

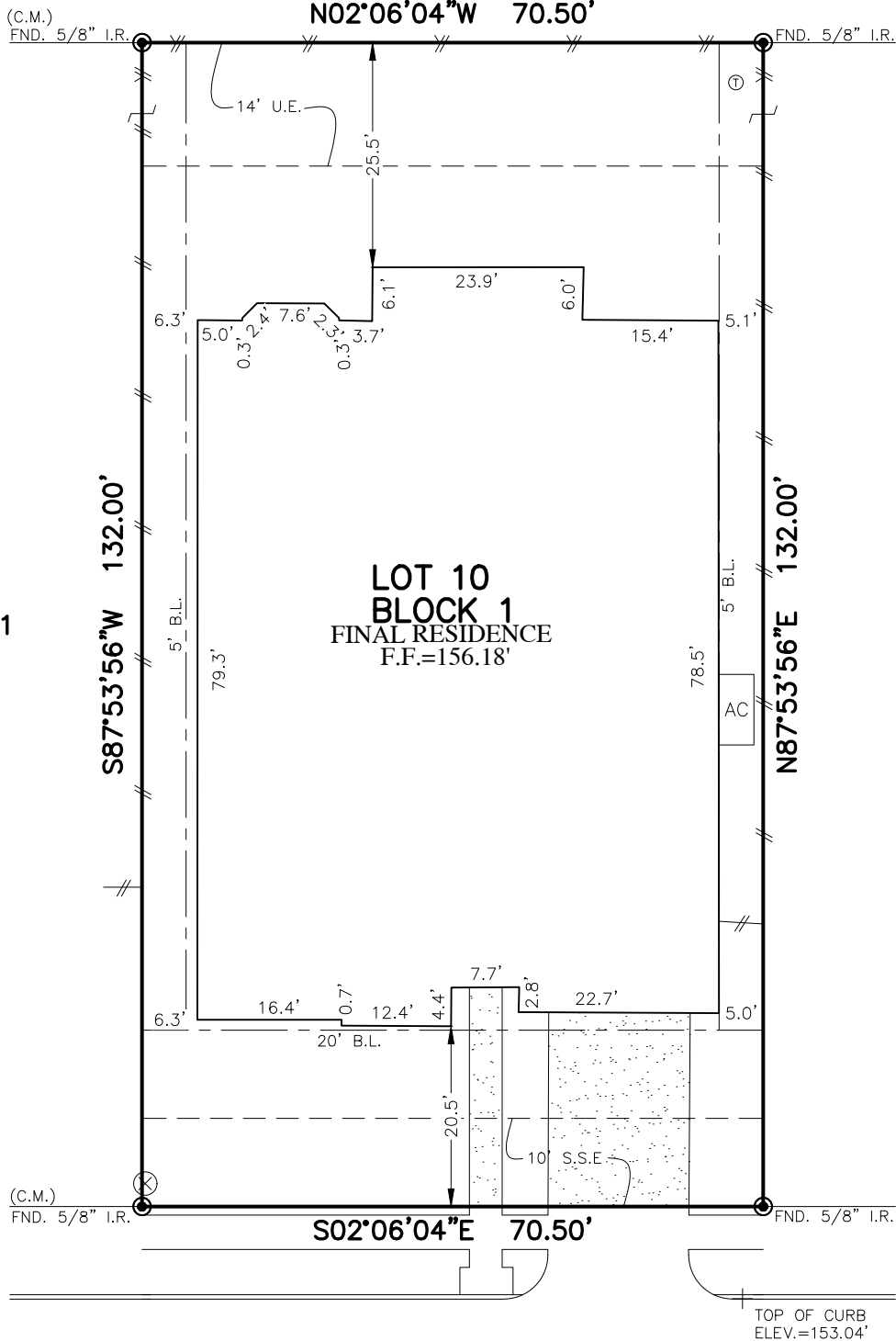


FLATWORK	B.L. BUILDING LINE	T.O.F. TOP OF FORM	U.V.E. UNOBSTRUCTED VISIBILITY EASEMENT
PROPERTY LINE	B.L.(FL) FRONT LOAD BUILDING LINE	U.E. UTILITY EASEMENT	M.A.C.C.E. MAINTENANCE & ACCESS EASEMENT
BUILDING LINE	B.L.(SI) SWING IN BUILDING LINE	W.L.E. WATER LINE EASEMENT	ACC.E. ACCESS EASEMENT
EASEMENT	B.L.(3C) 3 CAR BUILDING LINE	STM.S.E. STORM SEWER EASEMENT	A.E. AERIAL EASEMENT
WOODEN FENCE	G.B.L. GARAGE BUILDING LINE	S.S.E. SANITARY SEWER EASEMENT	D.E. DRAINAGE EASEMENT
WROUGHT IRON FENCE	(B.G.) BUILDER GUIDELINES	R.O.W. RIGHT-OF-WAY	E.E. ELECTRIC EASEMENT
CHAIN LINK FENCE	F.F. FINISHED FLOOR	P.A.E. PERMANENT ACCESS EASEMENT	WATER VALVE
OVERHEAD ELECTRIC	EXT. EXTENDED	P.U.E. PUBLIC UTILITY EASEMENT	FIRE HYDRANT
	PROP. PROPOSED	PVT. PRIVATE	MONUMENT
	C.M. CONTROL MONUMENT	I.R. IRON ROD	IP. IRON PIPE
		FND. FOUND	
			MANHOLE
			GRATE DRAIN
			PAD MOUNTED TRANSFORMER
			TELEPHONE PEDESTAL
			GAS METER
			CABLE PEDESTAL
			WATER METER
			CLEANOUT
			MANHOLE & INLET
			VAULT



KATY 850 LLC

VOL. 1384, PG. 805, W.C.D.R.



2211 MYRTLE MANOR LANE
(50' R.O.W.)

PLAT OF SURVEY

SCALE: 1" = 20'

*LOMA: 22-06-1128A *DATE: 03/17/2022

- NOTES:
1. ALL BEARINGS SHOWN HEREON ARE BASED ON THE RECORDED PLAT.
