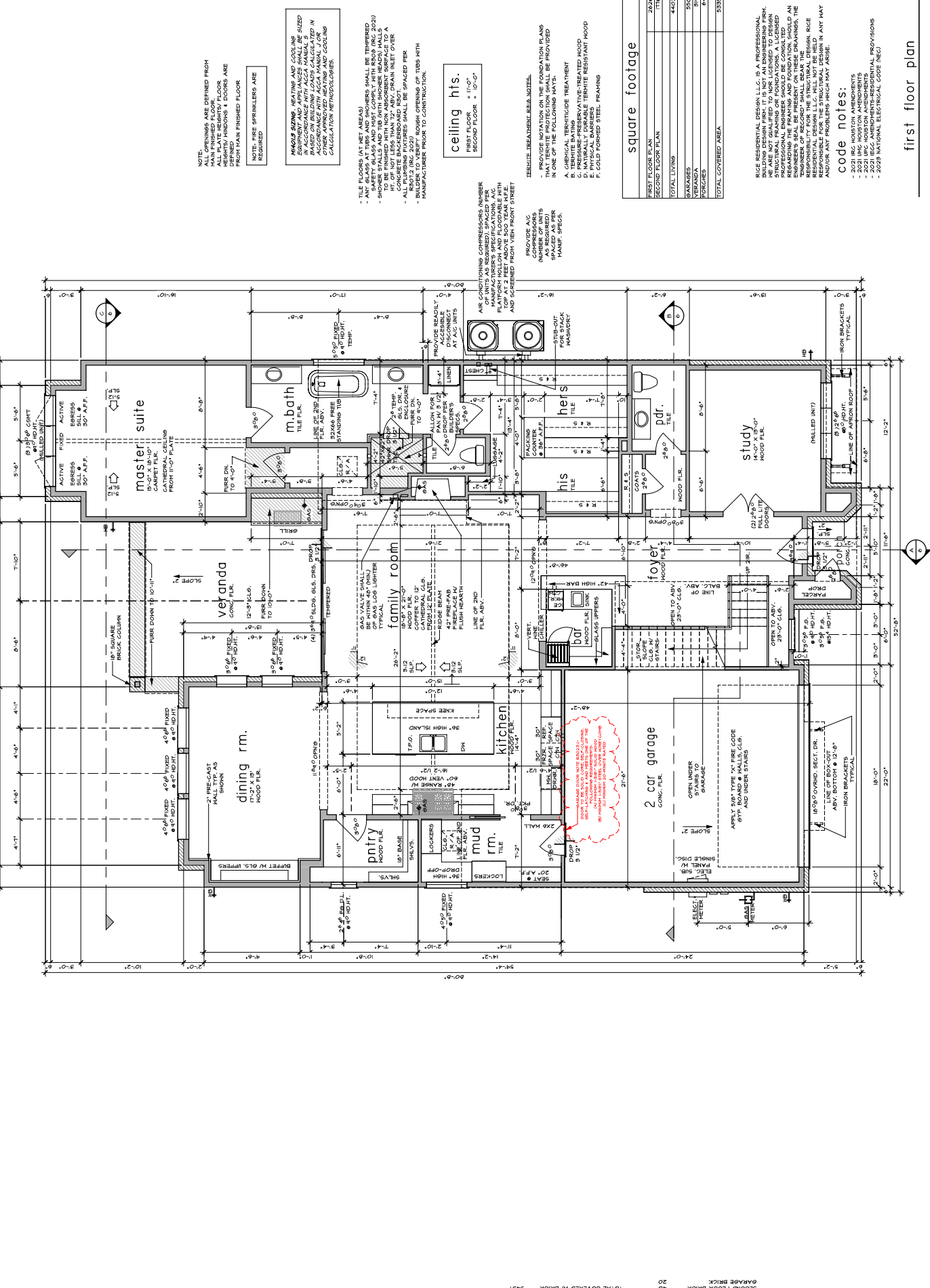


Rice Residential L.L.C.
 HOUSTON, TX
 TEL: (713) 944-6604
 www.ricedesignllc.com

Stalk Investment L.L.C.
 PROJECT LOCATION:
 6514 Robb Street
 1st & Westview Terrace
 Houston, Texas

TR.	DATE	REVISION	BY	AS NOTED
1	02/06/23	CONSTRUCTION RELEASE		
2	02/06/23	REVISION		

PROJ. NO.: 50102
 PLAN NO.: 4402
 SCALE: 1/8" = 1'-0"
 SHEET NO. **2** OF **13**



NOTE:
 ALL OPENINGS ARE DEFINED FROM
 THE CENTERLINE UNLESS OTHERWISE
 NOTED. ALL SLAB REINFORCING
 HEIGHTS, WINDOWS & DOORS ARE
 FROM MAIN FINISHED FLOOR.
 NOTE: FIRE SPRINKLERS ARE
 REQUIRED.

HVAC SIZING, HEATING AND COOLING
 SHALL BE PERFORMED BY A
 LICENSED MECHANICAL ENGINEER
 IN ACCORDANCE WITH ALL
 APPLICABLE CODES. THE
 ENGINEER OF RECORD SHALL BEAR THE
 RESPONSIBILITY FOR THE
 ACCURACY OF THE HEATING AND COOLING
 CALCULATION METHODOLOGIES.

- TILE FLOORS (AT NET AREAS)
- ANY BATHS AT TUBS AND SHOWERS SHALL BE THERMO
 BREAKED TO THE EXTERIOR.
- SHOWER STALLS AND TUB (WITH SHOWER HEADS) SHALL BE
 THERMO BREAKED TO THE EXTERIOR.
- ALL TUBS SHALL BE THERMO BREAKED TO THE EXTERIOR.
 CONCRETE BACKERBOARD MUST BE USED.
 ALL TUBS SHALL BE THERMO BREAKED TO THE EXTERIOR.
 ALL TUBS SHALL BE THERMO BREAKED TO THE EXTERIOR.
 ALL TUBS SHALL BE THERMO BREAKED TO THE EXTERIOR.

ceiling hts.
 FIRST FLOOR = 11'-0"
 SECOND FLOOR = 10'-0"

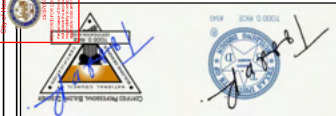
- THERMO-TREATMENT IS REQUIRED.
- PROVIDE NOTATION ON THE FOUNDATION PLANS
 INDICATING THE THERMO-TREATMENT TO BE PROVIDED
 IN ONE OF THE FOLLOWING WAYS:
 A. CHEMICAL THERMO-TREATMENT
 B. THERMO-TREATMENT
 C. NATURALLY DURABLE THERMO-RESISTANT WOOD
 D. THERMO-TREATMENT
 E. THERMO-TREATMENT
 F. THERMO-TREATMENT

square footage

FIRST FLOOR PLAN	2626
SECOND FLOOR PLAN	1716
TOTAL LIVING	4402
VERANDA	310
PORCHES	64
TOTAL COVERED AREA	5336

code notes:
 - 2021 IRC HOUSTON AMENDMENTS
 - 2021 IBC HOUSTON AMENDMENTS
 - 2021 NFPA HOUSTON AMENDMENTS
 - 2021 NATIONAL ELECTRICAL CODE (NEC)

