

# *First In Home Inspections*

## Property Inspection Report



28010 Fulshear Plantation Ct, Fulshear, TX 77441  
Inspection prepared for: Ruben Garza  
Real Estate Agent: Uzomg Gascey -

Date of Inspection: 4/17/2026 Time: 8:30 AM  
Age of Home: 2008 Size: 3179  
Order ID: 1288  
Inspectors Name: Hector Pina  
TREC #21270

40823 Wesson Ln, Magnolia, TX 77354  
Phone: 281-642-9348

Email: [hpina@firstinhomeinspections.com](mailto:hpina@firstinhomeinspections.com)

## PROPERTY INSPECTION REPORT FORM

<u>Ruben Garza</u>	<u>4/17/2026</u>
<i>Name of Client</i>	<i>Date of Inspection</i>
<u>28010 Fulshear Plantation Ct, Fulshear, , TX 77441</u>	
<i>Address of Inspected Property</i>	
<u>Hector Pina</u>	<u>TREC #21270</u>
<i>Name of Inspector</i>	<i>TREC License #</i>
<u> </u>	<u> </u>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

### PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

### RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspectors findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

### RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

### REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturers installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER ADDITIONAL INFORMATION PROVIDED BY INSPECTOR, OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR****What We Inspect:**

A Home Inspection is a non-invasive visual examination of a residential dwelling, performed for a fee, which is designed to identify observed material defects within specific components of said dwelling. Components may include any combination of mechanical, structural, electrical, plumbing, or other essential systems or portions of the home, as identified and agreed to by the Client and Inspector, prior to the inspection process.

A home inspection is intended to assist in evaluation of the overall condition of the dwelling. The inspection is based on observation of the visible and apparent condition of the structure and its components on the date of the inspection and not the prediction of future conditions.

A home inspection will not reveal every concern that exists or ever could exist, but only those material defects observed on the day of the inspection.

A material defect is a condition with a residential real property or any portion of it that would have a significant adverse impact on the value of the real property or that involves an unreasonable risk to people on the property. The fact that a structural element, system or subsystem is near, at or beyond the end of the normal useful life of such a structural element, system or subsystem is not by itself a material defect.

An Inspection report shall describe and identify in written format the inspected systems, structures, and components of the dwelling and shall identify material defects observed. Inspection reports may contain recommendations regarding conditions reported or recommendations for correction, monitoring or further evaluation by professionals, but this is not required.

\*For orientation purposes only the home faces North\*

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):

- Slab Foundation

Comments:

• In the opinion of the inspector the home displayed some signs of differential settlement. The inspector observed brick cracks at the front windows of home, tile cracks in living along with brick separation at the rear wall. It is the inspectors recommendation to contact a reputable structural engineer for further evaluation on the structure.

• A further evaluation of the foundation was performed by the inspector with the use of a zip level. The inspector begins at a reference point, normally at the center of the home with a zero reading and then takes readings at random locations throughout the home. Adjustments were made for different floor covering heights. Possible margin of error is (+/-) 1/10th of inch. All readings are displayed in inches.

- Reference point measurement was taken at living room with a 0.0 reading
- A reading of -0.3 inches was taken at the Front Door.
- A reading of 0.0 inches was taken at the Back Door.
- A reading of 0.0 inches was taken at the Garage Door
- A reading of -0.8 inches was taken at the North wall
- A reading of -1.6 inches was taken at the Northeast corner
- A reading of -0.6 inches was taken at the East wall
- A reading of -0.9 inches was taken at the Southeast corner
- A reading of +0.1 inches was taken at the South wall
- A reading of +0.2 inches was taken at the Southwest corner
- A reading of +0.6 inches was taken at the Northwest corner
- Note : The foundation presented with corner cracks. These are quite common and not a structural concern. Monitor the area for any further separating cement, cracking in brick, or unsupported brick.
- Crack observed - Garage flooring.
- In the opinion of the inspector the home displayed some signs of differential settlement. The inspector observed brick cracks at the front windows of home, tile cracks in living along with brick separation at the rear wall. It is the inspectors recommendation to contact a reputable structural engineer for further evaluation on the structure.

