



REDSTAR PROFESSIONAL HOME INSPECTION, INC

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<https://www.redstarhomeinspection.com>



REDSTAR RESIDENTIAL INSPECTION REI 7-6

8 Cambridge Rd  
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Inspector

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# PROPERTY INSPECTION REPORT FORM

Jeanine Murray <i>Name of Client</i>	03/23/2026 9:00 am <i>Date of Inspection</i>
8 Cambridge Rd, Conroe, TX 77304 <i>Address of Inspected Property</i>	
Nick Jones <i>Name of Inspector</i>	TREC #9019 <i>TREC License #</i>
Jeremy Benefiel TREC # <i>Name of Sponsor (if applicable)</i>	8595 <i>TREC License #</i>

## PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

## RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector’s findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

## RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

**Please Note:** Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

## REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer’s installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

**NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS**

**Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:**

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

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**ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**

*Occupancy:* Furnished, Occupied

*In Attendance:* Buyers Friends/Family

*Temperature (approximate):* 75 Fahrenheit (F)

*Type of Building:* Single Family

*Weather Conditions:* Humid, Hot, Sunny, Partly Cloudy

*Storage Items/Furnished Home:*

Stored items and/or furniture were present at the property that obstructed view or access to some locations. The inspector does not move storage items or furnishings that impede the visual inspection of any components. Items blocked by storage/furnishings are not inspected.

*Appliances Not Inspected:*

Refrigerators, trash compactors, freezers, clothes washers, and dryers are not included in the inspection.

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I	NI	NP	D
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## I. STRUCTURAL SYSTEMS

**A. Foundations** 

*Type of Foundation(s):* Slab on Grade

*Foundation Performance:* Further Evaluation is Recommended:

Structural movement and/or settling noted. Visible differential movement was noted at the interior/exterior of the structure. See the report for more information regarding these signs. Suggest that an expert in this field be consulted for further evaluation of the structure and to provide suggestions as to what, if any, corrective actions should be taken.

*Additions made to original foundation :*

Inspector noted that this property has had foundation additions made at the rear of the structure. Recommend any questions to be directed to the seller or the evaluating Contractor.



*Areas of Foundation Obstructed:* Concrete/Wood deck against home, High soil conditions, Stored items/Debris, Heavy foliage -

These conditions resulted in areas of the foundation slab not being readily visible or were obstructing inspection. A minimum of 2-4" of foundation exposure should be maintained around home, and foliage/soil kept clear. Inspector does not move any debris or stored items, or pull back any heavy foliage or high soil conditions. Correction of these conditions may reveal hidden issues.

**1: Slab Foundation: Recommend Further Evaluation**

 **Recommendation**

Multiple signs of differential movement of the foundation structure observed at the time of inspection. These signs include:

- Cracks at the interior drywall or ceilings
- Noticeable slope of floors at multiple locations.
- Doors rubbing the floor.
- Zip level readings taken at the time of inspection show deflection of the foundation in excess of 2", suggesting drop towards the right and back right of the home as well as the foundation addition. These issues, measurements and locations are indicative of heaving/settling.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

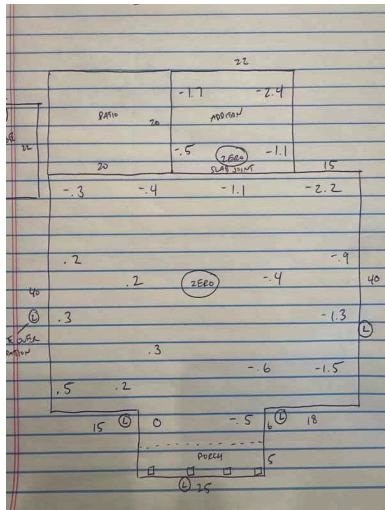
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It is the inspectors opinion that these issues are indicative of moderate differential movement of the foundation and I recommend further evaluation by a qualified professional to render a foundation performance evaluation.

- Recommend consulting with a qualified foundation company.
- Recommend correction of all issues stated in the Grading and Drainage section of this report to promote health of the foundation.
- Recommend consulting with a qualified plumber to evaluate the condition of the underground plumbing drain lines, as these lines often become damaged from foundation movement.
- Recommend you budget for repair of above stated issues and any other related items with foundation movement/repair.

Note: Red Star Inspectors are not structural engineers and are not acting as a structural engineer. All statements relating to structural movement are based on the professional opinion of this company.

Recommendation: Contact a qualified structural engineer.



**B. Grading and Drainage** 

*Recommend further evaluation:*

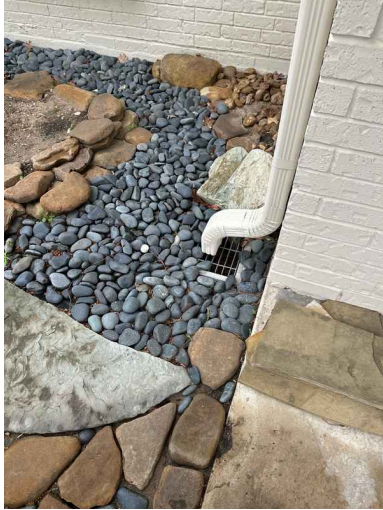
Several issues observed in relation to the Grading and Drainage items on the property. Recommend further evaluation of these conditions by appropriate contractor to determine extent of needed repairs.

*Drainage System Not Flow Tested:*

The inspector does not determine effectiveness or condition of any below ground downspout extension(s) or drainage system(s), nor does the inspector determine the location of the discharge outlet. Regular maintenance of these drain systems is recommended, and more information may be included in the report.

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*Fence Not Included:*

The fence is not covered under the scope of this inspection.

**1: Landscaping: High Soil**

🔴 Recommendation

High soil conditions observed at the various locations around the structure. The soil level should be reduced to allow for a minimum of 2-4" of foundation exposure, while still providing positive drainage away from the home. Recommend correction.

Recommendation: Contact a qualified landscaping contractor



**2: Gutters absent**

🔴 Recommendation

Inspector noted that some of the roof slopes appeared to be missing gutter systems. Recommend correction to prevent erosion of the soil resulting in standing water near the foundation.

Recommendation: Contact a qualified gutter contractor

I	NI	NP	D
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**3: Grading & Drainage: Soil Erosion**

🔴 Recommendation



Soil erosion was observed at one or multiple locations along the exterior of the home. Recommend correction to grading issues to prevent standing water. Recommend further evaluation and correction as needed to prevent further erosion and ensure proper drainage conditions.

Recommendation: Contact a qualified landscaping contractor



**4: Grading and Drainage: Low Spots/Standing Water**

🔴 Recommendation

Locations were observed around the property that were low or improperly sloped and likely holding water. Low spots in the grade should be properly repaired to ensure proper drainage and avoid a potential hazard. Recommend consulting a qualified contractor to determine the best method of repair.

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Note: Potential solutions may include the installation of an underground drain system around the property.

Recommendation: Contact a qualified landscaping contractor



**5: Gutters: Clogged/Dirty**

 Maintenance Item

Recommend clearing gutters of debris to improve drainage. Debris in the gutters can cause water to back up under the roof covering and cause damage to the home.

Recommendation: Contact a handyman or DIY project



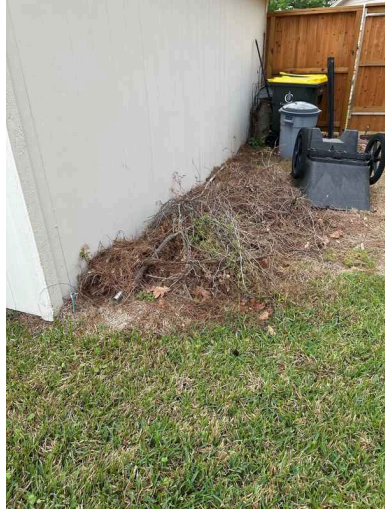
**6: Debris against home**

 Recommendation

Inspector noted excessive leaves and other wood debris against the structure at the detached garage. Signs of previous termite activity could be observed at the structure. Recommend removal of all the debris and evaluation for termites.

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**C. Roof Covering Materials**

*Types of Roof Covering:* Composition Shingles

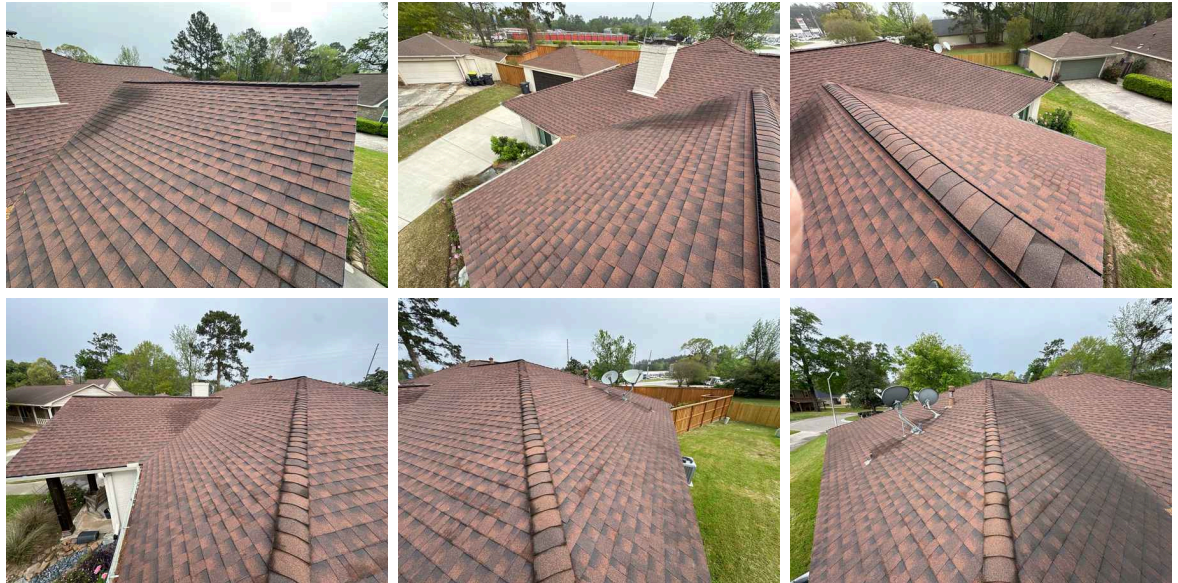
*Viewed From:* Walking the Roof Surface



*Roof Performance: Typical Wear:*

Roof shows signs of typical deterioration for the age of the roof covering and appears to be performing as intended at the time of inspection.