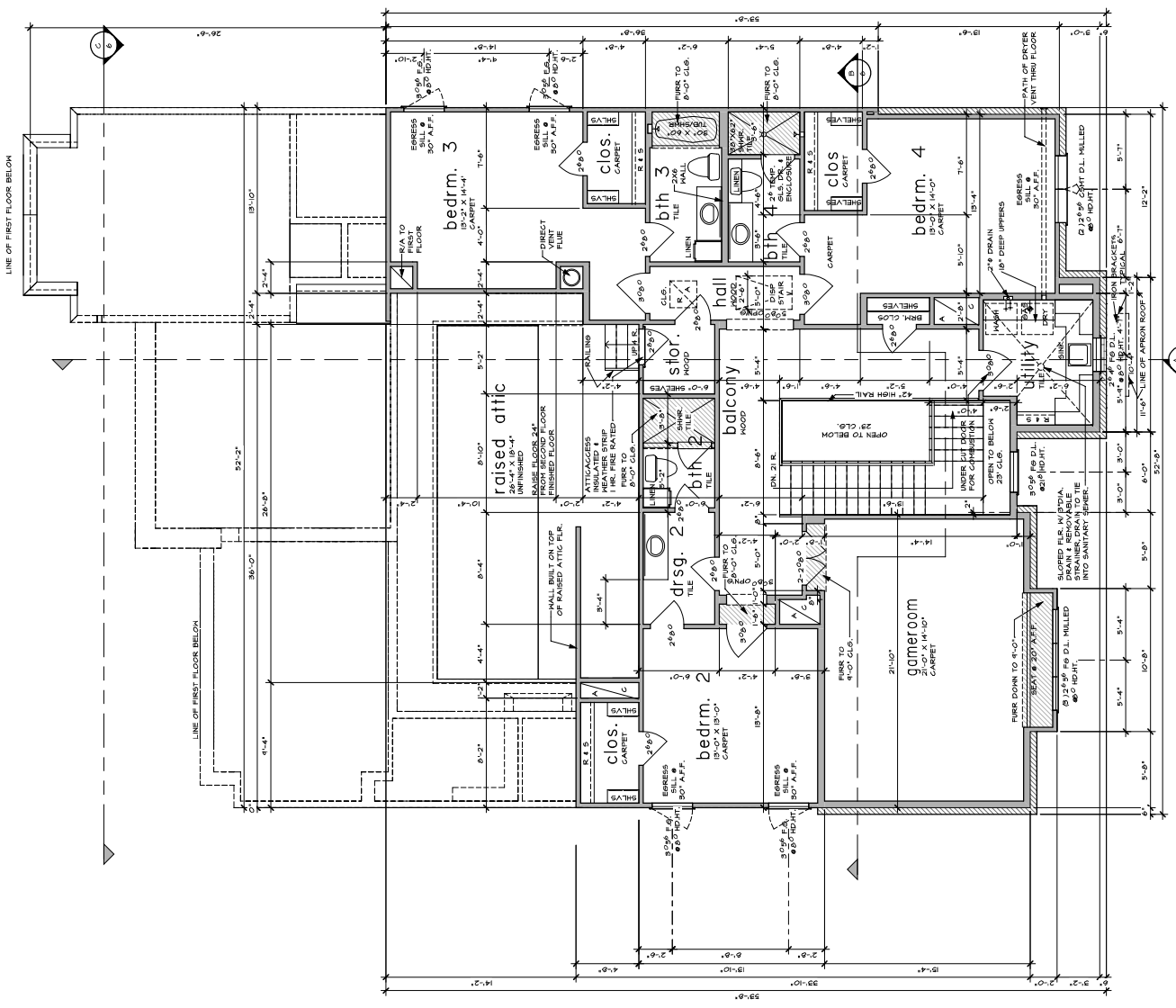
first floor plan



Rice Residential L.L.C.
 HOUSTON, TX
 TEL: (713) 944-6804
 www.ricedesignllc.com

Stalk Investment L.L.C.
 PROJECT LOCATION:
 6514 Robie Street
 Unit 36 Block 14 sect. 1116
 Midl. Westview Terrace

TR	01/08/25	CONSTRUCTION RELEASE
TR	02/10/25	REVISION A, AS NOTED
ROB NO:	5002	
PLAN NO:	402	
SCALE:	1/4" = 1'-0"	
SHEET NO.	3	OF 13



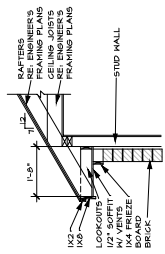
ALL OPENINGS ARE TO BE FINISHED FLOOR

RICE RESIDENTIAL DESIGN L.L.C. IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. STRUCTURAL FRAMING OR FOUNDATIONS, A LICENSED ARCHITECT OR ENGINEER MUST BE CONSULTED REGARDING THE FRAMING AND FOUNDATION. SHOULD AN UNLICENSED PERSON BE RESPONSIBLE FOR THE DESIGN, THE ARCHITECT OR ENGINEER SHALL BE RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH MAY ARISE.

code notes:

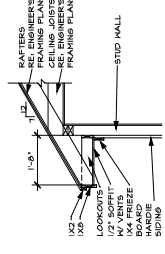
- 2021 IRC HOUSTON AMENDMENTS
- 2021 IRC HOUSTON AMENDMENTS
- 2021 IPC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS
- 2021 NATIONAL ELECTRICAL CODE (NEC)

second floor plan



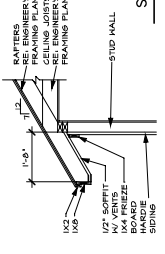
soffit detail 'A'

SCALE: 1/2" = 1'-0"



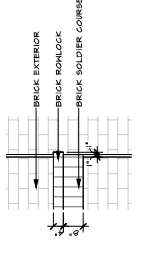
soffit detail 'B'

SCALE: 1/2" = 1'-0"



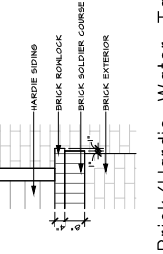
soffit detail 'C'

SCALE: 1/2" = 1'-0"



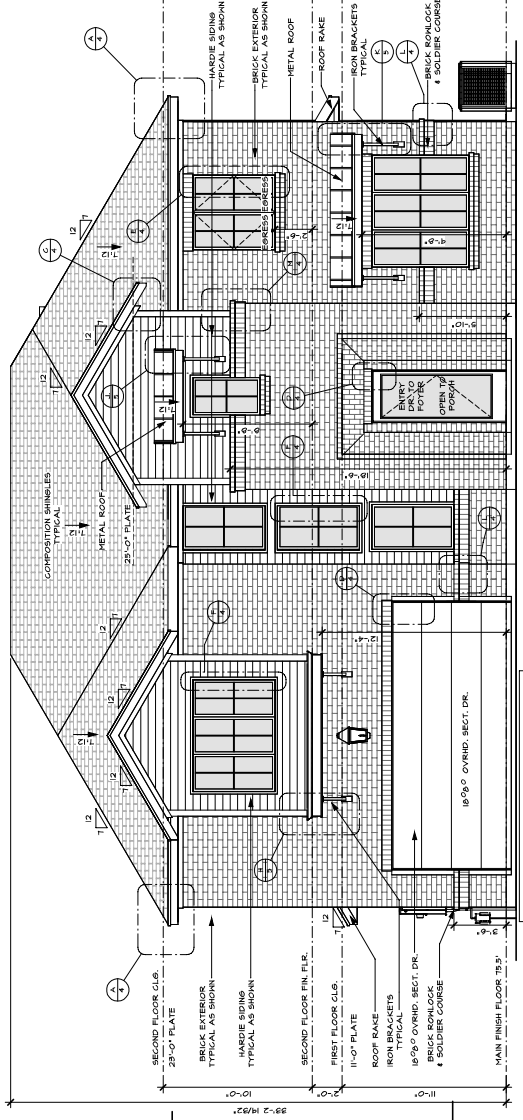
Brick Water Table 'L'