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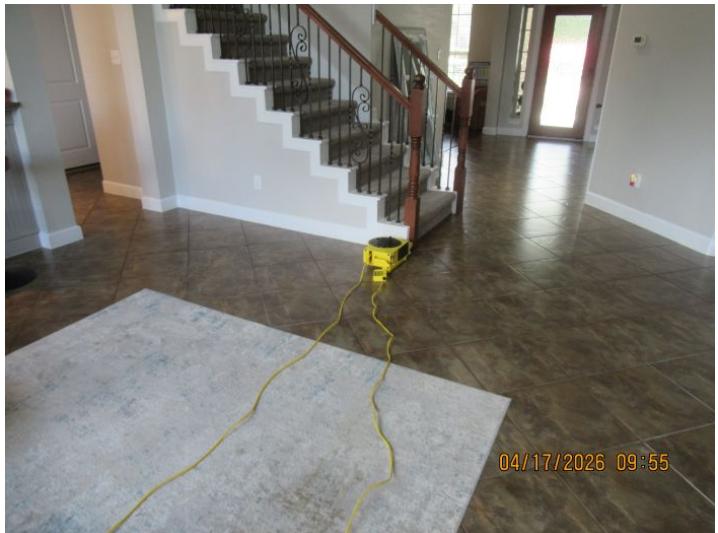
Crack observed



Note : The foundation presented with corner cracks. These are quite common and not a structural concern. Monitor the area for any further separating cement, cracking in brick, or unsupported brick.



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Reference point measurement was taken at living room with a 0.0 reading

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Grading and Drainage
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Comments:

- Comments:

Proper grading and drainage plays an important role in maintaining proper performance of your foundation. As a general rule it is recommended to keep a foundation clearance of 4 inches from brick to grade and 6 inches for all other siding material with a slope away from the house of 1/4 per foot. This will help with preventing water sloping towards the house, avoid wood rot and conditions that would be ideal for wood destroying insects.

- The top of the foundation wall had inadequate clearance from grade. The top of the foundation wall should be a minimum of six inches above soil. Inadequate clearance may result in moisture intrusion of the structure. Excessively high moisture levels can result in damage to the home structure or materials from decay or deterioration and may result in conditions which encourage the growth of microbes such as mold fungi. The Inspector recommends re-grading around the home perimeter to provide increased clearance from grade.

- One or more gutter terminations appeared to be blocked. This condition does not allow for proper drainage.

- Home displayed signs of gutters terminating in the soil indicating the presence of french drains. Inspecting French drains is not within the scope of standard home inspection because they are typically located underground and not visible. Recommend periodic maintenance/clearing of french drains.

- One or more locations at gutter downspouts showed signs of damaged.

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One or more locations at gutter downspouts showed signs of damaged.



The top of the foundation wall had inadequate clearance from grade. The top of the foundation wall should be a minimum of six inches above soil. Inadequate clearance may result in moisture intrusion of the structure. Excessively high moisture levels can result in damage to the home structure or materials from decay or deterioration and may result in conditions which encourage the growth of microbes such as mold fungi. The Inspector recommends re-grading around the home perimeter to provide increased clearance from grade.

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C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt shingles noted.

Viewed From:

- Ground with binoculars

Comments:

• Note: Roof systems consist of many components, some of which are not accessible under the best of conditions. The height, pitch, and weather conditions at the time of inspection dictate the method of inspection. Detection of defects should not be expected beyond the degree that these conditions allow, or beyond the limitations imposed by the method of inspection stated above. Even under the best conditions there is no guarantee against leakage. Roofing problems can occur at any time, monitor seasonally for loose shingles, wind or hail damage and any other signs of deterioration.

• The home had no kick-out flashing installed or missing in appropriate locations. Kick-out flashing is designed and installed to divert water from behind the exterior wall covering at areas of the home where a sidewall extends out past a connecting roof eave. This condition may allow moisture intrusion of the exterior wall covering.

• Its was observed that one or more tree branches were either to close or in contact with the roof. Tree branches typically damage shingles when they come in contact with them reducing the life of the shingle. It is recommended to trim the branches back and contact a reputable roofing contractor to replace/repair and damaged shingles.

• Prior repairs to the roofing material and/or flashing were observed in one or more locations.

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Prior repairs to the roofing material and/or flashing were observed in one or more locations.

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Prior repairs to the roofing material and/or flashing were observed in one or more locations.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	D. Roof Structure and Attics
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Viewed From:

- Accessible portions of the attic

Approximate Average Depth of Insulation:

- Insulation is 11 inches deep

Comments:

- Note: Standing from the solid flooring in the attic only it was inspected using a strong light, hidden problems may exist that are not discovered due to limitations such as : poor access, obstruction, duct work, personal items, or any other equipment. Inspector does not traverse ceiling joists.



Front - Visible step flashing missing

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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	E. Walls (Interior and Exterior)
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Wall Materials:

- Exterior walls are made of fiber cement board
- Exterior walls are made of brick

Comments:

- Inspector noted one or more gap openings on the exterior walls. Seal gaps around all wall penetrations to prevent from water intrusion, pest entry and conditioned air from escaping the home. Several types of sealant are adequate when sealing these gaps, however; the type you choose should depend on the size of the gap.
- Steel lintel were observed to be exposed and not embedded in the mortar. This causes the lintel to rust and can cause the mortar to crack.
- One or more locations of damaged fiber cement board
- Brick cracks observed.