*General Photos:*



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**1: Shingles: Granule Loss Noted**

[Maintenance Item](#)

Moderate granule loss of the asphalt roofing shingles was observed at some locations. This condition is typical for an aging roof, and does not seem to be affecting the performance of the roof covering at this time. Recommend regular monitoring and inspection of this condition. Consult with roofing contractor if you desire further evaluation of this condition.

**2: Flashing: Deteriorated Sealant**

[Maintenance Item](#)

Deteriorated sealant was observed around plumbing and other flashing components. It is vital to maintain these locations to ensure performance of the covering. Recommend correction to avoid further deterioration or potential moisture intrusion issues.

Recommendation: Contact a qualified roofing professional.

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### 3: Satellite Dish(es) on Roof

#### 🔴 Recommendation

A satellite dish was observed to be secured to the roof covering. This installation is prone to leaking over time, recommend you consider further evaluation and repair or removal.



### 4: Chimney area

#### 🔴 Recommendation

Inspector noted some moderate discoloration of the roof sheathing at the area in the attic space around the chimney. Inspector unable to determine if this is related to previous issues or ongoing leaking problems. Recommend an evaluation of the area by qualified roofing contractor.

Recommendation: Contact a qualified roofing professional.

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**D. Roof Structures and Attics**

*Viewed From: Attic*

*Approximate Average Depth of Insulation: 8 Inches, 10 Inches, R-30*

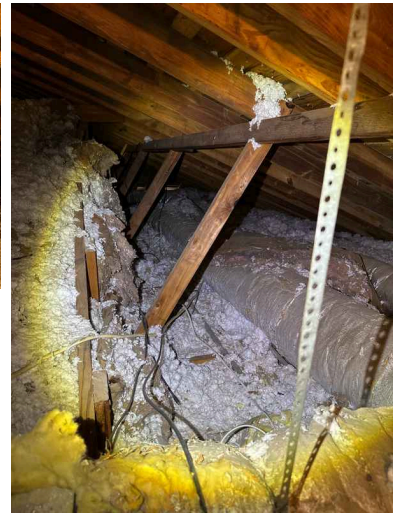
*Type of Attic Roof Ventilation: Soffit Vent, Ridge Vent*

*Type of Insulation Material: Blown Fiberglass, Batt Fiberglass*

*Further Evaluation Recommended:*

The inspector observed conditions in relation to the roof structure and/or attic space that, in the opinion of the inspector, warrants further evaluation by appropriate contractors. See the report for more information.

*General Photos:*



*Only Accessible Areas Were Entered:*

**Note:** Only accessible areas of the attic were inspected. No access decking was present to allow safe passage through attic space. The inspector does not crawl/walk over areas that are unsafe or not easily accessible.

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*Radiant Barrier Observed:*

A radiant barrier was installed at the attic space. While these barriers are great for reflecting radiant heat and improving energy efficiency, they can conceal possible evidence of water penetration and limit evaluation of the decking material. Recommend regular monitoring of the attic space. More information may be contained in the report.

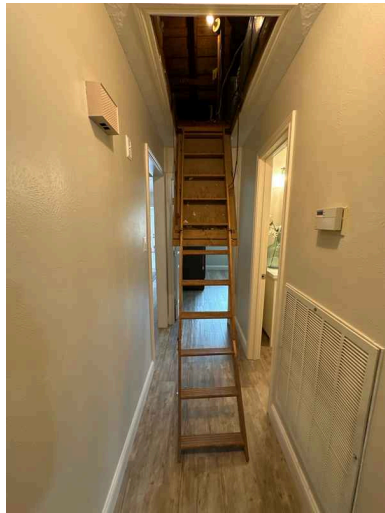
**1: Attic Door: Issues Observed** 

 Recommendation

Door not insulated, Screws/Hardware loose or damaged, Ladder is damaged, Door not properly secured to ceiling framing -

The above stated issues were observed in relation to the attic access door at the time of inspection. Attic access doors are required to be properly insulated, weatherstripped, and seal firmly for energy efficiency reasons. Pull down attic ladders are required to be properly secured to the ceiling framing with appropriate fasteners, the hardware on the doors should be kept in good condition and be regularly serviced for safety reasons. Recommend correction of any above referenced issues to ensure performance and proper installation.

Recommendation: Contact a qualified handyman.



**2: No garage roof ventilation** 

 Recommendation

Inspector observed no upper ventilation for the detached garage roof structure. Building code requires proper ventilation of enclosed attic spaces. Recommend correction.

Recommendation: Contact a qualified professional.

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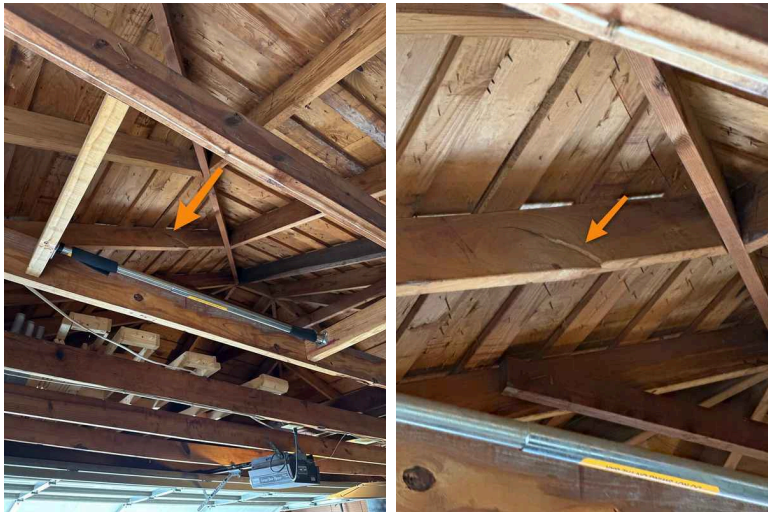


**3: Garage roof: Cracked rafter**

🔴 Recommendation

Inspector noted one of the rafters at the detached garage roof structure has cracked. This did not appear to be affecting the performance of the roof, but I recommend repair to avoid further deterioration.

Recommendation: Contact a qualified professional.



**4: Insulation issues**

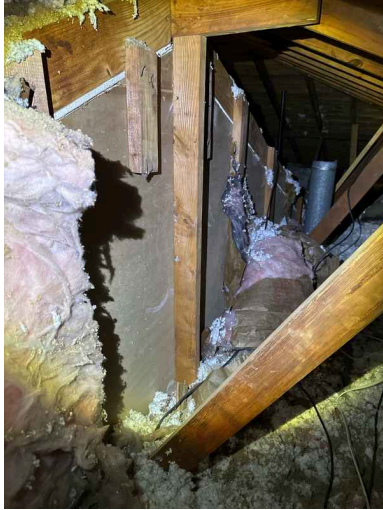
🔴 Recommendation

Inspector noted that sections of the insulation at the vertical walls and the living room area were observed to be missing or displaced as viewed from the attic. Recommend evaluation and ensuring the continuity of the thermal barrier.

Recommendation: Contact a qualified professional.

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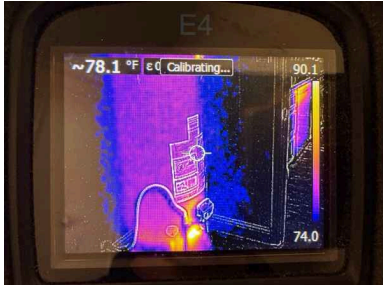


**E. Walls (Interior and Exterior)**

*Types of Exterior Wall Covering:* Masonry Walls, Wood Siding and Trim, Cement Fiber Siding/Trim

*Thermal Imaging Scan:*

A thermal imaging camera was used to scan the walls on the interior of the home. This scan revealed no signs of any issues at the time of inspection.



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*Previous/Recent Remodeling Noted:*

The inspector observed evidence of previous or recent remodeling to the original structure. Inspector does not determine the extent any previous remodeling, and is unable to verify any details or construction obstructed from view. Recommend you consult with the seller to determine extent of any previous remodeling and any applicable paperwork or permitting associated. More information may be contained in the report.

*Inspection Limited: Furniture, Stored Items/Equipment -*

Inspection of areas on the interior or exterior of the home were obstructed from view by the above stated conditions. The inspector does not move any furniture, stored items, heavy foliage, or any other obstruction. Areas that are locked or otherwise obstructed are not included in the scope of this inspection. High soil conditions or low footings can also obstruct potential issues. More information may be contained within the report.

Areas that are obstructed can potentially hide issues from view. Recommend further evaluation of all areas once these conditions are corrected or items are removed.

**1: Caulking and Sealing Needed**

[Maintenance Item](#)



Interior backsplash and other tile, Light fixtures and outlets -

The above stated locations were identified as areas in need of proper caulking and sealing, or maintenance to the existing sealant. Examples of locations needing sealing are pictured for your reference. Recommend further evaluation of these areas and all others to determine the extent of needed repairs.

Recommendation: Contact a qualified handyman.



**2: Damaged Soffit Screen**

[Maintenance Item](#)



Minor damage to the soffit screen was observed during inspection. Soffit screens prevent pest entry and debris accumulation while allowing ventilation. Damaged screens should be repaired or replaced to maintain proper airflow and pest protection.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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### 3: Exterior siding and trim observations

 Maintenance Item

Inspector noted a need for some minor maintenance or repairs at some locations on the siding, including trim absent from underneath the windows at the front of the home, as well as some deterioration to the siding around the pillars at the front. Recommend evaluation and correction as needed.