SCALE: 1/2" = 1'-0"



Brick/Hardie Water Table 'M'

SCALE: 1/2" = 1'-0"



front elevation

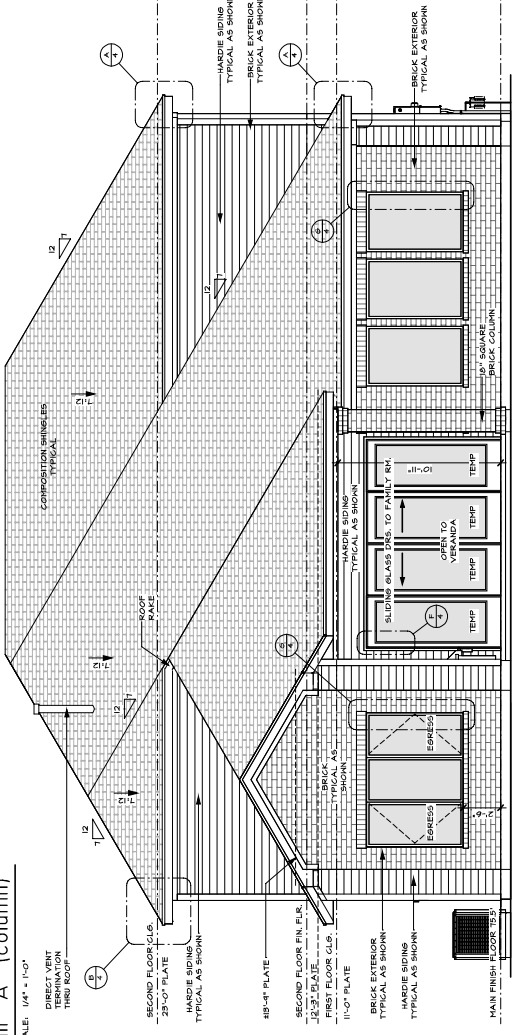
SCALE: 1/4" = 1'-0"

THE ELEVATION OF THE NATURAL SECONDARY SURFACE WITHIN A 5-FOOT HORIZONTAL DISTANCE OF THE EXTERIOR WALL OF THE BUILDING OR STRUCTURE.



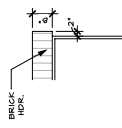
soffit detail 'A' (column)

SCALE: 1/4" = 1'-0"



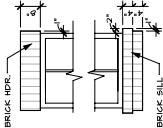
rear elevation

SCALE: 1/4" = 1'-0"



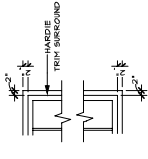
door trim detail 'D'

SCALE: 1/2" = 1'-0"



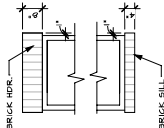
window trim detail 'E'

SCALE: 1/2" = 1'-0"



window trim detail 'F'

SCALE: 1/2" = 1'-0"



window trim detail 'G'

SCALE: 1/2" = 1'-0"

elevation notes

- SEE ROOF PLAN FOR OVERHANGS.
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH LOCAL ORDINANCES.
- GUTTERS AND DOWNSPOUTS PER BUILDER.

RICE RESIDENTIAL DESIGN LLC IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. STRUCTURAL FRAMING OR FOUNDATIONS, A LICENSED ENGINEER SHALL BE PRESENT ON THESE DRAWINGS. THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN, RICE AND/OR ANY PROBLEMS WHICH MAY ARISE.

code notes:

- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC AMERICANS-RESIDENTIAL PROVISIONS
- 2025 NATIONAL ELECTRICAL CODE (NEC)

elevations and details

Rice Residential L.L.C. HOUSTON, TX TEL: (713) 994-6604

Stalk Investment L.L.C. PROJECT LOCATION: 6514 Robla Street, Unit 36 Block 14 Sect. 11, Midl. Westlake Terrace

TR.	DATE	REVISION / AS NOTED
TR.	01/09/25	CONSTRUCTION RELEASE
TR.	02/10/25	REVISION 'A', 'AS NOTED'

ROR NO: 50102
PLN NO: 4807
SCALE: As indicated

elevation notes

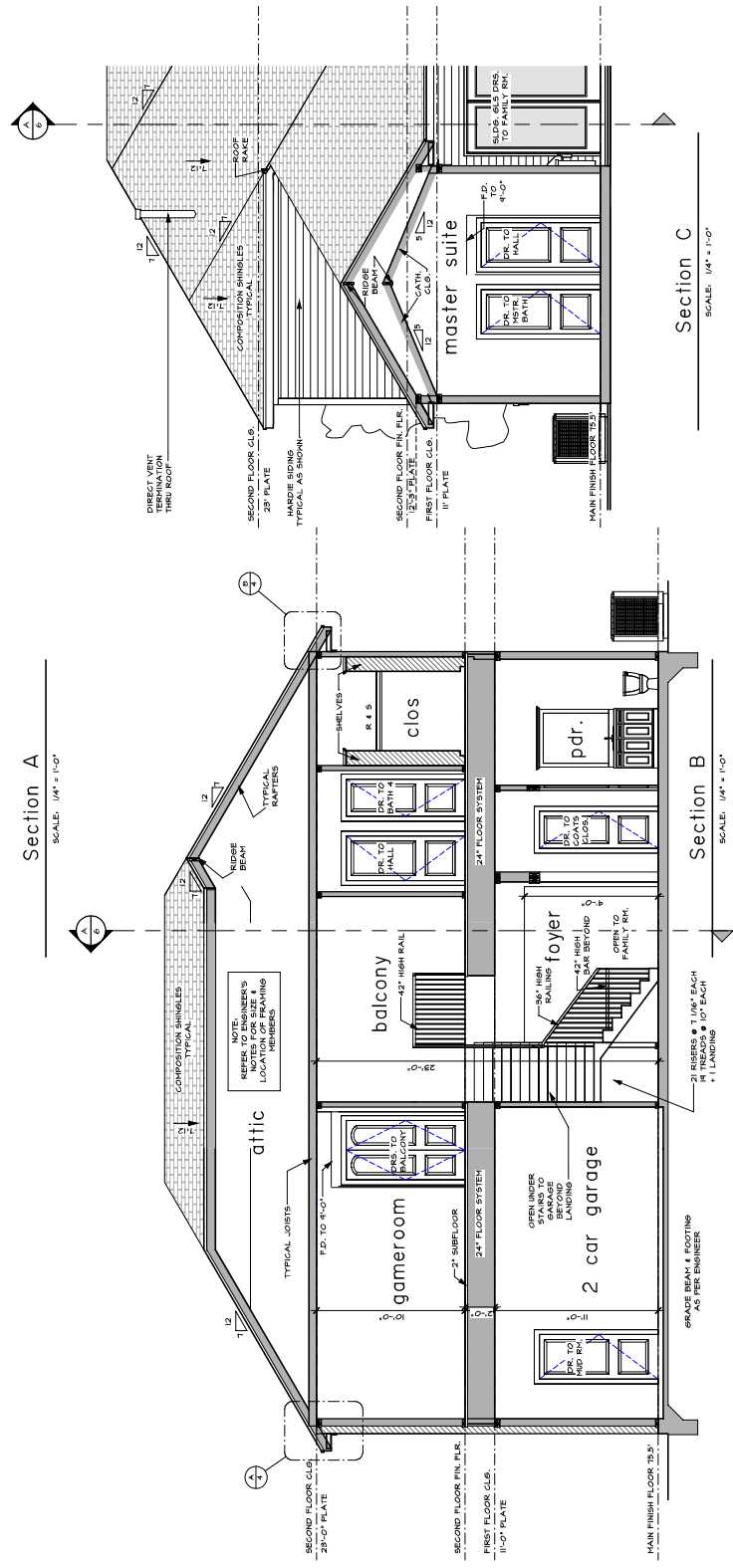
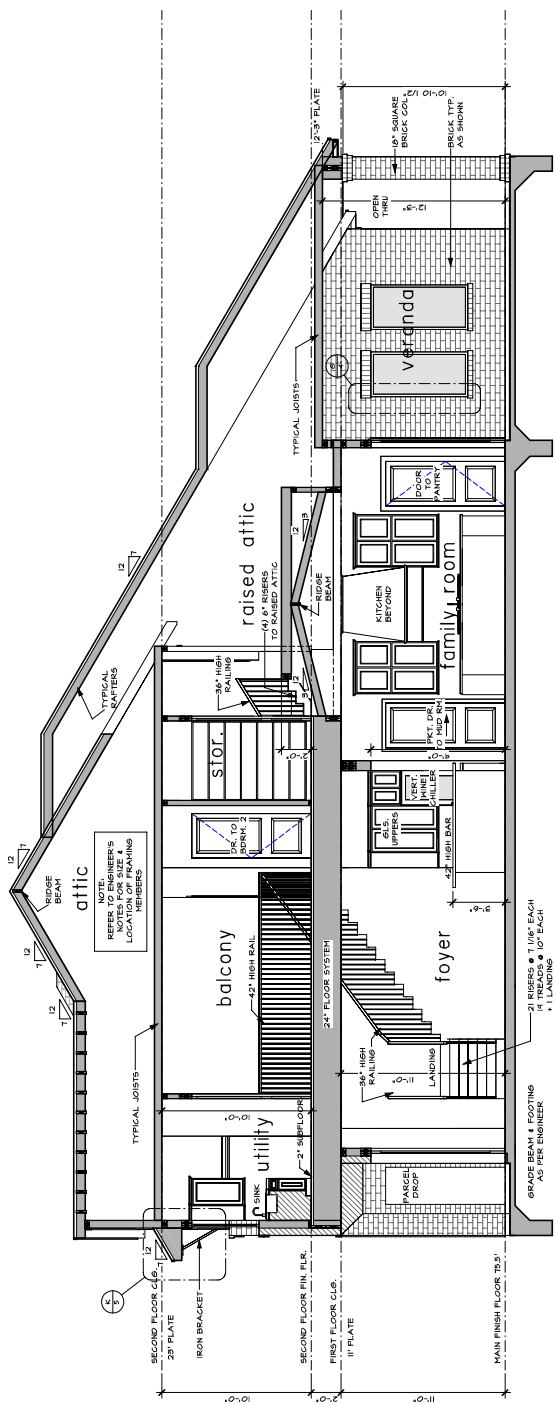
- SEE ROOF PLAN FOR OVERHANGS.
- PROVIDE SPARK ARRESTORS AT CHIMNEYS TO COMPLY WITH LOCAL ORDINANCES.
- GUTTERS AND DOWNSPOUTS PER BUILDER.