Brick cracks observed.



Brick cracks observed.

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Trim and brick separation



Brick cracks observed.



Inspector noted one or more gap openings on the exterior walls. Seal gaps around all wall penetrations to prevent from water intrusion, pest entry and conditioned air from escaping the home. Several types of sealant are adequate when sealing these gaps, however; the type you choose should depend on the size of the gap.



Brick cracks observed.

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I	NI	NP	D
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Brick cracks observed.



Steel lintel were observed to be exposed and not embedded in the mortar. This causes the lintel to rust and can cause the mortar to crack.



Mortar crack

X			X
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F. Ceilings and Floors

Ceiling and Floor Materials:

- Ceiling is made of drywall

Comments:

- Ceiling cracks were observed
- Locations of damaged tiles.

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I	NI	NP	D
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Ceiling cracks were observed (Garage)



Ceiling cracks were observed



Locations of damaged tiles.

X			X
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G. Doors (Interior and Exterior)

Comments:

- All doors are functional
- Inspector noted on or more locations of missing or damaged door stops
- Attached garage doorway is equipped with either missing or non-functioning self-closing hinges. Recommend correction.
- Inspector noted one or more interior doors that do not latch properly in strike plate.

I=Inspected

NI=Not Inspected

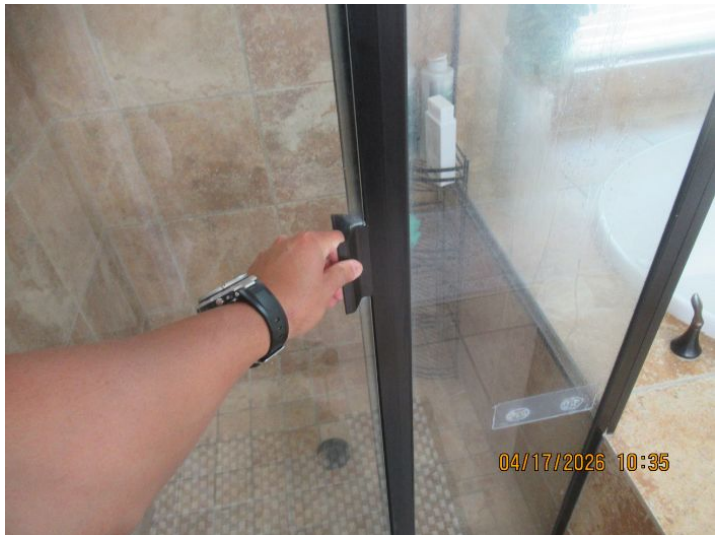
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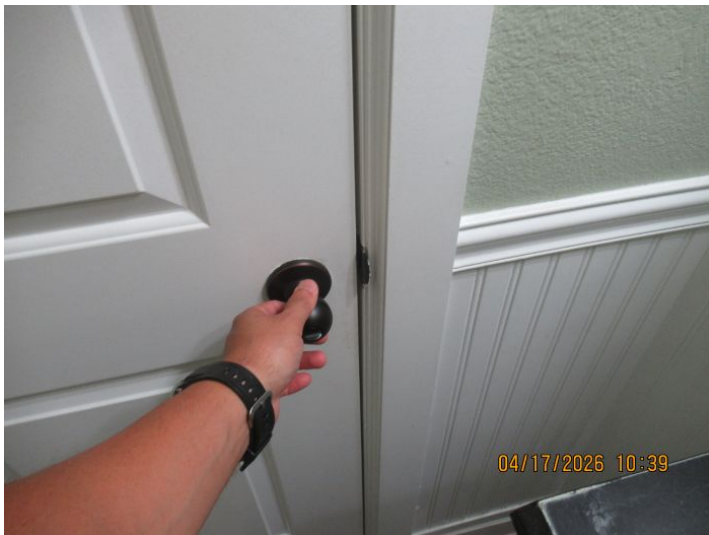
I	NI	NP	D
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Attached garage doorway is equipped with either missing or non-functioning self-closing hinges. Recommend correction.



Shower door does not close smoothly



Inspector noted one or more interior doors that do not latch properly in strike plate.



Inspector noted one or more interior doors that do not latch properly in strike plate.