Recommendation: Contact a qualified professional.



### 4: Left side foundation clearance

 Recommendation



Inspector noted several locations around the left and back of the structure where the footing of the foundation is lower than the concrete poured around the slab which can lead to issues with moisture intrusion as well as obstruction inspection of this area.

The seller disclosure mentioned issues related to previous water intrusion or mold in the walls, and issues such as this can contribute to moisture retention at exterior wall cavities.

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

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Recommend evaluation by qualified contractor to determine the best method of repair to avoid further issues at the exterior walls and to ensure that water is directed away from the structure. Recommend preventative treatment of the areas for termites.

Recommendation: Contact a qualified professional.



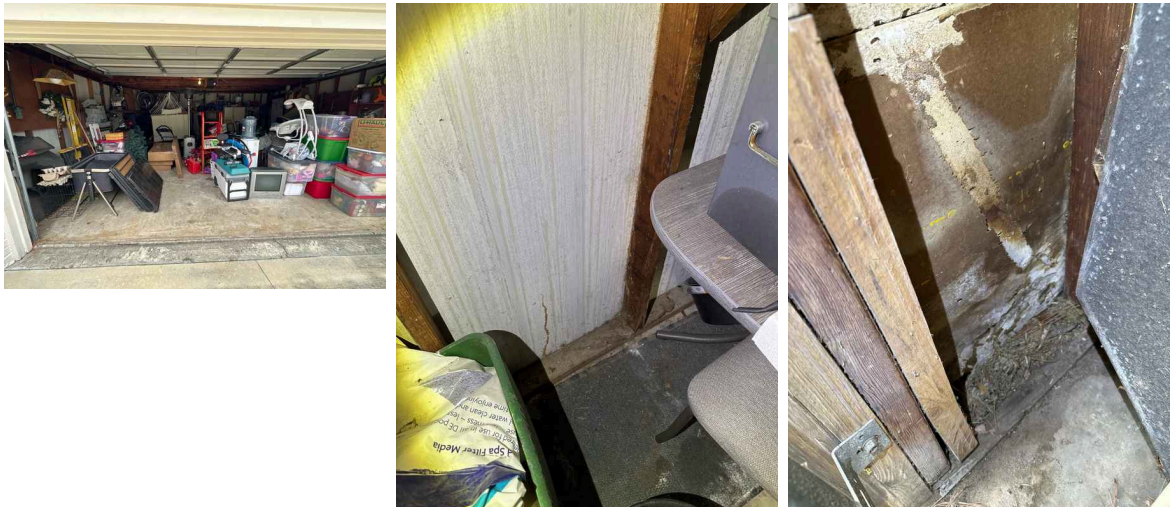
**5: Garage evaluation**

Recommendation



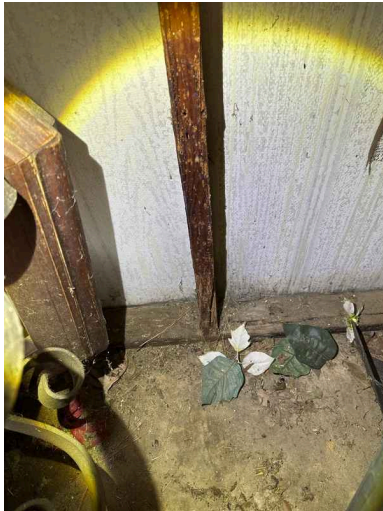
Inspector noted several areas with some signs of minor structural damage to the detached garage wall framing. Inspection of the area was extremely limited due to stored items at the time of inspection. Issues observed include signs of some water damage around the base of the walls, cracked or damaged studs, and some minor subterranean termite damage. Recommend further evaluation of the structure once all items have been removed to determine the extent of any needed maintenance or repairs.

Recommendation: Contact a qualified professional.



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**6: Drywall replacement**

Maintenance Item



Inspector observed some indication that the lower sections of some of the drywall at the interior the home have been replaced as observed from the return air opening. This is typically indicative of a previous moisture damage in structure. Recommend any questions regarding previous issue be directed to the seller.

Recommendation: Contact a qualified professional.



**F. Ceilings and Floors**

*Ceiling and Floors: Performing as intended:*

The ceilings and floors were performing as intended at the time of inspection. Thermal imaging revealed no signs of any moisture intrusion or areas of missing insulation.

*Floors - Area Rugs or Obstructions:*

Area rugs and other obstructions limit viewing the floor area. There could be hidden damage that the inspector can not see.

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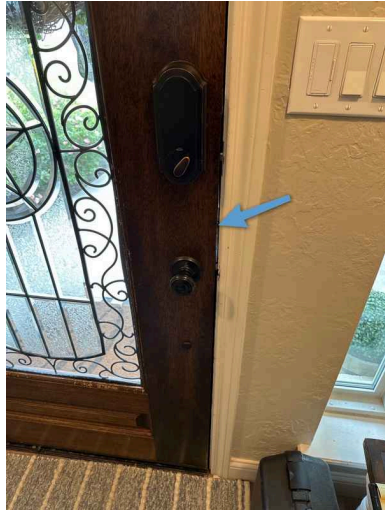
**G. Doors (Interior and Exterior)**

**1: Exterior Door: Gaps in Weather Seals**

[🔧 Maintenance Item](#)

Gaps were observed in the weather seal around the exterior doors. Repair as needed to prevent moisture, pest, and air intrusion.

Recommendation: Contact a qualified professional.



**2: Interior Door Hardware: Missing Door Stops**

[🔧 Maintenance Item](#)

One or more door stops were observed to be missing. Recommend adding door stops to prevent damage to drywall finish.

Recommendation: Contact a qualified professional.



**3: Double door to addition**

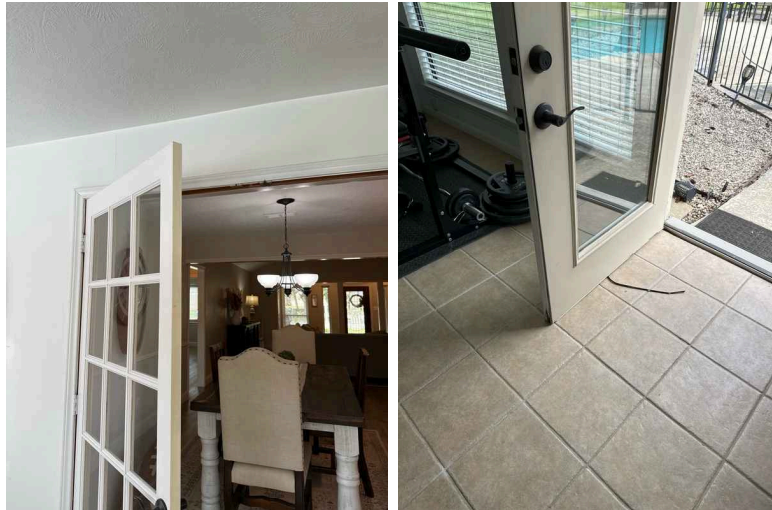
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**Maintenance Item**

The hardware on one of the double doors to the rear addition is catching excessively and in need of adjustment. Recommend correct

Recommendation: Contact a qualified professional.



**4: Exterior door off addition**

**Recommendation**

Inspector noted some moderate wood rot and deterioration around the base of the door at the rear edition area. Damage could be observed to the door jamb, the door itself, and the threshold was excessively loose. Recommend further evaluation to determine the extent of needed repairs to probably repair the door and ensure that no further moisture intrusion issues occur.

Recommendation: Contact a qualified professional.



**H. Windows**

*Windows Obstructed:*

Inspection of the windows was limited due to furniture, stored items, or window coverings. Recommend further evaluation once access permits.

**1: Failed Seal or Low-E Coating Defects**

**Recommendation**

Rear edition, minimum three windows

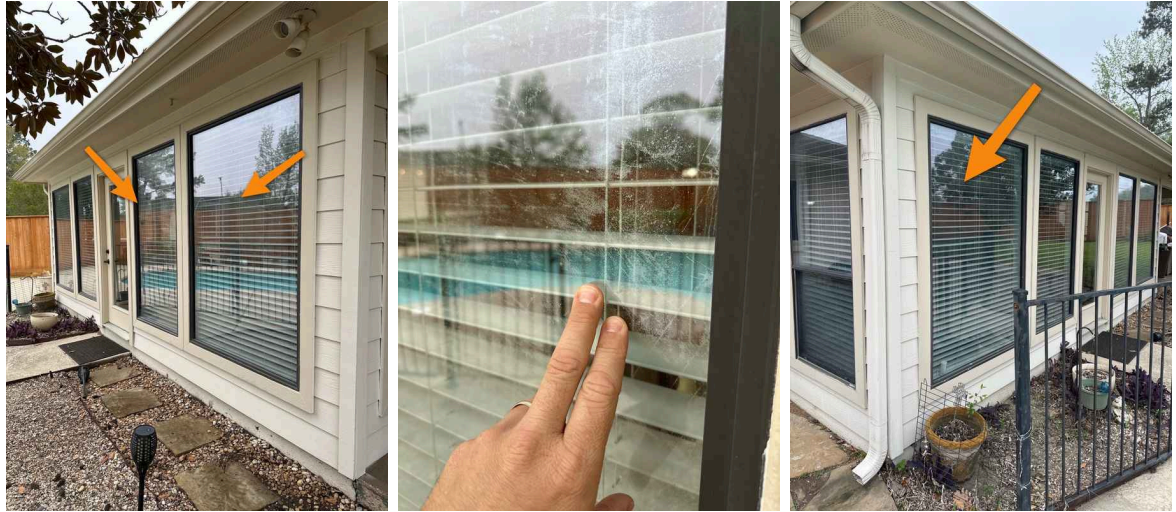


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The seal appears compromised or a Low-E coating defect appear to be present on the double pane window glass at the above stated locations. This condition is indicated by build-up observed between the panes of glass and will potentially require replacement of the glass. Recommend further evaluation and correction as needed. Consult with a qualified window contractor to evaluate above stated locations as well as thoroughly inspect all other units to identify any other seals that are compromised.