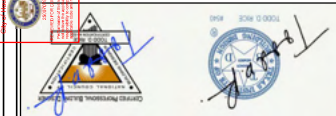
RICE RESIDENTIAL DESIGN L.L.C. IS A PROFESSIONAL BUILDING DESIGN FIRM. IT IS NOT AN ENGINEERING FIRM. STRUCTURAL FRAMING OR FOUNDATIONS, A LICENSED ENGINEER OR ARCHITECT MUST PROVIDE. REGARDING THE FRAMING AND FOUNDATION, SHOULD AN ENGINEER OR ARCHITECT BE PRESENT ON THESE DRAWINGS, THE ENGINEER OR ARCHITECT SHALL BE RESPONSIBLE FOR THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN. RICE RESIDENTIAL DESIGN L.L.C. IS NOT RESPONSIBLE FOR THE STRUCTURAL DESIGN IN ANY WAY AND/OR ANY PROBLEMS WHICH MAY ARISE.

code notes:

- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS
- 2021 IBC HOUSTON AMENDMENTS

sections and details





Rice Residential L.L.C.

 HOUSTON, TX

 TEL: (713) 944-8804

 www.riceresidentialdesign.com

Silk Investment L.L.C.

 PROJECT LOCATION:

 6514 Reble Street

 Lot 36 Block 14 sect. 1116

 subd. Westview Terrace

TR.	DATE	REVISION / A.S. NOTED
TR.	01/09/25	CONSTRUCTION RELEASE
TR.	02/10/25	REVISION A.S. NOTED

ROR NO: 50102

 PLAN NO: 4802

 SCALE: 1/4" = 1'-0"

 SHEET NO.

7 of 13

roof notes

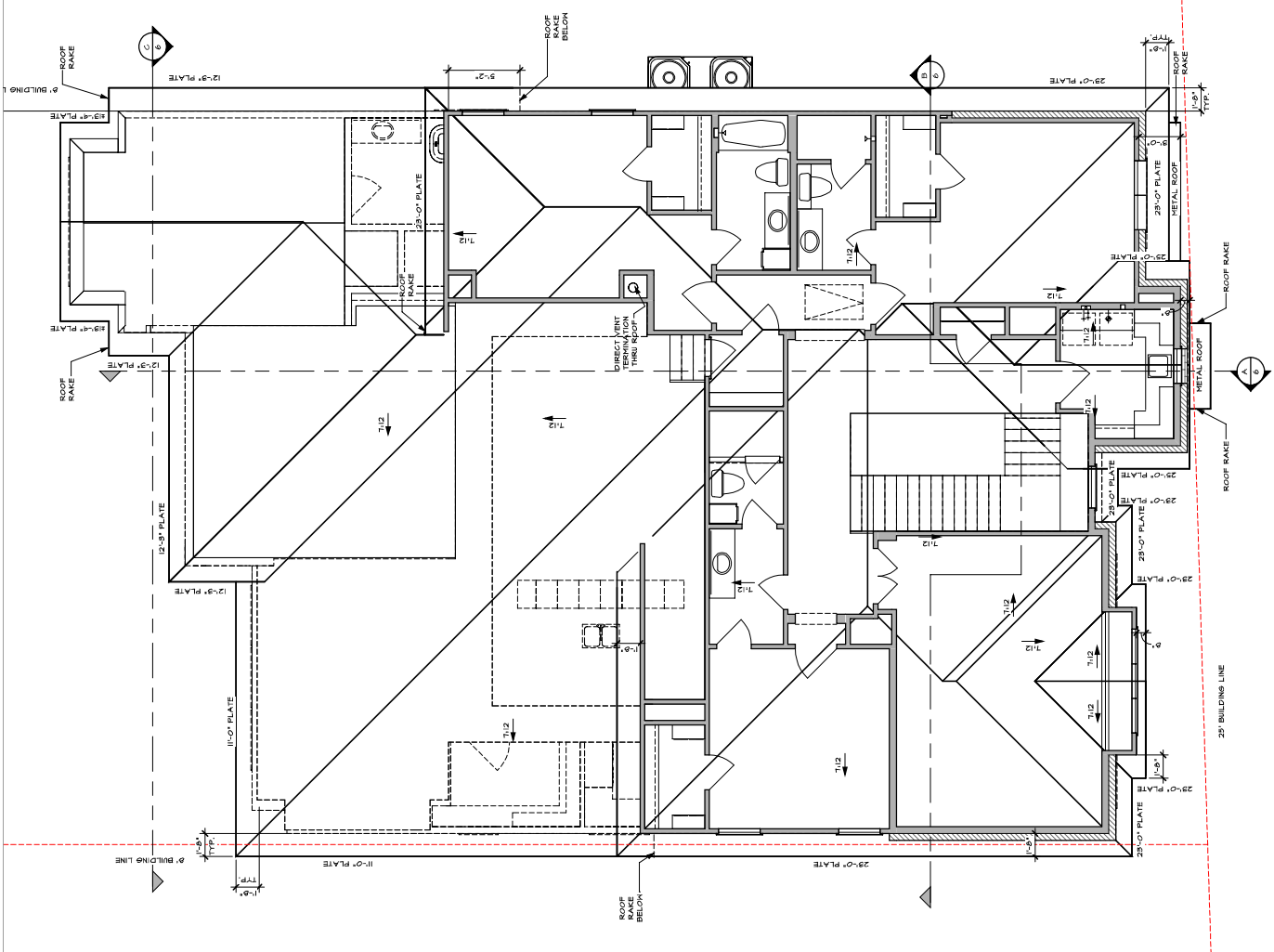
- DIMENSIONS DIMENSIONED FROM OUTSIDE BUILDING DESIGN FIRK IT NOT AN ENGINEERING FIRM, WE ARE NOT QUALIFIED TO NOR LICENSE TO DESIGN
- RAISE ARE DIMENSIONED FROM OUTSIDE OF
- PROVIDE ACCESS TO ALL ATTIC AREAS.