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I	NI	NP	D
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Inspector noted one or more interior doors that do not latch properly in strike plate.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
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Window Types:

Comments:

- All windows are functional
- Note: One or more windows were inaccessible to the inspector for inspection
- Recommend further sealant on the exterior of window frames to prevent water intrusion and the loss of conditioned air.
- Inspector noted on or more foggy windows or other indication that the window seal has failed. When window seals fail, they are less effective as weather barriers. Recommend further evaluation by reputable window company on repairs needed.

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Inspector noted on or more foggy windows or other indication that the window seal has failed. When window seals fail, they are less effective as weather barriers. Recommend further evaluation by reputable window company on repairs needed.

Recommend further sealant on the exterior of window frames to prevent water intrusion and the loss of conditioned air.



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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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I. Stairways (Interior and Exterior)

Comments:  
• Functional

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I	NI	NP	D
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Functional

X			
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J. Fireplaces and Chimneys

Locations:

- Fireplace is located in the living room

Types:

- Fireplace is prefabricated

Comments:

- Note : Over time the normal use of a fireplace could result in the buildup of creosote and tar like substance in the chimney flue. It is recommended to be cleaned and or serviced on a regular basis or according to manufacturers recommendations.

- Unit operational



Unit operational

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I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	K. Porches, Balconies, Decks, and Carports
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Comments:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	L. Other
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Materials:

Comments:

- The inspector observed fence work in poor condition or in need or repairs.



The inspector observed fence work in poor condition or in need or repairs.

## II. ELECTRICAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Service Entrance and Panels
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Panel Locations:

- Electrical panel is located on the west side of the building
- Electrical panel is located in the garage

Materials and Amp Rating:

- 150 amp

Comments:

- The service panel brand was Square D
- Electrical conductors were not protected from the edges of electrical cabinets, gutters, or cutout boxes
- Inspector noted white insulated wires in the panel being used as 'hot' for a 240 volt circuit. This is a common practice in electrical panels, however the white insulated wire should be marked to indicate it is used as a 'hot' wire. This can be done by marking the wire with black/red paint or tape to identify the wire as 'hot'. Recommend correction by a licensed electrician
- Vibration heard in sub-panel. Likely coming from operation of pool pump - Recommend evaluation for correction.

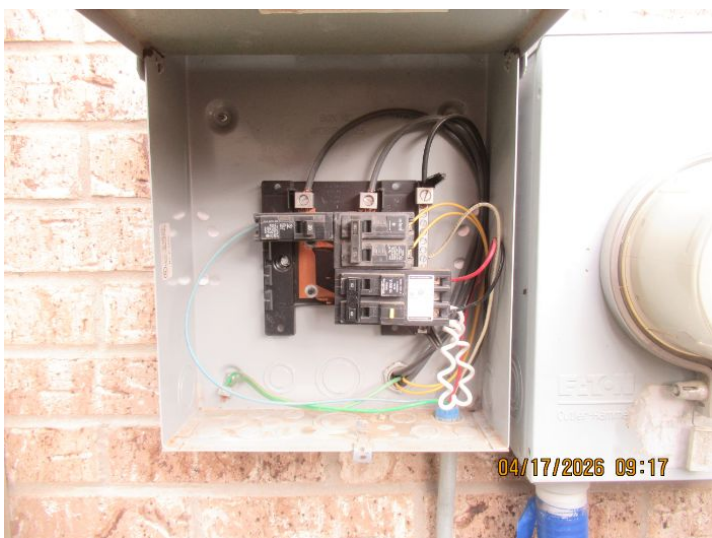
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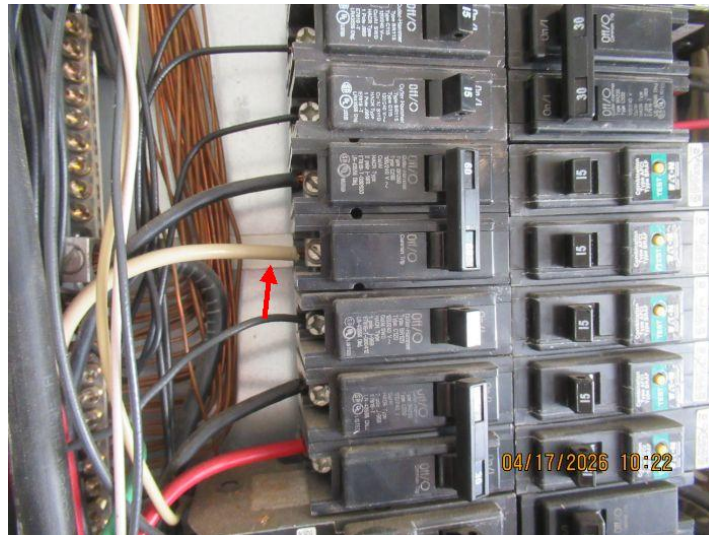
I	NI	NP	D
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Electrical conductors were not protected from the edges of electrical cabinets, gutters, or cutout boxes

