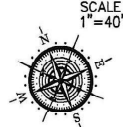
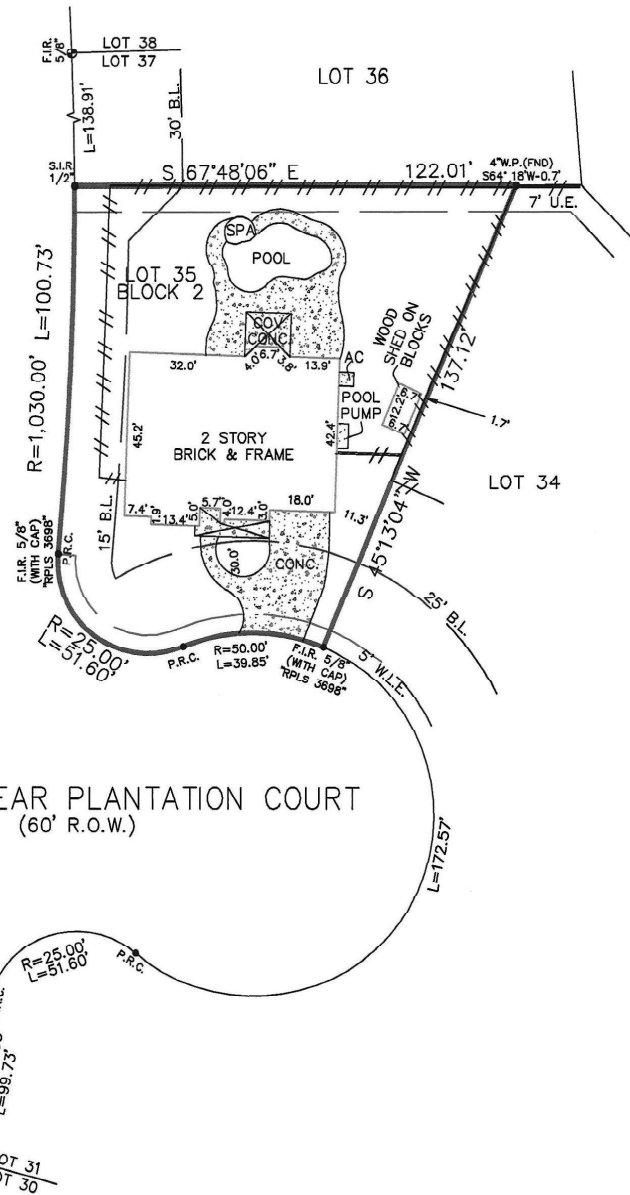


LEGEND * ITEMS THAT MAY APPEAR IN DRAWING BELOW		P.R.C. = POINT OF REVERSE CURVATURE	⊙ = NOT TO SCALE	⊙ = CONTROL MONUMENT	— / — / — = WOODEN FENCE
A.E. = AERIAL EASEMENT	M.P. = METAL POST	P.T. = POINT OF TANGENCY	⊙ = GUY ANCHOR	⊙ = PROPERTY CORNER	— X — X — = CHAIN LINK FENCE
B.L. = BUILDING LINE	M.U.E. = MUNICIPAL UTILITY EASEMENT	P.U.E. = PUBLIC UTILITY EASEMENT	⊙ = POWER POLE	— — — — — = PROPERTY LINE	— — — — — = METAL FENCE
BRS = BEARS	P.A.E. = PERMANENT ACCESS EASEMENT	S.I.R. = SET IRON ROD	⊙ = SERVICE DROP	— — — — — = EASEMENT LINE	— / — / — = WIRE FENCE
C.F.# = CLERK'S FILE NUMBER	P.C. = POINT OF CURVATURE	S.S.E. = SANITARY SEWER EASEMENT		— — — — — = BUILDING SETBACK LINE	— / — / — = VINYL FENCE
D.E. = DRAINAGE EASEMENT	P.C.C. = POINT OF COMPOUND CURVATURE	S.S.E. = SANITARY SEWER EASEMENT		— — — — — = BUILDING WALL	— / — / — = OVERHEAD ELECTRIC POWER LINE
E.E. = ELECTRIC EASEMENT	P.E. = POOL EQUIPMENT	S.S.E. = SANITARY SEWER EASEMENT			
F.I.P. = FOUND IRON PIPE	P.O.C. = POINT OF COMMENCING	S.S.E. = SANITARY SEWER EASEMENT			
F.I.R. = FOUND IRON ROD	P.O.B. = POINT OF BEGINNING	S.S.E. = SANITARY SEWER EASEMENT			
FND. = FOUND	P.P. = POWER POLE	S.S.E. = SANITARY SEWER EASEMENT			



FULSHEAR PLANTATION DRIVE
(60' R.O.W.)

