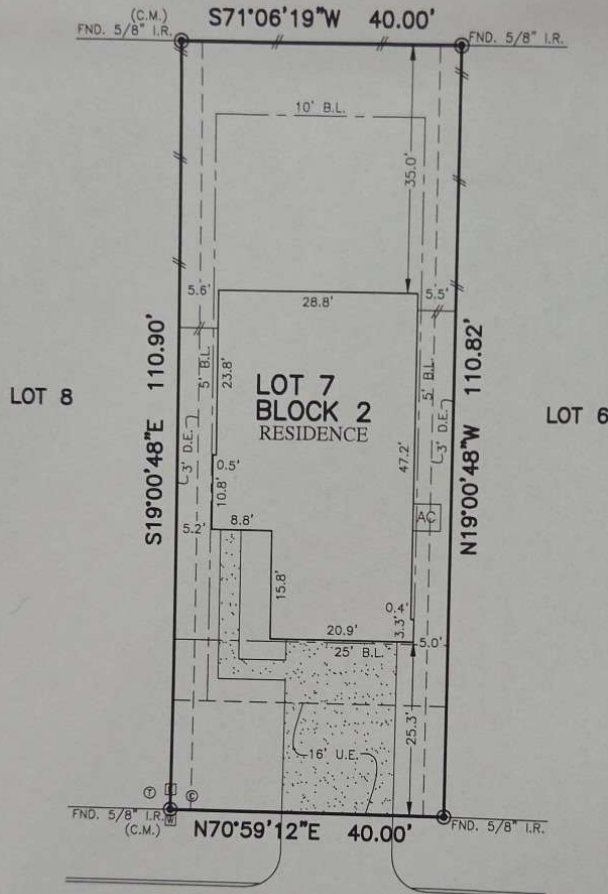




FLATWORK	B.L. BUILDING LINE	U.E. UTILITY EASEMENT	A.E. AERIAL EASEMENT	⊙ LIGHT POLE	⊗ MANHOLE
PROPERTY LINE	G.B.L. GARAGE BUILDING LINE	W.L.E. WATER LINE EASEMENT	D.E. DRAINAGE EASEMENT	⊠ ELECTRIC BOX	⊠ GRATE DRAIN
BUILDING LINE	(B.G.) BUILDER GUIDELINES	S.S.E. SANITARY SEWER EASEMENT	E.E. ELECTRIC EASEMENT	⊠ FIBER OPTIC	⊠ PAD MOUNTED TRANSFORMER
EASEMENT	F.F. FINISHED FLOOR	S.T.M.S.E. STORM SEWER EASEMENT	⊙ WATER VALVE	⊠ TELEPHONE PEDESTAL	⊠ GAS METER
WOODEN FENCE	EXT. EXTENDED	F.A.E. PERMANENT ACCESS EASEMENT	⊙ FIRE HYDRANT	⊠ CABLE PEDESTAL	⊠ WATER METER
WROUGHT IRON FENCE	R.O.W. RIGHT-OF-WAY	P.U.E. PUBLIC UTILITY EASEMENT	⊙ MONUMENT	⊠ WATER METER	⊠ GUY ANCHOR
CHAIN LINK FENCE	T.O.F. TOP OF FORM	P.V.T. PRIVATE I.R. IRON ROD	⊙ POWER POLE	⊠ MANHOLE & INLET	⊠ INLET
OVERHEAD ELECTRIC	C.M. CONTROL MONUMENT	F.N.D. FOUND I.F. IRON PIPE			

FERDINAND F. BOUDREAU, III  
 & WIFE TAMSEN VALOIR  
 C.C.F.N. 9232686, R.P.R.M.C.T.



3628  
 CUB DRIVE  
 (50' R.O.W.)

PLAT OF SURVEY  
 SCALE: 1" = 20'

- NOTES:  
 1. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT.  
 2. ALLPOINTS LAND SURVEY, INC. IS NOT LIABLE FOR ANY DAMAGES DUE TO INFORMATION NOT PROVIDED TO SURVEYOR OR BUILDER PLACING ANY IMPROVEMENTS WITHIN A BUILDING LINE OR EASEMENT.  
 3. ALL SET RODS ARE 5/8" I.R. WITH CAP MARKED "ALLPOINTS SURVEY"  
 4. ALL FOUND IRON RODS ARE CAPPED WITH PLASTIC CAPS MARKED "JEFF MOON" UNLESS OTHERWISE NOTED.  
 5. SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM 1, SCHEDULE "B" OF TITLE COMMITMENT ISSUED BY STEWART TITLE GUARANTY UNDER G.F. No 1708556.

FOR: ERIN ELIZABETH SCHOCK  
 ADDRESS: 3628 CUB DRIVE  
 ALLPOINTS JOB#: LD255469 BY: BMG  
 G.F.: 1708556  
 JOB: 192-209

LOT 7, BLOCK 2,  
 MACKENZIE CREEK, SECTION 2,  
 CAB. Z, SHT. 6923, MAP RECORDS,  
 MONTGOMERY COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE  
 RESULTS OF A SURVEY MADE ON THE GROUND, ON THE 6TH  
 DAY OF SEPTEMBER, 2022

*Henry M. Santos*



0001934  
 WSS (LS)