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I	NI	NP	D
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Inspector noted white insulated wires in the panel being used as 'hot' for a 240 volt circuit. This is a common practice in electrical panels, however the white insulated wire should be marked to indicate it is used as a 'hot' wire. This can be done by marking the wire with black/red paint or tape to identify the wire as 'hot'. Recommend correction by a licensed electrician

B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:  
 • Copper wiring

- Comments:
- Locations of inoperable bulbs/light fixture. Recommend appropriate correction.
  - One or more outlets presented with an obstruction in the outlet making plugging in tester either difficult or not possible.
  - GFCI (Ground fault circuit interrupter) outlets were noted to be missing or did not operate properly in required locations. GFCI outlets should be located in Bathrooms, Garages, Exterior, Crawlspace/Basements, outlets that serve a kitchen countertop, outlets withing 6ft of a sink, bathtub, shower. Recommend correction by a licensed electrician. (kitchen)

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Two disconnects noted with only one A/C - Inquire on reasoning



GFCI (Ground fault circuit interrupter) outlets were noted to be missing or did not operate properly in required locations. GFCI outlets should be located in Bathrooms, Garages, Exterior, Crawlspace/Basements, outlets that serve a kitchen countertop, outlets within 6ft of a sink, bathtub, shower. Recommend correction by a licensed electrician. (kitchen)



Locations of inoperable bulbs/light fixture. Recommend appropriate correction.



No remote present for front ceiling fan

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I	NI	NP	D
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One or more outlets presented with an obstruction in the outlet making plugging in tester either difficult or not possible.

Locations of inoperable bulbs/light fixture. Recommend appropriate correction.

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C. Other
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Comments.

### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A. Heating Equipment
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Type of Systems:

- Gas fired forced hot air.

Energy Sources:

- The furnace is gas powered

Comments:

- Note : HVAC systems should be inspected and services by a licensed technician per manufactures recommendations or on an annual basis. Buyer should consider having their system serviced if unable to obtain pervious service records from seller.

- This furnace responded adequately to the call for heat.

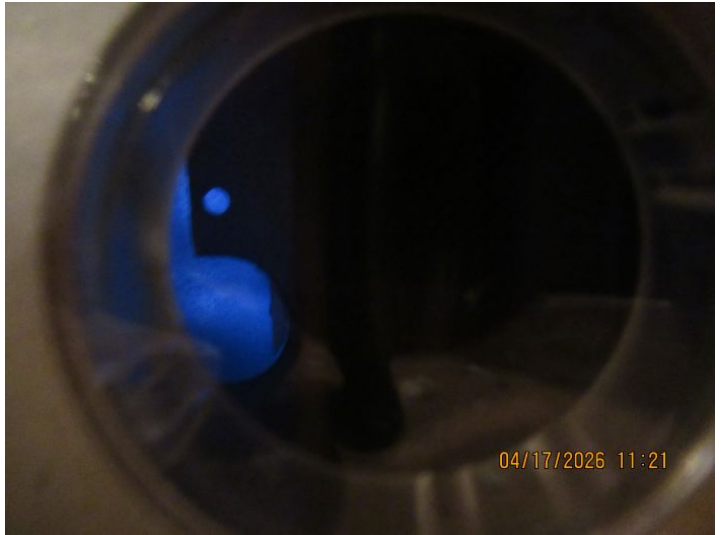
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This furnace responded adequately to the call for heat.



This furnace responded adequately to the call for heat.

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I	NI	NP	D
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B. Cooling Equipment

Type of Systems:

Comments:

- Note : HVAC systems should be inspected and services by a licensed technician per manufactures recommendations or on an annual basis. Buyer should consider having their system serviced if unable to obtain pervious service records from seller.
- Manufacturer/Brand : Lennox
- Approx Manufacturer date : 2014
- A/C drain pan in the attic showed signs of rust or corrosion. No water was present in the pan at time of inspection. This is an indication previous standing water was in the pan at one point in time.
- Insulation on the air-conditioning suction (large, insulated) line was damaged, missing, or deteriorated at areas and should be replaced by a qualified HVAC contractor.

- Temperature Difference  
Return : 72.1  
Register : 63.5  
Difference : 8.6

A 15-22 degree temperature difference is recommended between Return and Registers. Recommend servicing the unit by a licensed HVAC technician.



Exterior Compressor/Condensing Unit(s)



Unit #1 Label

I=Inspected

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NP=Not Present

D=Deficient

I	NI	NP	D
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Insulation on the air-conditioning suction (large, insulated) line was damaged, missing, or deteriorated at areas and should be replaced by a qualified HVAC contractor.