RICE RESIDENTIAL DESIGN L.L.C. IS A PROFESSIONAL ENGINEERING FIRM. IT IS NOT AN ENGINEERING FIRM. WE ARE NOT QUALIFIED TO NOR LICENSE TO DESIGN BUILDINGS OR STRUCTURES. ONLY A LICENSED PROFESSIONAL ENGINEER SHOULD BE CONSULTED FOR THE DESIGN OF BUILDINGS OR STRUCTURES. AN ENGINEER'S SEAL, BE PRESENT ON THESE DRAWINGS, THE RESPONSIBILITY FOR THE STRUCTURAL DESIGN, RICE RESIDENTIAL DESIGN L.L.C. WILL NOT BE HELD RESPONSIBLE FOR ANY PROBLEMS THAT MAY ARISE AND/OR ANY PROBLEMS WHICH MAY ARISE.

code notes:

- 2024 IBC AMENDMENTS
- 2024 IBC AMENDMENTS
- 2024 IBC AMENDMENTS-RESIDENTIAL PROVISIONS
- 2023 NATIONAL ELECTRICAL CODE (NEC)

roof plan



TR.	DATE	REVISION / AS NOTED
01/09/23		CONSTRUCTION RELEASE
02/09/23		REVISION "A" AS NOTED

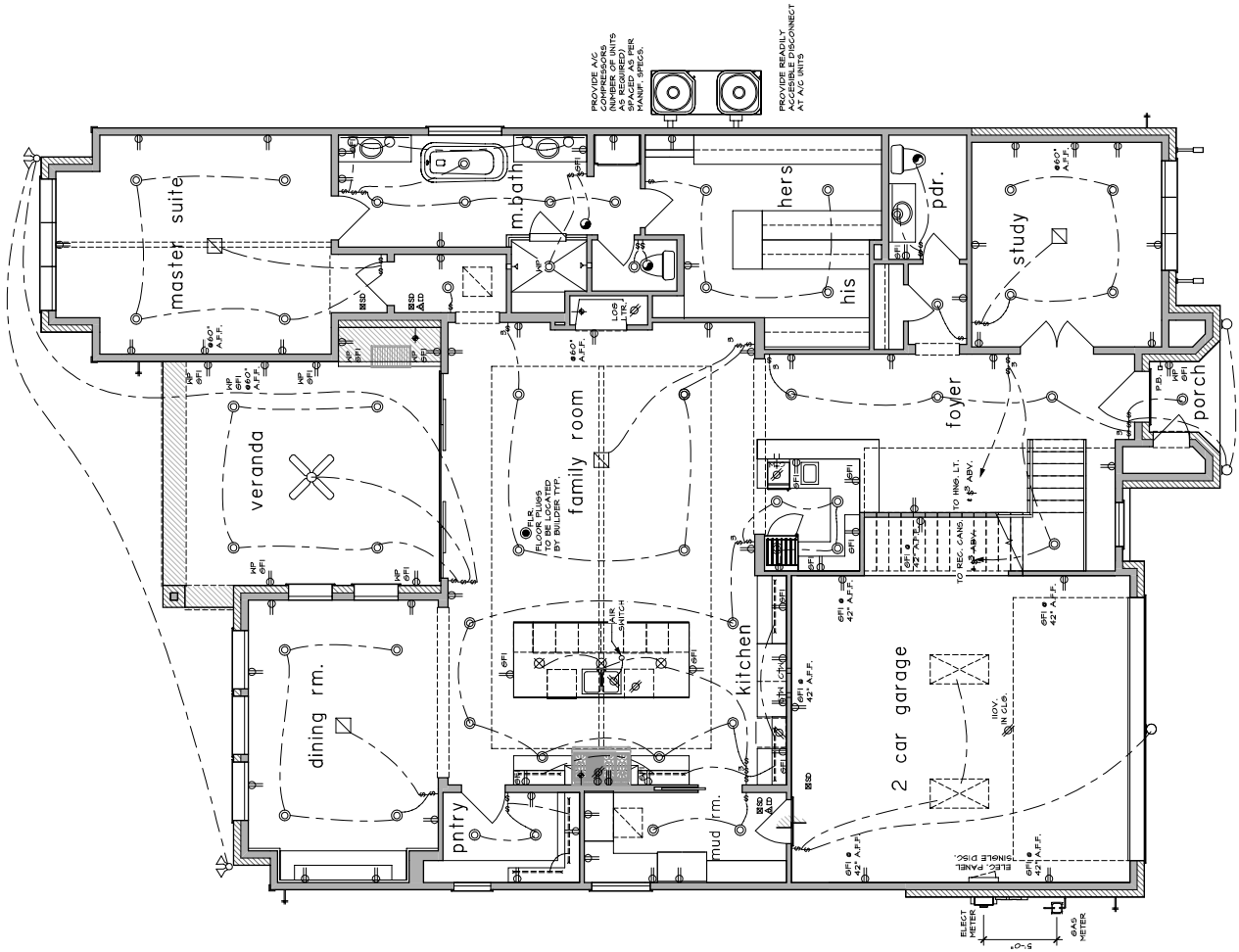
ROR NO: 50102
 PLAN NO: 4802
 SCALE: 1/8" = 1'-0"
 SHEET NO.