Recommendation: Contact a qualified window repair/installation contractor.



**I. Stairways (Interior and Exterior)**

**K. Porches, Balconies, Decks, and Carports**

*Performing as intended:*

All portions of the porches, balconies, and/or decks were observed to be performing as intended at the time of inspection.

**J. Fireplaces and Chimneys**

**1: Seal mortar cap**

[Maintenance Item](#)

Inspector noted some general deterioration and cracking to the mortar cap at the top of the masonry chimney. Recommend proper maintenance to avoid further deterioration or moisture penetration.

Recommendation: Contact a qualified professional.

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## 2: System issues and maintenance

### Recommendation

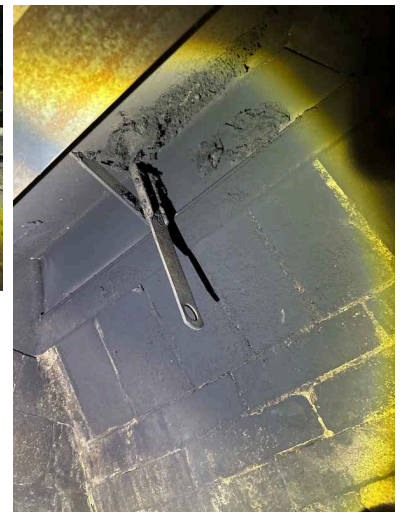


Inspector need for some service and cleaning in regards to the fireplace at the time of inspection. These issues include:

- parts of the gas log set were observed to be missing, including the rocks and faux ember material along the base. These help to disperse the gas evenly and I recommend cleaning and service of the gas log set.
- Inspector noted some general crystal buildup around the chimney and fire box and recommends proper cleaning and sealing of the area.
- Inspector noted no anti-closing device on the chimney flue damper. With a gas log set this device should be in place to avoid user error when operating the system.

Recommend evaluation of the unit by qualified technician to properly service prior to use.

Recommendation: Contact a qualified fireplace contractor.



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**L. Other**

*Comments:*

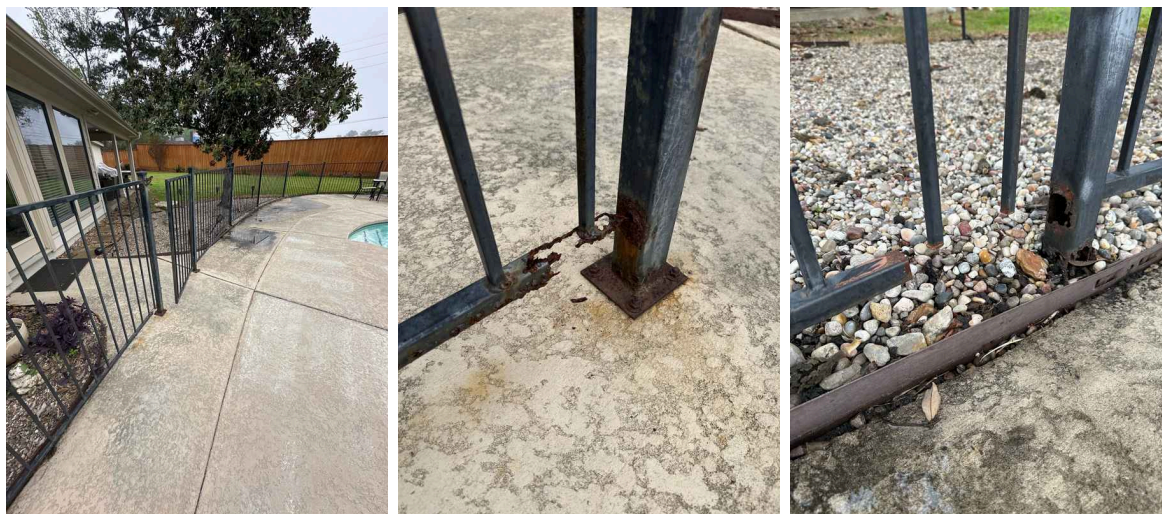
**1: Metal fencing**

👉 Recommendation



The metal fencing around the pool deck at the rear of the home showed excessive rusting and damage at multiple locations. Recommend further evaluation and budgeting for repairs as needed.

Recommendation: Contact a qualified professional.



**2: Inactive subterranean termite activity**

👉 Recommendation



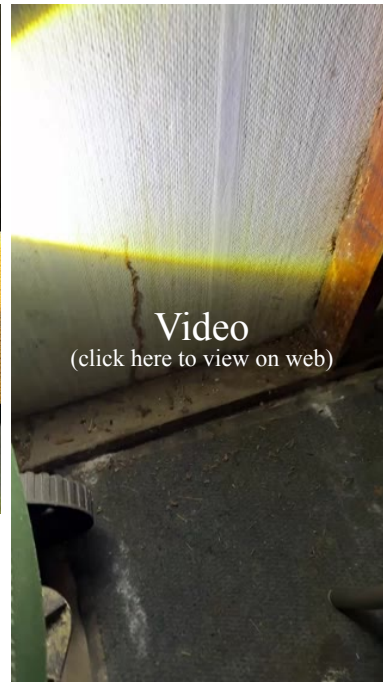
Inspector noted, inactive shelter tubes at the interior framing of the detached garage at the rear wall. Inspector did not observe any sticker on the home indicating that the house has had previous treatment for subterranean termites.

Recommend that you consult with the seller regarding any known or previous issues or treatments, and recommend due to the previous activity with no signs of previous treatment, as well as the conducive conditions on the house, that you consult with a pest control company to perform a preventative treatment on the garage and home.

Recommendation: Contact a qualified pest control specialist.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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## II. ELECTRICAL SYSTEMS

**A. Service Entrance and Panels**

*Main Disconnect/Service Box Type and Location:* Breakers-Exterior Wall

*Service Entrance Cable Location:* Underground (Cable Material Type Not Visible), Aluminum

*Service Size:* 150 Amps

*Comments:*

*Service Entrance/Panel:* Performing as intended:

All portions of the service entrance and panel were performing as intended at the time of inspection.

*Photo of Panel:*



*Recommend Electrician:*

Recommend a licensed electrician to further evaluate and perform the necessary repairs.

### 1: Arc-Fault Safety Protection Missing

👉 Recommendation



Arc-fault safety protection was not installed for **all currently** required 15 and 20 amp circuits. While this protection may not have been required when this property was built, recommend you consider upgrading to satisfy modern code requirements and for safety reasons.

**Note:** This protection was required by the National Electric Code for homes built after 2008. The Texas Real Estate Commission recognizes that the building codes have not always required AFCIs, however the agency believes that it is important for consumers to be made aware of these safety devices when they are not present and functioning in a home as a consumer protection issue, and requires inspectors to comment regardless of the homes age.

Recommendation: Contact a qualified electrical contractor.

### 2: Surge Protection: Missing

👉 Recommendation

Inspector observed no surge protector to be located at the service panel for the property. Recent changes to the NEC code now require all homes to have a properly rated surge protector installed at the service panel

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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equipment. Recommend you consult with a qualified electrician regarding the lack of surge protection to evaluate and install as needed.

Per NEC 230.67: As of 2020, a type 1 or 2 surge protection device must be installed and may be integrated into the main panel or adjacent to it.

*2020 Code Language: 230.67 Surge Protection.*

*(A) Surge-Protective Device. All services supplying dwelling units shall be provided with a surge-protective device (SPD).*

***(B) Location. The SPD shall be an integral part of the service equipment or shall be located immediately adjacent thereto.***

Recommendation: Contact a qualified electrical contractor.

**3: 240v GFCI absent**

🔴Recommendation

Inspector observed no GFCI protection in place for the 240 V breaker that is serving the above stated circuits. The recent changes to the 2020 NEC now require all plugs in wet areas (up to 250 V) to have GFCI protection. Consult with the electrician regarding this issue to ensure proper GFCI breakers installed for these circuits.

Recommendation: Contact a qualified electrical contractor.

**B. Branch Circuits, Connected Devices, and Fixtures**

*Type of Wiring:* Copper

*Comments:*

*Electrician needed:*

Multiple issues observed with the branch wiring and fixtures for the property. Recommend consulting with a qualified electrician to evaluate further and determine the extent of necessary repairs.

*Inspection limited:*

Inspection of outlets, switches and accessory connections was limited due to concealment behind furniture/storage or child proofing.

*Audio/Video not inspected:*

The A/V equipment around the property is not included in the scope of this inspection. Recommend consulting with a qualified contractor if you desire further evaluation of this equipment and related items.

**1: Ceiling Fan: Out of Balance**

🔴Recommendation

Multiple locations

Ceiling fans at above stated locations were observed to be out of balance when in operation. Further evaluation to correct this issue is recommended.

Recommendation: Contact a qualified electrical contractor.

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## 2: Closet lights

🔴 Recommendation

The light fixtures inside the closets are the aged bare bulb type. Building code no longer permits these light fixtures to be installed in clothes closets. Recommend replacement with properly rated fixtures for safety reasons.

Recommendation: Contact a qualified electrical contractor.



## 3: Smoke/CO alarms

🔴 Safety Hazard

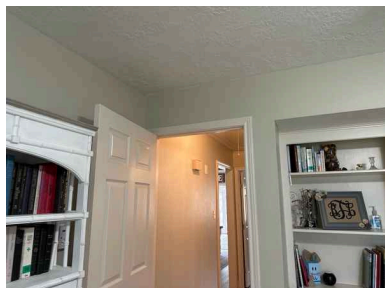


Inspector observed no smoke alarms at several required locations such as bedrooms. Recommend installation of smoke alarms at all required locations as well as installation of a carbon monoxide alarm.