Unit #1 Return Air Temp



Unit #1 Supply Air Temp



A/C drain pan in the attic showed signs of rust or corrosion. No water was present in the pan at time of inspection. This is an indication previous standing water was in the pan at one point in time.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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C. Duct Systems, Chases, and Vents

Comments:

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	D. Other
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Comments.

#### IV. PLUMBING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Plumbing Supply, Distribution System and Fixtures
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Location of Water Meter:

- Front of structure

Location of Main Water Supply Valve:

- Garage

Comments:

- Static Water Pressure Reading: 60psi
- Type of Supply Piping Material: PVC
- Any plumbing component not completely visible to the inspector or inaccessible should not be considered inspected. All plumbing is inspected within the limitations of a visual inspection. Inspector does not fill tubs up to the overflow drain.
- Note : Due to pipes hidden behind walls and underneath insulation. Inspector was unable to determine if all metal pipes inside the home are adequately bonded. Bonding is required on metal water and gas pipes to provide a path to ground in the rare event that electricity comes in contact with the pipes.
- Hose bibs are missing back flow preventers
- Recommend insulating all exterior piping to protect against the elements
- Tub fixture diverter handle did not operate properly
- Inspector noted plumbing fixture with low pressure. Recommend further evaluation/correction.



Recommend insulating all exterior piping to protect against the elements



Hose bibs are missing back flow preventers

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Static Water Pressure Reading: 60psi



Leaky hose bib



Loose plumbing fixture



Inspector noted plumbing fixture with low pressure. Recommend further evaluation/correction.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Inspector noted plumbing fixture with low pressure. Recommend further evaluation/correction.



Inspector noted plumbing fixture with low pressure. Recommend further evaluation/correction.



Tub fixture diverter handle did not operate properly

X			X
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B. Drains, Wastes, and Vents

Comments:

- Type of Drain Piping Material: PVC
- One or more sink drain stoppers did not operate as intended. Recommend correction/repair.
- Moisture noted around the base of toilet - Upstairs. Recommend further evaluation for any possible leaks.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

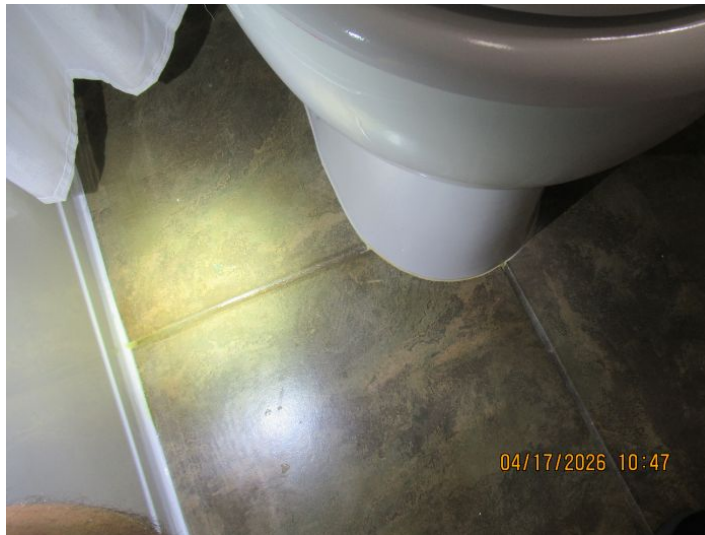
I	NI	NP	D
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Movement noted in main cleanout - Recommend evaluation by licensed plumber



One or more sink drain stoppers did not operate as intended. Recommend correction/repair.



Moisture noted around the base of toilet - Upstairs. Recommend further evaluation for any possible leaks.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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C. Water Heating Equipment

Energy Source:

- Water heater is gas powered

Capacity:

- Unit is 40 gallons

Comments:

- Note: The average service life of a properly maintained water heater is 10-15 years for a gas supplied unit.
- Manufacturer Date : 2021
- Manufacturer Date : 2008
- Unit operational