28010 FULSHEAR PLANTATION COURT
(60' R.O.W.)



Reviewed & Accepted by: _____ Date _____ / _____ / _____ Date _____

- NOTES:**
- BEARING BASIS: PLAT
 - SUBJECT TO ANY AND ALL RECORDED AND UNRECORDED EASEMENTS
 - SURVEYOR HAS NOT INDEPENDENTLY ABSTRACTED PROPERTY
 - UNDERGROUND UTILITY INSTALLATIONS, UNDERGROUND IMPROVEMENTS, FOUNDATIONS AND/OR OTHER UNDERGROUND STRUCTURES WERE NOT LOCATED BY THIS SURVEY
 - THIS SURVEY IS CERTIFIED FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS
 - SUBJECT TO RESTRICTIVE COVENANTS AS PER TITLE COMMITMENT
 - SUBJECT TO ZONING AND BUILDING ORDINANCES ENFORCED BY LOCAL MUNICIPALITIES
 - AGREEMENT FOR UNDERGROUND ELECTRIC SERVICE RECORDED C.F. 2007123557
 - PIPE LINE RIGHT-OF-WAY AGREEMENT GRANTED TO TRANSCOSTAL GAS PIPE LINE CORPORATION, A DELAWARE CORPORATION RECORDED VOL. 271 PG. 33, VOL. 272 PG. 225 & VOL. 273 PG. 338 F.B.C.D.R.
 - PIPE LINE RIGHT-OF-WAY AND ESMT. GRANTED TO SHELL PIPE LINE COMPANY, A MARYLAND CORPORATION RECORDED VOL. 285 PG. 465, VOL. 298 PG. 207 AND A PARTIAL RELEASE AND AMENDMENT RECORDED C.F. 2004151801
 - PIPE LINE RIGHT-OF-WAY GRANTED TO PHILLIPS NATURAL GAS COMPANY RECORDED VOL. 1034 PG. 033 DOES NOT VISIBLY AFFECT SUBJECT LOT
 - PIPELINE ESMT. GRANTED TO TERPOD CRUDE PIPELINE, L.P. A DELAWARE LIMITED PARTNERSHIP RECORDED C.F. 2004025377 DOES NOT VISIBLY AFFECT SUBJECT LOT
 - ESMT. GRANTED TO FORT BEND COUNTY DRAINAGE DISTRICT RECORDED VOL. 333 PG. 257 F.B.C.D.R. DOES NOT AFFECT SUBJECT LOT
 - RIGHT OF WAY AMENDMENT GRANTED TO TRANSCOSTAL GAS PIPELINE CORPORATION, A DELAWARE CORPORATION RECORDED C.F. 2005003089 DOES NOT VISIBLY AFFECT SUBJECT LOT

LEGAL DESCRIPTION
LOT THIRTY-FIVE (35), IN BLOCK TWO (2), OF LEGACY AT CROSS CREEK RANCH, SECTION TWO (2), AN ADDITION IN FORT BEND COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF FILED FOR RECORD IN PLAT NO. 20070239 OF THE PLAT RECORDS OF FORT BEND COUNTY, TEXAS.

JASON RITSCHARD
MARIA RITSCHARD
ADDRESS
28010 FULSHEAR PLANTATION COURT



I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON (OR ON ATTACHED SHEET), AND THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN AND WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO OR EXCEEDS THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

JOB # 2105616
DATE 06-03-2021
GF# 2195570KT

PRO-SURV
P.O. BOX 1366, FRIENDSWOOD, TX 77549
PHONE: 281-996-1113 FAX: 281-996-0012
EMAIL: orders@prosurv.net
T.B.P.E.I.S. FIRM #10119300
ONLY SURVEY MAPS WITH THE SURVEYOR'S ORIGINAL SIGNATURE ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION
© 2021 PRO-SURV - ALL RIGHTS RESERVED

T-47.1 RESIDENTIAL REAL PROPERTY DECLARATION IN LIEU OF AFFIDAVIT
(Provided in accordance with Texas Civil Practice and Remedies Code Section 132.001)

Date: _____ GF No. _____

Declarant: Jason Ritschard and Maria Ritchard

Description of Property: LEGACY AT CROSS CREEK RANCH SEC 2, BLOCK 2, LOT 35

County Fort Bend, Texas

Date of Survey: _____

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

The undersigned declares as follows:

1. I am an owner of the Property. (Or state other basis for knowledge of the Property, such as lease, management, neighbor, etc. For example, "Declarant is the manager of the Property for the record title owners.")
2. I am familiar with the property and the improvements located on the Property.
3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
4. To the best of my actual knowledge and belief, since the Date of the Survey, there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, deckings, or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.

EXCEPT for the following (If None, Insert "None" Below):

none

5. I understand that Title Company is relying on the truthfulness of the statements made in this Declaration to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Declaration is not made for the benefit of any other parties and does not constitute a warranty or guarantee of the location of improvements.

6. I understand that I have no liability to Title Company should the information in this Declaration be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.
7. ALL STATEMENTS IN THIS DECLARATION ARE TRUE TO THE BEST OF MY KNOWLEDGE. I UNDERSTAND THAT ANY PERSON INTENTIONALLY MAKING A FALSE STATEMENT MAY BE LIABLE FOR ACTUAL AND/OR PUNITIVE DAMAGES.

<p>My name is <u>Jason Ritschard</u> My date of birth is <u>5/24/69</u> and my address is <u>28010 Fulcher Plantation Ct, Fulshear, TX 77441</u></p> <p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Executed in <u>Fort Bend</u> County, State of <u>TX</u>, on the <u>22</u> day of <u>May</u>, <u>2026</u>.</p> <p>Signed: <u>[Signature]</u> _____ Declarant</p>	<p>My name is <u>Maria Ritschard</u> My date of birth is <u>07.08.1984</u> and my address is <u>28010 Fulshear Plantation Ct, Fulshear, TX, 77441</u></p> <p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Executed in <u>Fort Bend</u> County, State of <u>TX</u>, on the <u>22</u> day of <u>May</u>, <u>2026</u>.</p> <p>Signed: <u>Maria Ritschard</u> _____ Declarant</p>
--	---