Recommendation: Contact a qualified electrical contractor.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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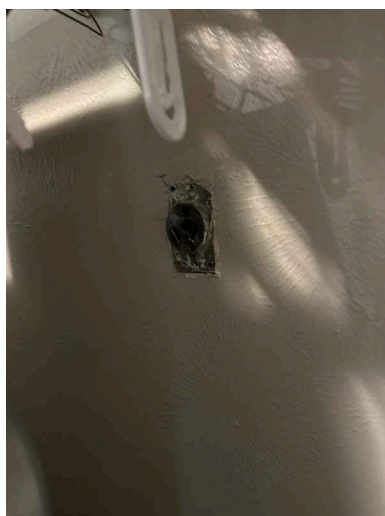


#### 4: 3-Prong Dryer Outlet

🔴 Recommendation

An older style 3-prong outlet was observed for the dryer in the laundry room. Newer dryer appliances have a 4-prong type outlet, as a result recommend updating the outlet or retrofitting the plug as needed.

Recommendation: Contact a qualified professional.



#### 5: 2-wire circuits

⚠️ Safety Hazard



Inspector noted that this home is utilizing some of the original two wire ungrounded circuits to distribute power throughout the home and that multiple locations observed with newer three prong outlets install installed on this older wiring.

This condition presents a false sense of a ground wire being present and is a code violation.

Recommend that you consult with a qualified electrician to come and perform a full evaluation on the home specifically in regards to the older ungrounded wiring.

Electrician should be consulted to evaluate all locations and take necessary corrective action to ensure proper safety and code compliance.

Note: potential solutions (short of rewiring of the house to meet a modern standard) would include installation of GFCI protection. Consult with an electrician to review your options.

Recommendation: Contact a qualified electrical contractor.

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

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**6: Electric at garage**

🔴 Recommendation

Inspector noted several improper wiring practices at the electrical in the detached garage. This includes inadequately secured or protected wiring, as well as wiring that is routed outside the wall cavity. Recommend evaluation and repair as needed, and ensuring that all outlets are GFCI protected.

Recommendation: Contact a qualified professional.



**7: Living room 3-way circuit**

🔴 Recommendation

Inspector noted that the three-way circuit installed for the can lighting in the main living room is not installed properly as the switches do not operate independently of one another. Recommend evaluation and repair as needed.

Recommendation: Contact a qualified professional.



I	NI	NP	D
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**8: Old switches**

🔴 Recommendation

Inspector noted several of the bedrooms have older style switches that were likely utilized for the fan control at one time, but no longer appear to be in use. Recommend review of all locations and removal of any switches that are no longer being utilized.

Recommendation: Contact a qualified professional.

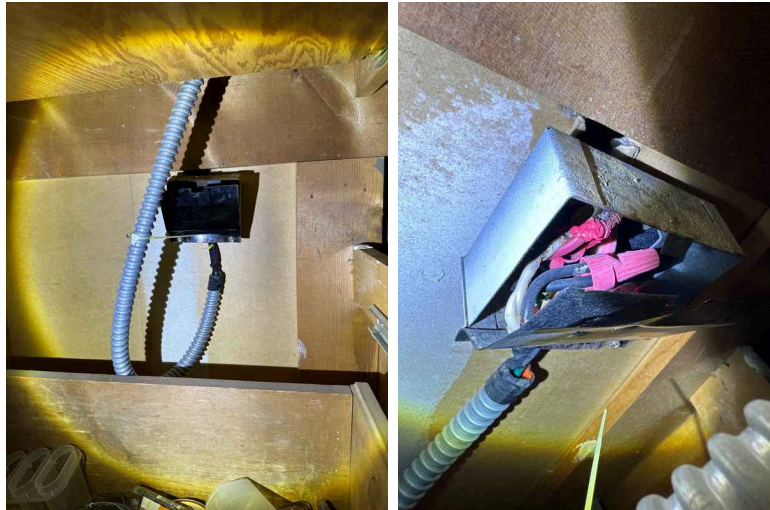


**9: Cooktop electrical issue**

⚠️ Safety Hazard

Inspector noted a burning smell coming from the cabinet area when the cooktop was operated at the time of the inspection and observed signs of burning at the electrical junction box for the appliance. Issues observed with the wiring as well, including inadequately protected wiring, and the box not being secured or grounded. This is a potential fire hazard, and I recommend full evaluation by qualified Electrician.

Recommendation: Contact a qualified electrical contractor.



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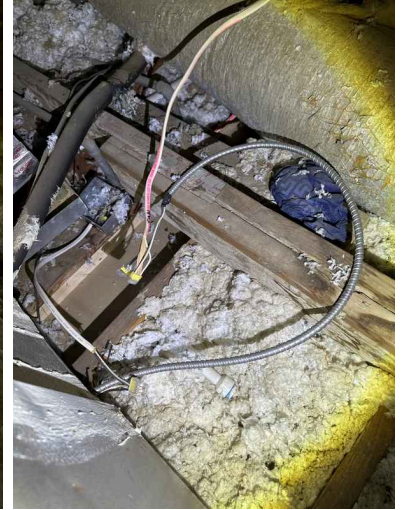
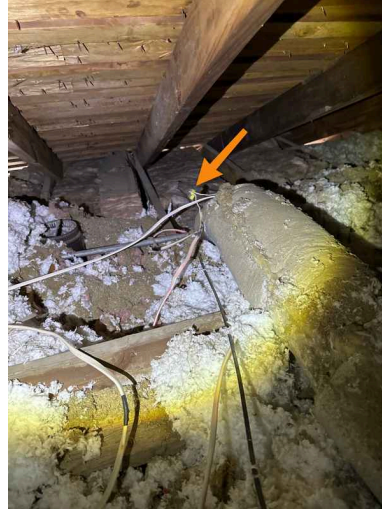
**10: Attic space electrical**

👉 Recommendation



Inspector noted multiple issues related to the electrical at the attic space including open junction boxes, wiring not properly secured, and open splicing of the electrical wiring. Recommend further review by an electrician to determine the extent of the repairs needed.

Recommendation: Contact a qualified professional.



C. Other  
Comments:

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### III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

**A. Heating Equipment**

*Type of Systems:* Forced Air

*Energy Sources:* Natural Gas

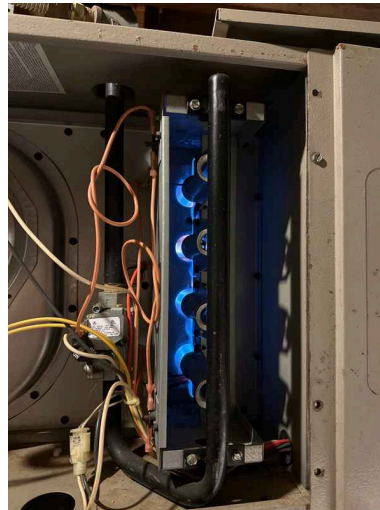
*Routine Service is Recommended:*

**Note:** Due to the age of the system it is recommended to have the system serviced to help prolong the life.

*HVAC technician needed:*

Due to the conditions stated below I recommend you consult with a qualified HVAC technician to fully evaluate the system and determine the extent of any necessary repairs.

*Data label/General photos:*



#### 1: General installation issues

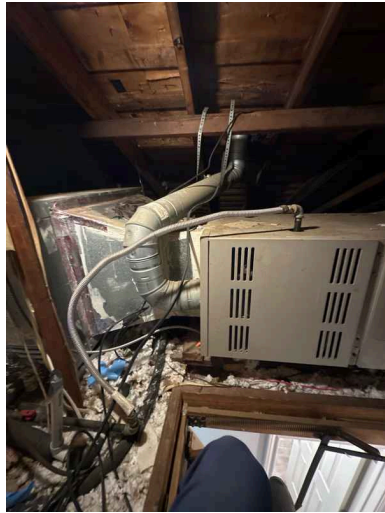
**Recommendation**

Inspector noted of general issues related to installation and code compliance on the older air handler. This includes no trash leg on the gas line installation as well as poor securing of the exhaust vent and items in contact with the vent. Recommend evaluation and correction of these issues in conjunction with other needed repairs. Recommend the system be evaluated and cleaned and serviced.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**2: Rusting around heat exchanger**

🔴 Recommendation

Inspector noted that the heating equipment did appear to operate at the time of the inspection, but that there was some moderate rusting or deterioration around the heat exchanger. Recommend review of the unit by qualified technician to ensure that all items are in good condition and to service as needed.

Recommendation: Contact a qualified heating and cooling contractor



**B. Cooling Equipment**

*Type of Systems:* Central Air Conditioner

*Ambient Air Test:*

Ambient air test was performed by using thermometers on the return air and supply registers, to determine if the difference in temperatures of the supply and return air are between 15 degrees and 20 degrees which indicates unit is cooling as intended.

Single Unit

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Supply Air Temp: Degrees F: 55

Return Air Temp: Degrees F: 71

Differential: Degrees F: 16



*HVAC technician needed:*

Due to visible condition of the equipment and issues stated below, recommend that you consult with an HVAC technician to evaluate the systems further and determine the extent of necessary repairs.

*Data labels/Info:*

System size: 3.5 ton

System Brand: unknown

Condenser age: 2024

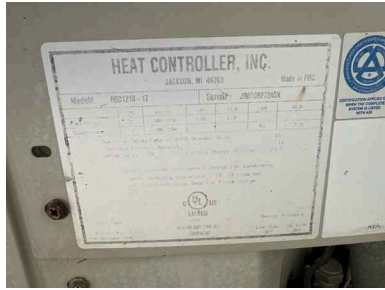
Evaporator age: 2013

Refrigerant type: 410a



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**1: Condenser Maintenance Required**

Maintenance Item

The air conditioning condenser requires leveling and cleaning to maintain proper operation and efficiency. Recommendation: Contact a qualified professional.



**2: Small AC system**

Recommendation



Inspector noted a separate HVAC system was installed in conjunction with the rear addition, but that it appears no longer functional as observed at the time of inspection.