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

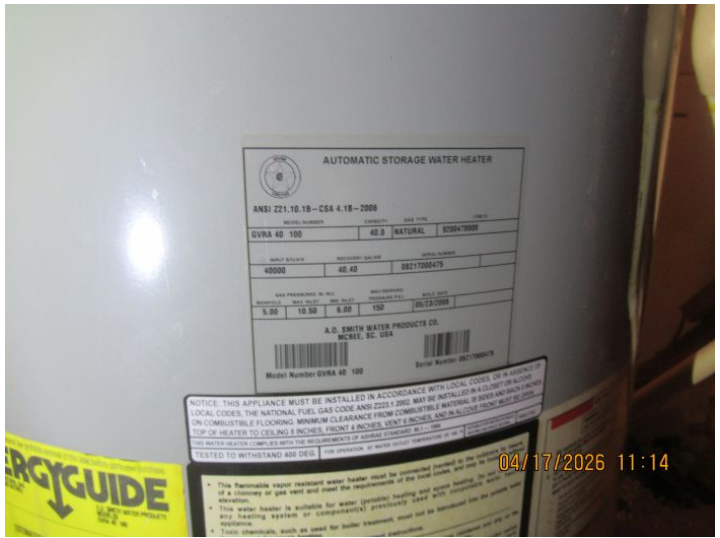
I	NI	NP	D
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Unit Operational



Unit Label



Unit Label

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter

- West Exterior Wall

Type of Gas Distribution Piping Material

- Black Iron Pipe

Comments.

- Note : Due to pipes hidden behind walls and underneath insulation. Inspector was unable to determine if all metal pipes inside the home are adequately bonded. Bonding is required on metal water and gas pipes to provide a path to ground in the rare event that electricity comes in contact with the pipes.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Other
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Materials:  
Comments:

### V. APPLIANCES

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Dishwashers
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Comments:

- The dishwasher was operated through a normal cycle and appeared to be in serviceable condition at the time of the inspection.
- **Observed rust on Dishwasher trays**



Observed rust on Dishwasher trays

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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**B. Food Waste Disposers**

Comments:

- Operated - appeared functional at time of inspection.
- Delay in response for disposal to switch noted.

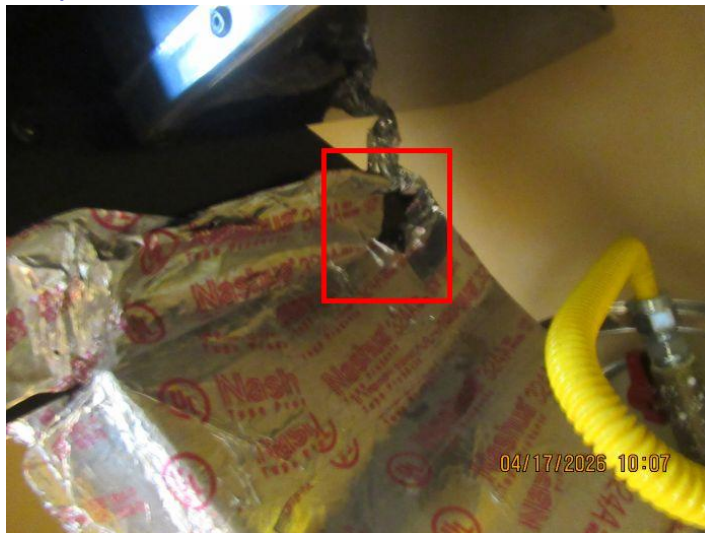


Delay in response for disposal to switch noted.

**C. Range Hood and Exhaust Systems**

Comments:

- Microwave range hood combo unit
- Gap in tape noted.



Microwave range hood combo unit

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---

D. Ranges, Cooktops, and Ovens

Comments:

- All stove top gas burners operated when tested
- Oven temperature was within acceptable range. Acceptable range is + or - 25 degrees when oven is set at 350 degrees.



All stove top gas burners operated when tested - Improper flame color noted.



Oven temperature was within acceptable range. Acceptable range is + or - 25 degrees when oven is set at 350 degrees.

E. Microwave Ovens

Comments:

- Microwave operated normally



Microwave operated normally

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Mechanical Exhaust Vents and Bathroom Heaters
-------------------------------------	--------------------------	--------------------------	--------------------------	--

Comments:  
 • The bath fans were operated and no issues were found.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. Garage Door Operators
-------------------------------------	--------------------------	--------------------------	--------------------------	--------------------------

Door Type:  
 Comments:  
 • Note: The inspector does not test the resistance auto-reverse feature due to the possible damage that could occur to the door if this feature is not operating properly.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	H. Dryer Exhaust Systems
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Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	I. Other
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Observations:

### VI. OPTIONAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
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Comments:  
 • Note : Inspector manually operates all stations/zones through the controller

Sprinkler systems require regular maintenance. This is not an exhaustive inspection to ensure entire coverage of the yard. Certain sprinklers may have to be adjusted to avoid spraying onto the home, sidewalks, driveways, decks and other areas not intended to be watered. Inspector does not inspect for effective coverage, automatic function of controller, proper operation of sensors such as rain sensor etc, and proper sizing of the backflow preventer.