 2. ALLPOINTS LAND SURVEY, INC. IS NOT LIABLE FOR ANY DAMAGES DUE TO INFORMATION NOT PROVIDED TO SURVEYOR OR BUILDER PLACING ANY IMPROVEMENTS WITHIN A BUILDING LINE OR EASEMENT.
 3. ALL SET RODS ARE 5/8" I.R. WITH CAP MARKED "ALLPOINTS".
 4. SUBJECT TO APPLICABLE RESTRICTIVE COVENANTS LISTED IN ITEM 1, SCHEDULE "B" OF TITLE COMMITMENT ISSUED BY CHICAGO TITLE INSURANCE CO. UNDER G.F. NO. CTH-CYP-CTT2477364CS.
 5. AGREEMENT FOR UNDERGROUND ELECTRIC SERVICE PER C.F. NO. 2107553.
 6. ALL FOUND IRON RODS ARE CAPPED WITH PLASTIC CAPS MARKED "EHRA" UNLESS OTHERWISE NOTED.
 7. ALL ELEVATIONS SHOWN HEREON ARE BASED ON NAVD88.

FOR: HOANG HUU CHAU AND
TRANG TRAN
ADDRESS: 2211 MYRTLE MANOR LANE

ALLPOINTS JOB#: SH315464 BY: FL
G.F.: CTH-CYP-CTT2477364CS
JOB:

FLOOD ZONE: X SHADED

COMMUNITY PANEL:
48473C0375E

EFFECTIVE DATE: 02/18/2009

LOMR: 10-06-2439P DATE: 07/08/2011

THIS INFORMATION IS BASED ON GRAPHIC PLOTTING. WE DO NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION

LOT 10, BLOCK 1,
CANE ISLAND, SECTION 13,
C.F. NO. 2203834, MAP RECORDS,
WALLER COUNTY, TEXAS

I HEREBY CERTIFY THAT THIS PLAT REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND, ON THE 2ND DAY OF APRIL, 2024.

Steven P. Brister