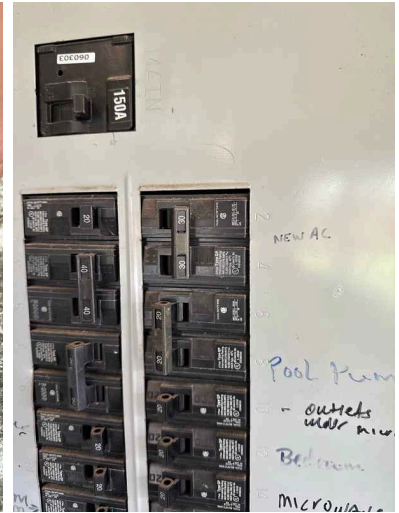
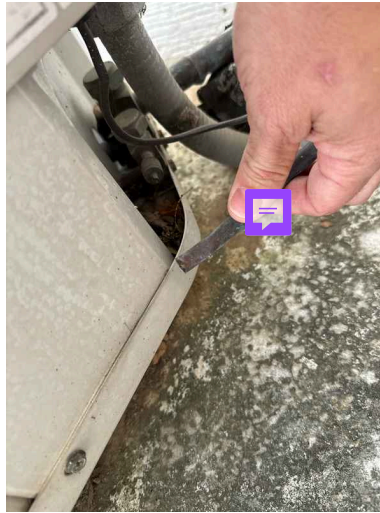
Inspector noted that the breaker for the condenser was turned off and that the refrigerant lines appeared to be detached at the condenser unit.

Recommend consulting with the seller regarding the known issues or conditions with the system and recommend full evaluation by qualified HVAC contractor to determine the extent of needed repairs or the system will require replacement. Recommend budgeting for repair or replacement as needed.

Recommendation: Contact a qualified heating and cooling contractor

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**3: Evaporator coil: service required**

**➔Recommendation**

Inspector noted need for evaluation and service in regards to the main home evaporator coil. Issues observed include:

- the tape and seal for the access to the evaporator coil was blown open and leaking volumes of conditioner into the attic space.
- the coil showed signs of being excessively dirty and in need of proper cleaning. The seller discloses previous issues with mold inside the home, and I recommend cleaning of the system and considering installation of UV light or other air scrubber to help improve air quality.
- inspector noted improper termination of the condensate drain, including no proper trap in place at the event connection as well as in adequate insulation and signs of previous issues around the drain. Recommend evaluation to ensure that the drain is properly insulated and installed.

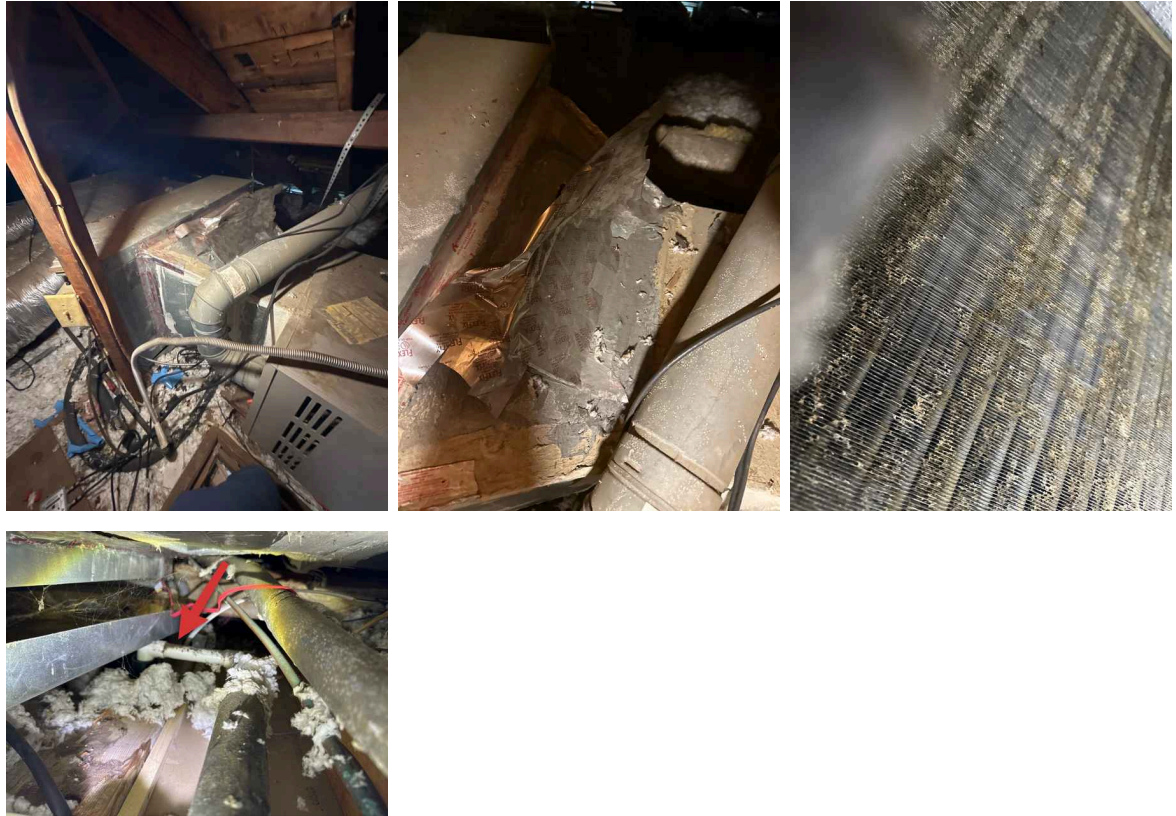
Summary: while the AC equipment appeared to be performing adequately, the system has some aged components that require further evaluation and service by qualified HVAC contractor. Recommend evaluation

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and correction of these issues.

Recommendation: Contact a qualified heating and cooling contractor



**C. Duct Systems, Chases, and Vents**

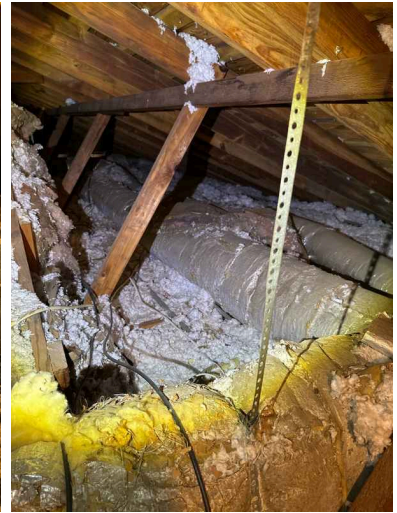
*HVAC tech needed:*

Issues observed with the overall condition of the ducts and related components at the time of the inspection. I recommend you consult with a licensed, qualified HVAC contractor to evaluate further and determine the extent of any necessary repairs.

*General Photos:*

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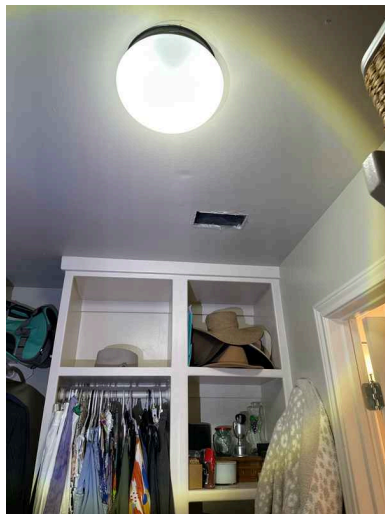
**1: Registers: Missing Vent Cover**

🔻Recommendation

Master closet

Vent cover/s were missing. Remedy as needed.

Recommendation: Contact a qualified professional.



**2: Ductwork issues**

🔻Recommendation

Inspector noted that the ductwork for the home is still utilizing mostly the original metal insulated type with some new sections installed around the air handler and some other location.

Inspector noted the ducts to be overall in good condition for their age, but noted some issues that should be further evaluated in conjunction with other HVAC repairs.

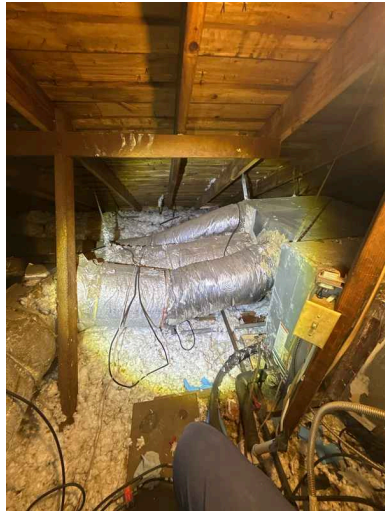
These issues include: ducts resting in the insulation and not properly strapped up off the attic floor, areas where the ducts show signs of denting or damage, the Plenum box around the air handler showed some leak leaking and it needs properly sealed.

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Recommend consulting with a qualified HVAC contractor to evaluate the ductwork in conjunction with other repairs to determine the extent of any needed maintenance or seal up.

Recommendation: Contact a qualified heating and cooling contractor



Unit dented



Ducts buried/not supported

**D. Other**

*Comments:*

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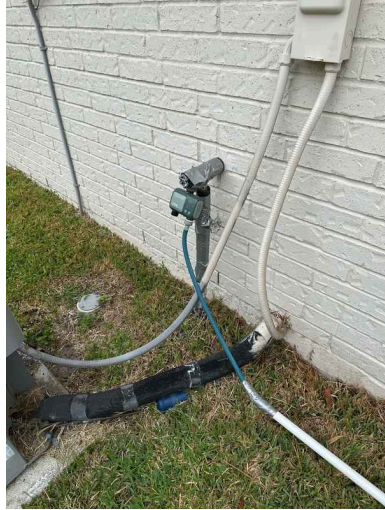
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### IV. PLUMBING SYSTEMS

**A. Plumbing Supply, Distribution Systems, and Fixtures**

*Location of Water Meter:* Not determined

*Location of Main Water Supply Valve :* Exterior wall- Right side



*Static Water Pressure Reading:* 50-55 PSI -

•

*Type of Supply Piping Material:* Galvanized

*Type of Piping::* Galvanized, PEX



**Galvanized Piping:**

Galvanized plumbing was observed to be partially in use at the home, this type of plumbing is known to develop issues over time such as low water pressure and pin hole leaks. It would be wise to budget for replacement in the future. Typical life expectancy for Galvanized piping is between 40-50 years.