legend

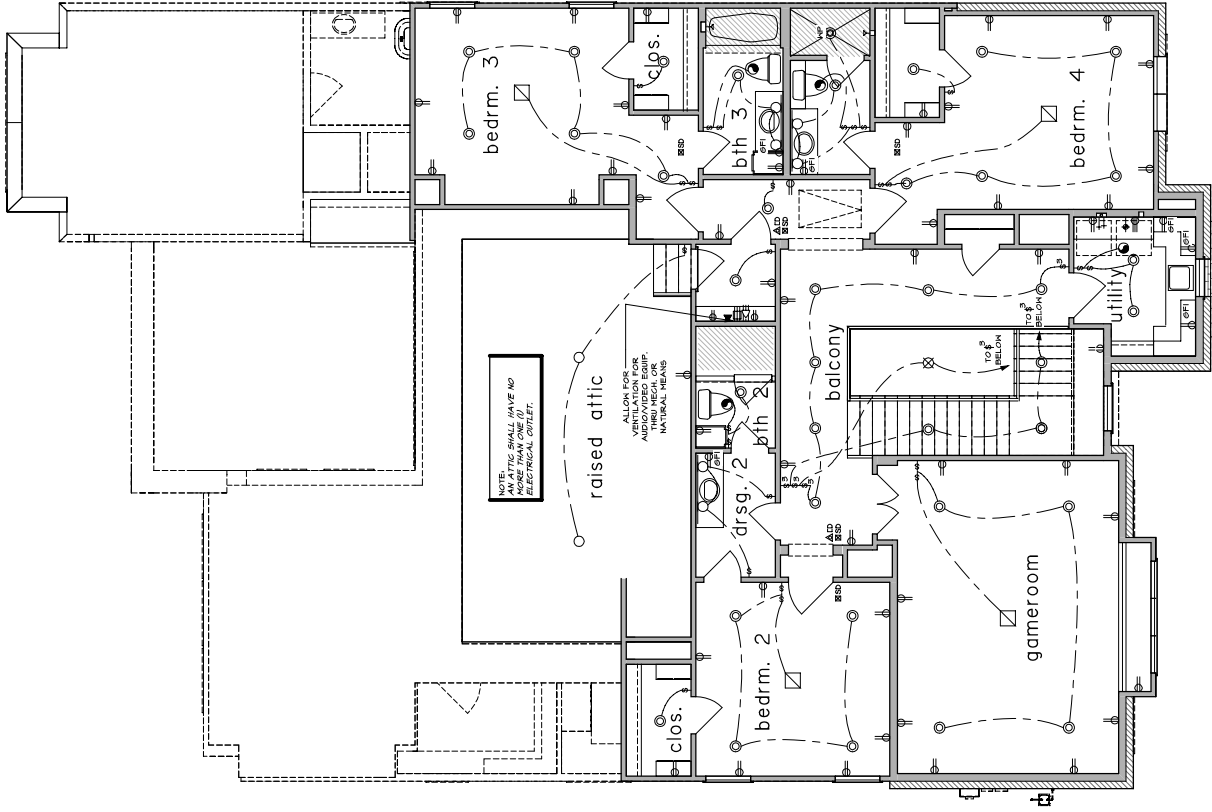
- 110 VOLT RECEPTACLE
- WATERPROOF RECEPTACLE
- 110 VOLT 1/4 GROUND FAULT INTERRUPTER
- GFI
- 110 PLUS STRIP (UNDER COUNTER)
- 110 VOLT IN FLOOR
- 220 VOLT RECEPTACLE
- TELEVISION ANTENNA
- TELEPHONE OUTLET
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- FOUR WAY SWITCH
- DIMMER SWITCH
- PUSH BUTTON
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- GIMES
- CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED HANGING FIXTURE
- RECESSED CAN LIGHT
- WATERPROOF RECESSED CAN LIGHT
- RECESSED EYEBALL SPOT LIGHT
- HALL MOUNTED LIGHT FIXTURE
- PORCELAIN FIXTURE 1/4 PULL CORD
- FLOOD LIGHTS
- EXHAUST FAN
- EXHAUST FAIRVECES CAN COMBO
- L.V. LIGHTS
- R6 6/2 CAT 5
- CEILING FAN
- CEILING FAN 1/4 LIGHT
- 2' X 4' LED LIGHT PANEL
- 2' X 2' LED LIGHT PANEL
- 1' X 1' LED LIGHT PANEL
- UNDER COUNTER FLUORESCENT LIGHT
- HANGING FIXTURE OR CEILING FAN

notes:

- ELEC. TO HIRE LOCAL PER CODE
- SMOKE DETECTORS REQUIRE 1/4" HOSE HERING AND TO BE LOCATED NO CLOSER TO RETURN AIR
- VENT ALL EXHAUST FANS TO OUTSIDE
- PROVIDE GFI PROTECTION AS REQUIRED
- EACH WATER HEATER AND A/C UNIT LOCATION IN ATTIC
- ALLOW FOR A/C UNITS
- PLAN SYSTEM VOLTAGE CIRCUITS FOR BUNGALOW
- PROVIDE LOW VOLTAGE CIRCUITS FOR INTERCOM
- PROVIDE CIRCUITS FOR FUTURE POOL AND SPA
- PROVIDE CIRCUITS FOR FUTURE POOL AND SPA
- OUTLETS AT BEDROOMS TO BE A/C PROTECTED AND ON SEPARATE CIRCUITS FROM CEILING FANS



first floor electrical plan



second floor electrical plan

9 of 13

SHEET NO.

SCALE: 1/8" = 1'-0"

PLAN NO. - 482

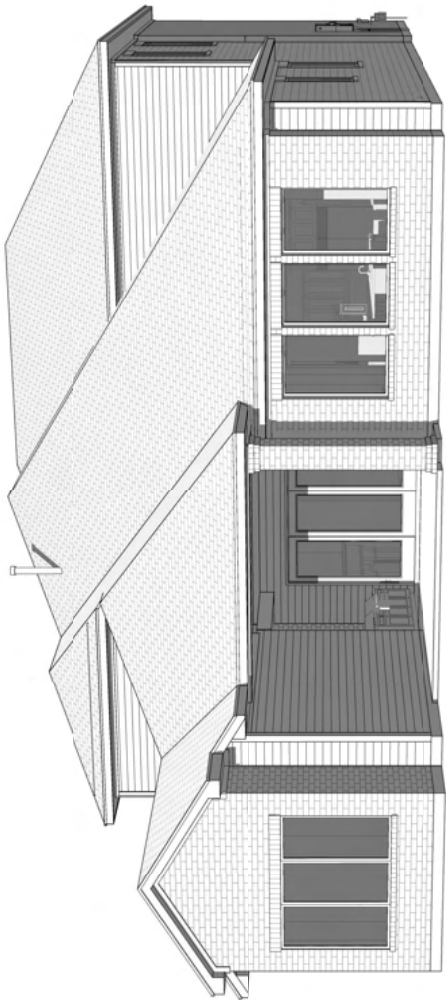
ROR NO. 5002

TR.	01/08/23	CONSTRUCTION RELEASE
TR.	02/08/23	REVISION "A" AS NOTED

A PROJECT FOR:
Salk Investment L.C.
 PROJECT LOCATION:
 6514 Reble Street
 Lot 36 Block 14 sect. 116
 subd. Westview Terrace

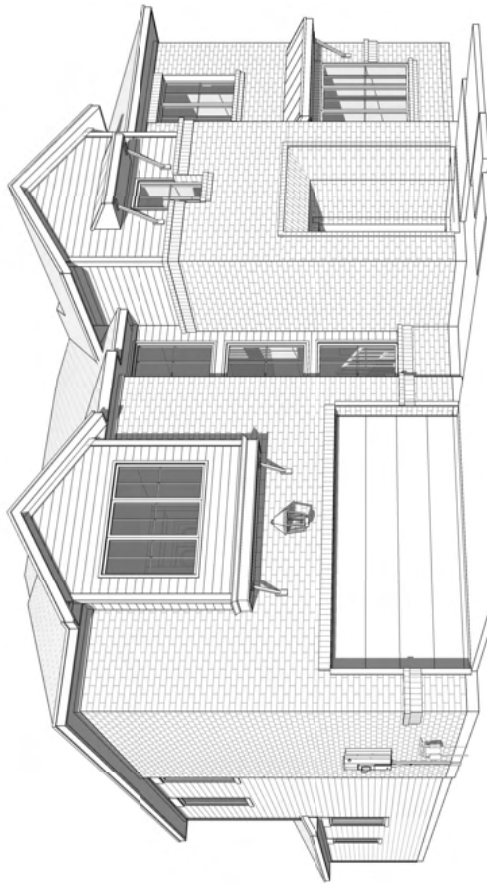
Rice Residential L.C.
 HOUSTON, TX
 TEL: (713) 994-8804
 www.riceresidentialdesign.com





