer w/ freeze protection
Automation:	
Pool Light(s):	(1) LED low voltage light
Spa Light(s):	
Notes:	



POOL PLAN
1/8"=1'-0"

POOLS 123-HOUSTON, LLC
 26909 Katy Fwy.
 KATY, TX 77494
 PH-800.764.8894, Cell-281.734.2943

AUSTIN RESIDENCE
680 CUMBERLAND RIDGE LN.
LEAGUE CITY, TX
77573

<small>(Issued For Construction) This design is the property of Pools123, LLC (Houston) Do not duplicate or redistribute in any form without the written consent of Pools123, LLC (Houston)</small>	
Salesperson	Josh H.
Issue Date	4-09-20
Subdivision/Addition	
Worksheet	Park Addition
Lot #, Block #, Sect.-14A	
Dig-Tons:	