**Plumbing Repairs Needed:**

Several issues were observed in relation to the plumbing distribution and fixtures throughout the property. Recommend consulting with a qualified plumber to evaluate conditions further and determine the extent of

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necessary repairs.

**1: Hose Bibb (outdoor faucet): Backflow Prevention Missing**

 Maintenance Item

One or more hose bibb(s) Missing a backflow preventer. These devices are inexpensive, easily installed and help prevent contamination of potable water. Repair as needed.

Recommendation: Contact a handyman or DIY project



**2: Hose valves**

 Recommendation 

Inspector noted several issues at the exterior hose valves, including some leaking around the valve at the left side as well as some leaking around the bowl stems when operated. Recommend evaluation to ensure that all hose valves are operating properly and have proper antisiphon protection.

Recommendation: Contact a qualified professional.



**3: Galvanized pipe**

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**▲ Safety Hazard**

Inspector noted that the original galvanized pipe is still distributing water throughout the property. This pipe is known to develop issues overtime related to pour water pressure, dirty or discolored water, and leaks that develop due to extensive corrosion.

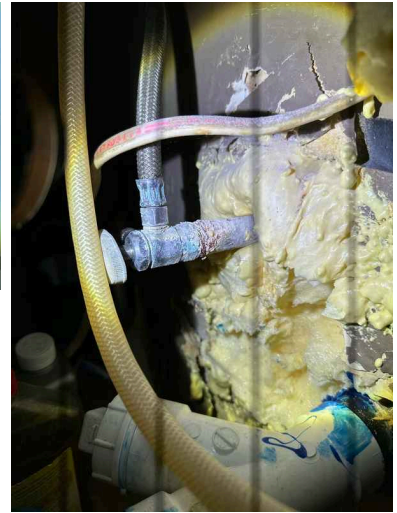
Inspector noted that the water pressure appeared adequate at the fixtures at the time of the inspection, but that multiple locations on the piping displayed some heavy corrosion or deterioration. This was most noticeable around the shut off valves and at the connections.

Inspector also noted some rusty colored water coming from some of the fixtures when first operated



These conditions are indicative that the galvanized pipe is deteriorating, and it is my recommendation that you consult with a qualified plumber to evaluate further and that you budget for replacement of the galvanized pipe.

Recommendation: Contact a qualified plumbing contractor.



**4: Kitchen sink sprayer**

**➔ Recommendation**

Inspector noted some rusting and corrosion around the sprayer at the kitchen sink fixture. Recommend repair or replacement as needed.



Recommendation: Contact a qualified professional.

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**B. Drains, Wastes, and Vents**

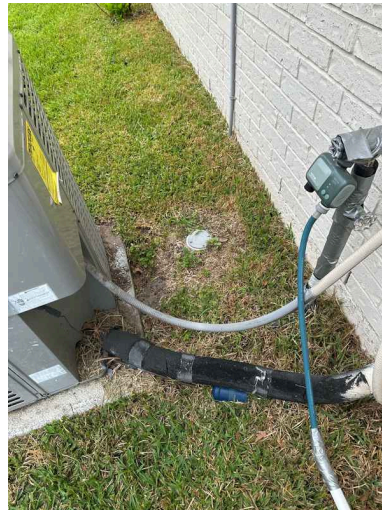
*Type of Piping::* ABS

*Type of Drain Piping Material:* PVC, ABS

*Recommend plumber:*

Several issues observed with the condition of the plumbing drains throughout the home. Recommend consulting with a qualified, licensed plumber to evaluate these conditions further and determine the extent of necessary repairs.

*Main Cleanout Access:*



*Drain inspection limited - Items under sinks:*

Note: Inspection of the drain assemblies under the sinks were severely limited due to excessive amounts of stored items at the time of inspection. Recommend further evaluation of these locations once items are removed. Removal of these items may reveal hidden defects.

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*Sewer lines not inspected:*

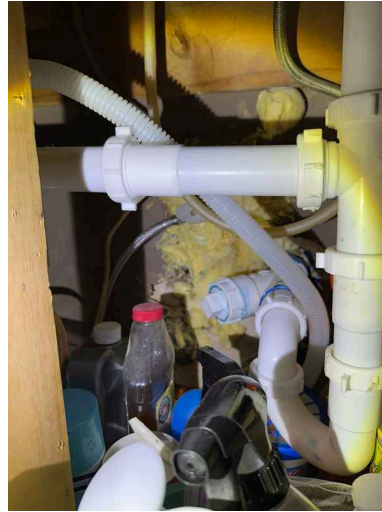
This inspection does not include any evaluations of the underground drain/sewer lines. Recommend any concerns be directed to the seller or a qualified plumbing contractor.

**1: Cleanout off kitchen**

👉 Recommendation

Inspector noted the old cleanout off the rear wall of the kitchen showed some signs of water escaping and recommend evaluation and service as needed.

Recommendation:  Contact a qualified professional.



**2: Recommend sewer evaluation**

👉 Recommendation



Inspector noted that this is an older home that has previously disclosed issues with the sewer lines on the property, as well as showed some signs of foundation movement.

The sewer/drain lines for the property are beyond the scope of this inspection, and is the Inspector's recommendation that due to the age of the home, signs of foundation movement, and disclosed previous issues with the sewer lines that you consult with a qualified plumber to perform an evaluation on the sewer/drain lines for the property. Recommend that the lines be evaluated with the camera, and if necessary, performing hydrostatic testing to ensure that no under slab leaking is occurring.

Recommendation: Contact a qualified plumbing contractor.

**C. Water Heating Equipment**

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

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Energy Sources: Natural Gas  
Capacity: 40 Gallons -

- 

Location: Utility Room  
Data label:  
Water heater:



**1: Venting: Improper vent termination**

**▲ Safety Hazard**

The cap in use at the roof termination of the water heater exhaust vent is not approved for use with combustion appliances. The vent does not adequately penetrate through and above the roof and is not properly capped. Recommend correction to ensure proper exhaust of the appliance.

Recommendation: Contact a qualified professional.



**2: General installation issues**

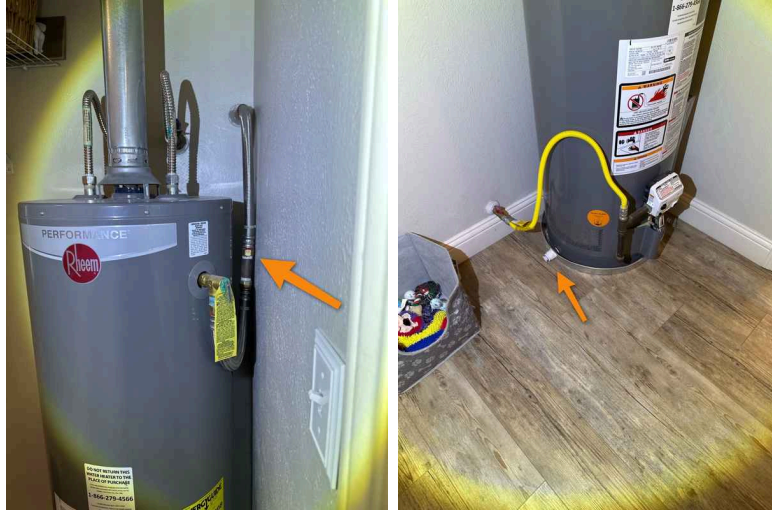
**● Recommendation**

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Inspector noted some installation issues related to the appliance. This includes the temperature and pressure relief valve runs in an upward direction as well as no drain line attached to the pan below the unit. These issues violate proper code installation and I recommend evaluation by a plumber to correct as needed.

Recommendation: Contact a qualified professional.



D. Hydro-Massage Therapy Equipment

E. Gas Distribution Systems and Gas Appliances  
*Location of Gas Meter:* Backyard



*Type of Gas Distribution Piping Material:* Black steel  
*Comments:*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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## V. APPLIANCES

**A. Dishwashers**

*General Photos:*



**1: Missing Anti-Siphon Loop**

[Maintenance Item](#)

There should be an anti-siphon loop or an air gap in the dishwasher drain line to prevent backwash from the waste disposal. Correct as needed.



**B. Food Waste Disposers**

*Comments:*

*Photo:*

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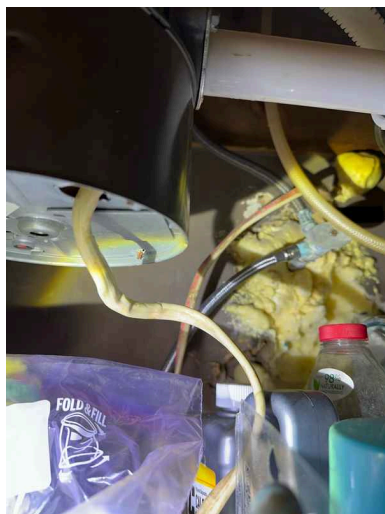
**1: Bare Romex Wiring**

👉 Recommendation

Kitchen

Bare electrical wiring (Romex) was observed serving power to the food waste disposer. Exposed wiring creates a serious shock hazard and fire risk, as it lacks proper insulation protection. This condition requires immediate correction by an electrical contractor who can install the wiring in appropriate conduit or replace it with properly insulated cable.

Recommendation: Contact a qualified professional.