LEFT REAR

SCALE




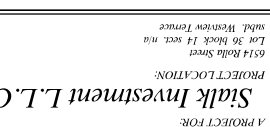
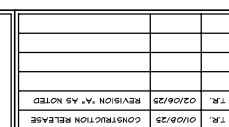
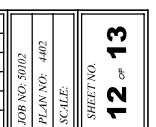
FRONT LEFT

SCALE

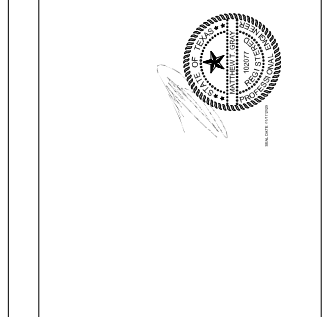
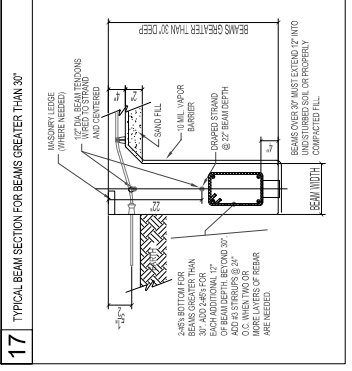
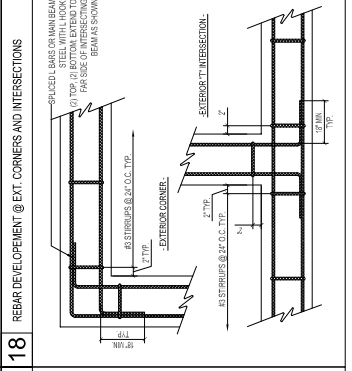
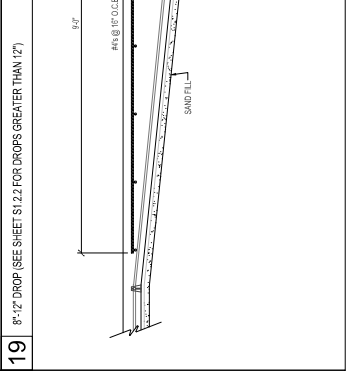
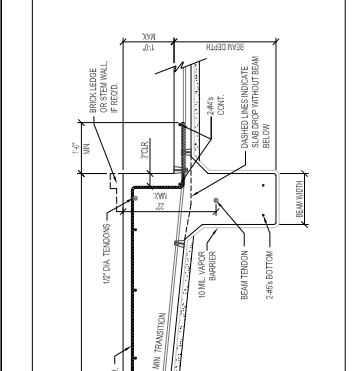
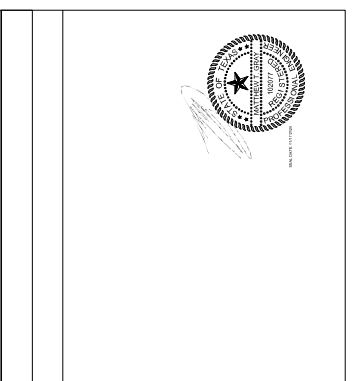
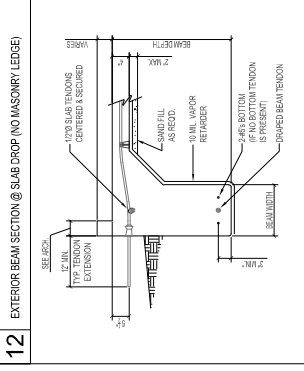
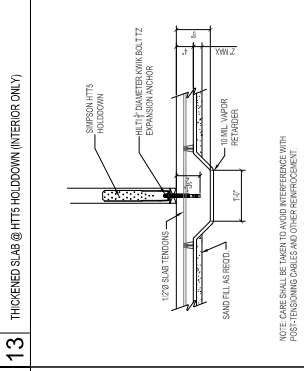
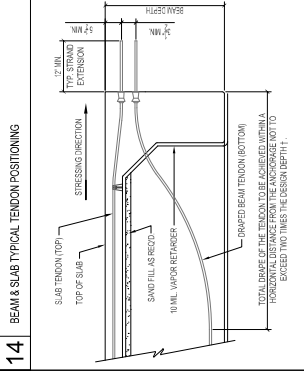
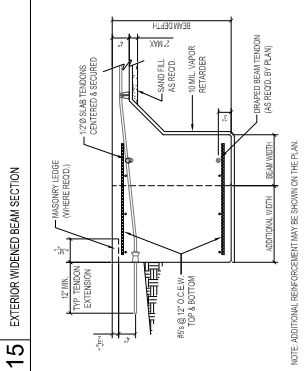
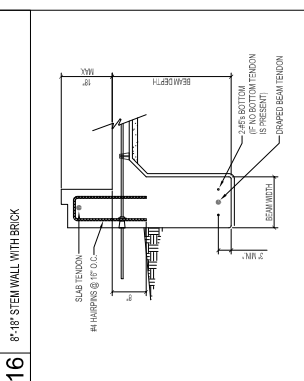
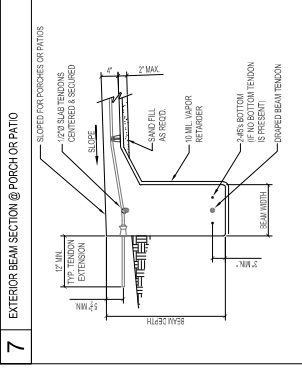
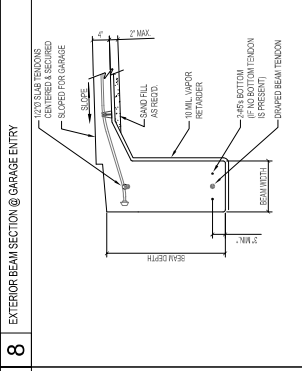
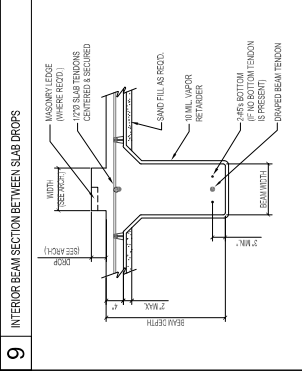
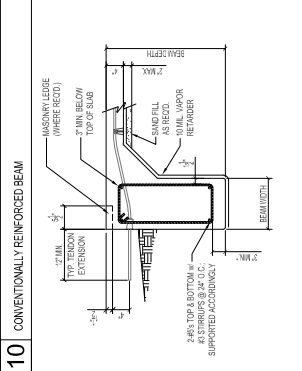
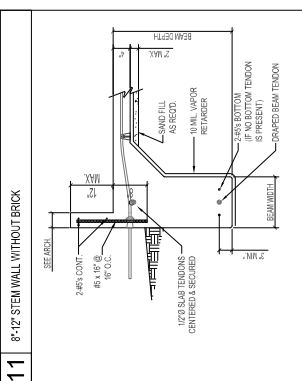
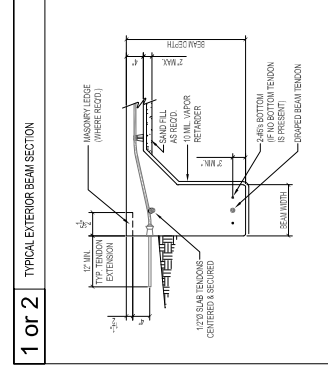
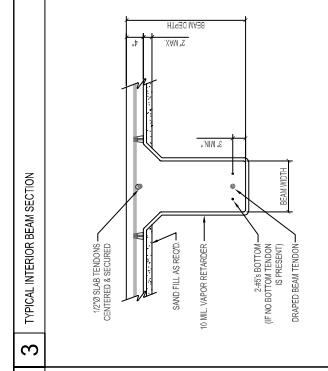
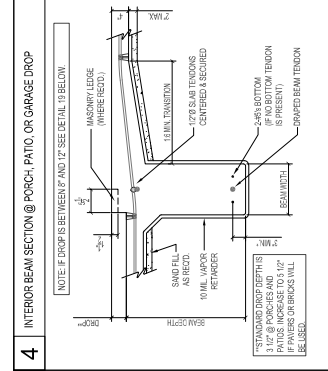
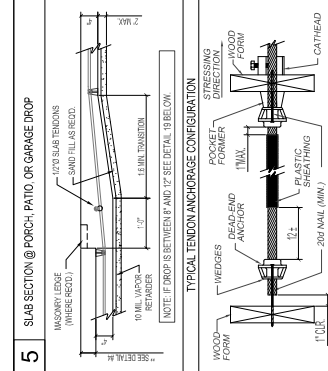
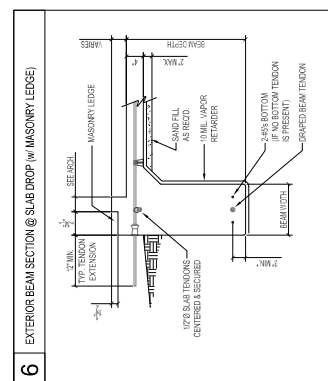
perspectives
NOT TO SCALE