- System did not appear to be equipped with a rain sensor at the time of inspection.
- System is not equipped with a legend/label indicating locations of individual zones.
- One or more sprinkler heads were in need or adjustment to not spray structure, driveways or other areas.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Backflow Preventer Location



One or more sprinkler heads were in need or adjustment to not spray structure, driveways or other areas.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
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Type of Construction:

- In-Ground
- Cartridge Filter

Comments:

- Pool Pump Operational
- Pool Heater Operational at time of inspection
- Spa Blower Operational
- Improvements are recommended to the pool barriers. Due to the lengthy requirements, inspector has provided the client with this link of "Safety Barrier Guidelines for Residential Pools" booklet. This booklet explains the requirements for pool and spa barriers in great detail and is provided by the U.S. Consumer Product Safety Commission (CPSC).

<https://www.cpsc.gov/s3fs-public/362%20Safety%20Barrier%20Guidelines%20for%20Pools.pdf>

- Spa Blower resting on the home.
- Inspector unable to confirm appropriate bonding of pool equipment. Bonding is required to get all metal parts of the electrical equipment and the non-electrical metal parts of the pool/spa structure to attain equal electrical potential. Bonding of metal parts of the electrical equipment makes a low-impedance path for fault current back to the source circuit to trip the over-current device. Recommend appropriate repairs by qualified contractor.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Inspector unable to confirm appropriate bonding of pool equipment. Bonding is required to get all metal parts of the electrical equipment and the non-electrical metal parts of the pool/spa structure to attain equal electrical potential. Bonding of metal parts of the electrical equipment makes a low-impedance path for fault current back to the source circuit to trip the over-current device. Recommend appropriate repairs by qualified contractor.



Gap in tile noted - Spa



Spa light operational

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Spa Blower resting on the home.



Spa Blower Operational



Pool Heater Operational at time of inspection



Pool Heater Operational at time of inspection

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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C. Outbuildings

Materials:  
Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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D. Private Water Wells (A coliform analysis is recommended)

Type of Pump:  
Type of Storage Equipment:  
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal Systems
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Type of System:  
 Location of Drain Field:  
 Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	F. Other Built-in Appliances
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Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	G. Other
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Comments.

## Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.
PVC	Polyvinyl chloride, which is used in the manufacture of white plastic pipe typically used for water supply lines.

## Report Summary

The summary below consists of potentially significant findings. These findings can be a safety hazard, a deficiency requiring a major expense to correct or items I would like to draw extra attention to. The summary is not a complete listing of all the findings in the report, and reflects the opinion of the inspector. Please review all pages of the report as the summary alone does not explain all of the issues. All repairs should be done by a licensed & bonded tradesman or qualified professional. I recommend obtaining a copy of all receipts, warranties and permits for the work done.

STRUCTURAL SYSTEMS		
Page 4 Item: A	Foundations	<ul style="list-style-type: none"> <li>In the opinion of the inspector the home displayed some signs of differential settlement. The inspector observed brick cracks at the front windows of home, tile cracks in living along with brick separation at the rear wall. It is the inspectors recommendation to contact a reputable structural engineer for further evaluation on the structure.</li> </ul>
Page 13 Item: F	Ceilings and Floors	<ul style="list-style-type: none"> <li>Locations of damaged tiles.</li> </ul>
Page 16 Item: H	Windows	<ul style="list-style-type: none"> <li>Inspector noted on or more foggy windows or other indication that the window seal has failed. When window seals fail, they are less effective as weather barriers. Recommend further evaluation by reputable window company on repairs needed.</li> </ul>
ELECTRICAL SYSTEMS		
Page 19 Item: A	Service Entrance and Panels	<ul style="list-style-type: none"> <li>Vibration heard in sub-panel. Likely coming from operation of pool pump - Recommend evaluation for correction.</li> </ul>
HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS		
Page 25 Item: B	Cooling Equipment	<ul style="list-style-type: none"> <li>Temperature Difference Return : 72.1 Register : 63.5 Difference : 8.6</li> <li>A 15-22 degree temperature difference is recommended between Return and Registers. Recommend servicing the unit by a licensed HVAC technician.</li> </ul>
PLUMBING SYSTEMS		
Page 27 Item: A	Plumbing Supply, Distribution System and Fixtures	<ul style="list-style-type: none"> <li>Inspector noted plumbing fixture with low pressure. Recommend further evaluation/correction.</li> </ul>
Page 29 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> <li>Moisture noted around the base of toilet - Upstairs. Recommend further evaluation for any possible leaks.</li> </ul>
APPLIANCES		
Page 33 Item: B	Food Waste Disposers	<ul style="list-style-type: none"> <li>Delay in response for disposal to switch noted.</li> </ul>