PROJECT FOR:	Salk Investment L.L.C.		
PROJECT LOCATION:	6514 Reola Street Lot 36 Block 14 sect. n/a subd. Westview Terrace		
TR.	01/08/25	CONSTRUCTION RELEASE	
TR.	02/08/25	REVISION "A" AS NOTED	
FOR NO.	5002		
PLAN NO.	402		
SCALE:			
SHEET NO.	12 of 13		



ANV/ENGINEERING
 833 S. MASON ROAD
 HOUSTON, TEXAS 77050
 281-470-1501 | anvin@anv.com
 www.anv.com

THIS DRAWING HAS BEEN PREPARED BY AN INDEPENDENT PROFESSIONAL ENGINEER UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF THE ENGINEER. THE ENGINEER HAS REVIEWED THIS DRAWING AND HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE FOUNDATION DETAILS SHOWN HEREON. THE ENGINEER HAS REVIEWED THIS DRAWING AND HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE FOUNDATION DETAILS SHOWN HEREON. THE ENGINEER HAS REVIEWED THIS DRAWING AND HAS ACCEPTED THE RESPONSIBILITY FOR THE DESIGN AND CONSTRUCTION OF THE FOUNDATION DETAILS SHOWN HEREON.

FOUNDATION DETAILS

WESTVIEW TERRACE
 6514 ROLL A STREET, HOUSTON, TEXAS 77055
 SALK INVESTMENT LLC

DATE: 01/17/2025
 DRAWING NUMBER: S1.1

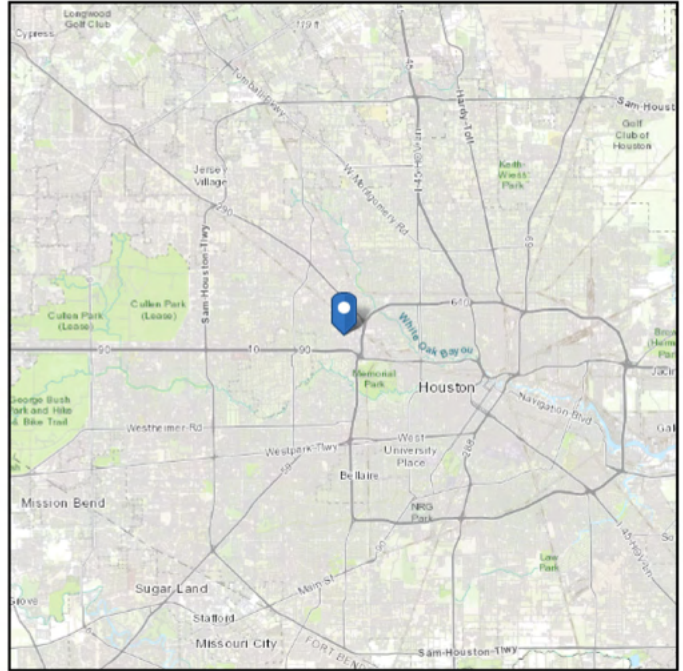
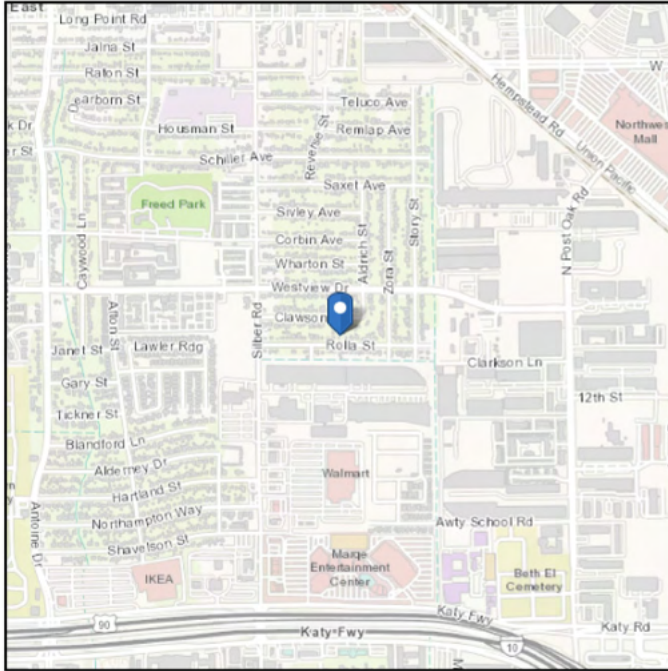


ASCE Hazards Report

Address:
6514 Rolla St
Houston, Texas
77055

Standard: ASCE/SEI 7-22
Risk Category: II
Soil Class: Default

Latitude: 29.79309
Longitude: -95.465194
Elevation: 66.41784264702444 ft (NAVD 88)



Wind

Results:

Wind Speed	131 Vmph
10-year MRI	76 Vmph
25-year MRI	90 Vmph
50-year MRI	102 Vmph
100-year MRI	112 Vmph
300-year MRI	124 Vmph
700-year MRI	131 Vmph
1,700-year MRI	138 Vmph
3,000-year MRI	143 Vmph
10,000-year MRI	151 Vmph
100,000-year MRI	166 Vmph
1,000,000-year MRI	178 Vmph

Data Source: ASCE/SEI 7-22, Fig. 26.5-1B and Figs. CC.2-1-CC.2-4, and Section 26.5.2
Date Accessed: Wed Feb 05 2025



Value provided is 3-second gust wind speeds at 33 ft above ground for Exposure C Category, based on linear interpolation between contours. Wind speeds are interpolated in accordance with the 7-22 Standard. Wind speeds correspond to approximately a 7% probability of exceedance in 50 years (annual exceedance probability = 0.00143, MRI = 700 years). Values for 10-year MRI, 25-year MRI, 50-year MRI and 100-year MRI are Service Level wind speeds, all other wind speeds are Ultimate wind speeds.

Site is in a hurricane-prone region as defined in ASCE/SEI 7-22 Section 26.2. Glazed openings need not be protected against wind-borne debris.



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