**C. Range Hood and Exhaust Systems**

**1: Unit clearance**

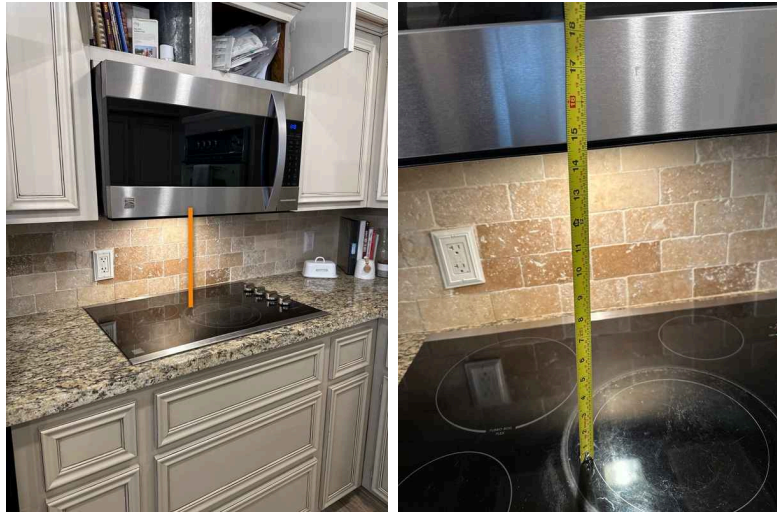
👉 Recommendation

Inspector noted low clearance of the microwave/exhaust unit to the cooktop surface. Typically a minimum of 18 inches of clearance is required to the appliance. Recommend correction as needed.

Recommendation: Contact a qualified professional.

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**2: Vent not connected**

🔴 Recommendation

Inspector noted that there is a duct for the range hood installed at the cabinet that routes into the attic space, but that it does not appear to be currently utilized. Recommend review of the range hood installation at the kitchen to determine the extent of needed repair repairs to allow for the unit to be connected to the exhaust. Recommend the exhaust be properly routed out through the roof it is to be utilized.

Recommendation: Contact a qualified professional.



**D. Ranges, Cooktops, and Ovens**

*Cooktop was performing as intended at the time of the inspection.:*

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**1: Electrical issue**

**▲Safety Hazard**

Inspector noted an electrical issue when operating the cooktop appliance at the time of inspection. Some burning smell and signs of burn marking could be observed in the junction box below the cooktop when operated.

Recommendation: Contact a qualified electrical contractor.



**2: Oven aged**

**👉Recommendation**

The double oven unit for the property is an older model, and some features such as the lights did not function at the time of inspection. The elements did appear to heat up and operate when the appliance was tested.

Recommend evaluation and repair or replacement as desired.



Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**E. Microwave Ovens**  
*Microwave was performing as intended at the time of the inspection.:*

**F. Mechanical Exhaust Vents and Bathroom Heaters**

**1: Vent Ducts Terminate in Attic**

**🔴Recommendation**

The bathroom exhaust fan vents terminated in the attic space. Exhaust fans should terminate to the exterior to prevent excess humidity in the attic space. Repair as needed.

Recommendation: Contact a qualified professional.



**2: Unit aged/noisy**

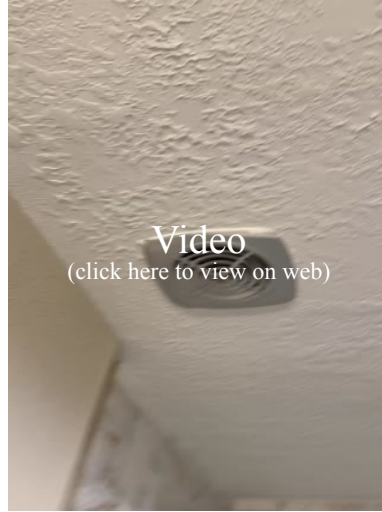
**🔴Recommendation**

Inspector noted that the exhaust fans in the bathroom are aged and excessively noisy when operated indicating that the motor or components are wearing out. Recommend evaluation and budgeting for

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replacement.

Recommendation: Contact a qualified professional.



**G. Garage Door Operators**

**1: Aged unit: No safety features**

**▲Safety Hazard**

Inspector noted that the overhead garage door opener is an older model that does not have modern safety features such as motion sensors and other devices. Inspection of the unit was extremely limited due to larger amount of stored items in the garage at the time of inspection.

Recommend evaluation of the unit by qualified technician to determine the extent of any needed repairs or service and that you consider modernization for safety reasons.

Recommendation: Contact a qualified professional.



I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**H. Dryer Exhaust Systems**

**1: Cap worn**

 Recommendation

The vent cap for the dryer duct is worn and showed some heavy lint buildup. Recommend cleaning and repair as needed.

Recommendation: Contact a qualified professional.



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### VI. OPTIONAL SYSTEMS

**A. Landscape Irrigation (Sprinkler) Systems**

*Comments:*

*Photos of Equipment:*



*Not Inspected:*

The sprinkler system was not included in the scope of this inspection. Recommend further evaluation of the system to determine any necessary repairs or maintenance.

**B. Swimming Pools, Spas, Hot Tubs, and Equipment**

*Type of Construction:* Pool

*Comments:*

*Recommend a Pool Contractor:*

The pool and related equipment was shown to be in need of several repairs and displayed various issues that require further evaluation by a qualified contractor. Recommend a licensed, competent pool contractor be consulted to further evaluate and perform the necessary repairs.

*Pool and Equipment Photos:*



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**1: Child Safety Issues**

**⚠ Safety Hazard**

Several safety related items around the property were observed to not meet modern code requirements. These conditions include, but are not necessarily limited to: no self-closing feature and other latch requirements on gates as well as no audible alarm at home entry door. Recommend further evaluation and correction of these and any other modern safety requirements to avoid potential hazards, especially to children. Consult with a qualified contractor to determine extent of necessary repairs to meet modern safety and code recommendations.

Recommendation: Contact a qualified swimming pool contractor

I=Inspected    NI=Not Inspected    NP=Not Present    D=Deficient

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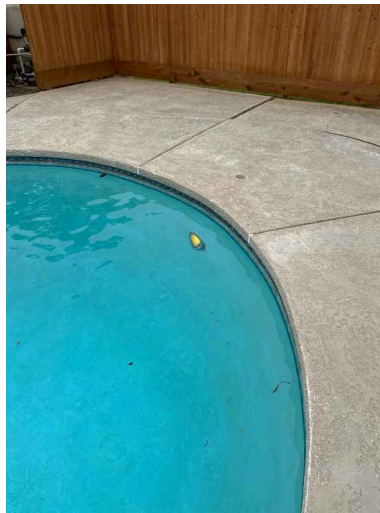


### 2: GFCI protection

**▲ Safety Hazard**

Inspector noted no GFCI protection in place for the pool light circuit or for the equipment. This is a required protection and should be installed for safety reasons. Recommend review of all electrical for the pool and equipment by qualified electrician to ensure proper installation and code compliance.

Recommendation: Contact a qualified electrical contractor.



### 3: Pool deck issues

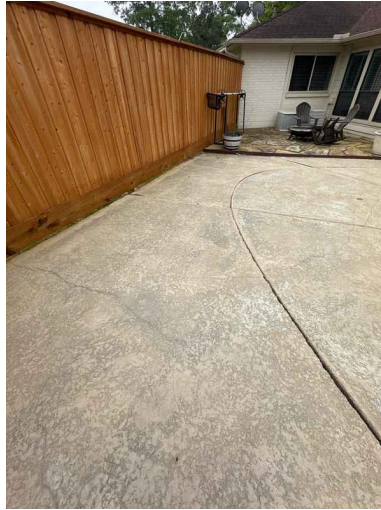
**👉 Recommendation**

Inspector noted that the concrete flat work at the deck around the pool showed signs of heavy deflection or cracking at multiple locations. Areas could be observed holding water due to inadequate slope and no overflow drains. Recommend evaluation of the decking by qualified contractor to determine the extent of needed repairs or maintenance to ensure no further movement occurs and to ensure water is draining properly.

Recommendation: Contact a qualified professional.

I=Inspected      NI=Not Inspected      NP=Not Present      D=Deficient

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**4: Booster pump**

➡ Recommendation

Inspector noted some signs of leaking at various connections on the pool booster pump assembly. Recommend full evaluation of the equipment and piping to determine the extent of needed repairs or maintenance.

Recommendation: Contact a qualified professional.

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### 5: General equipment issues

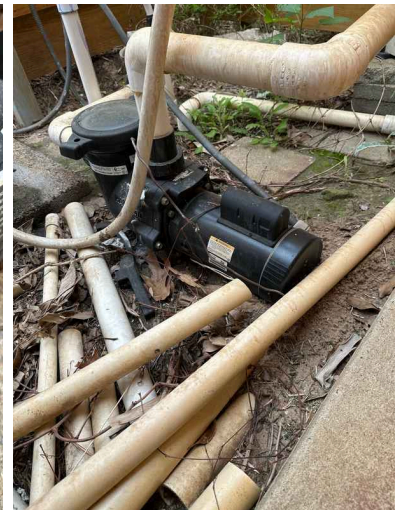
#### 🔴 Recommendation

Inspector noted several general issues related to the installation and condition of the equipment. These issues include, but are not limited to:

- no proper bonding of the booster pump and other related equipment
- open electrical wiring or loose conduit
- the timer box is poorly or inadequately secured

Recommend review of the installation of the equipment by qualified pool contractor to advise on needed corrective action and considering reconfiguration of the system to allow for proper access to all equipment.

Recommendation: Contact a qualified professional.



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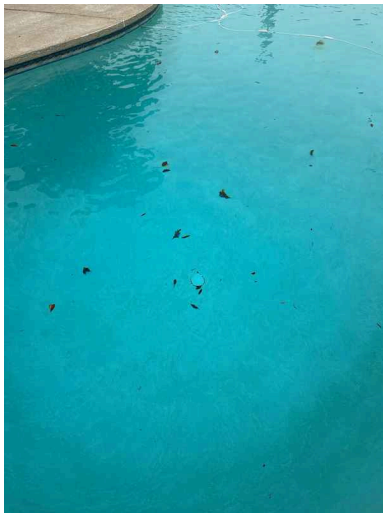


**6: Single floor drain**

🔴 Recommendation

Inspector noted that the pool is an older style with a single floor drain, which is no longer permitted. The drain does appear to have an anti-vortex cover. Recommend consulting with a pool contractor to determine if some corrective action should be done to improve safety in conjunction with the needed structural repairs.

Recommendation: Contact a qualified swimming pool contractor



**7: Structural issues: Recommend further evaluation**

🚨 Safety Hazard

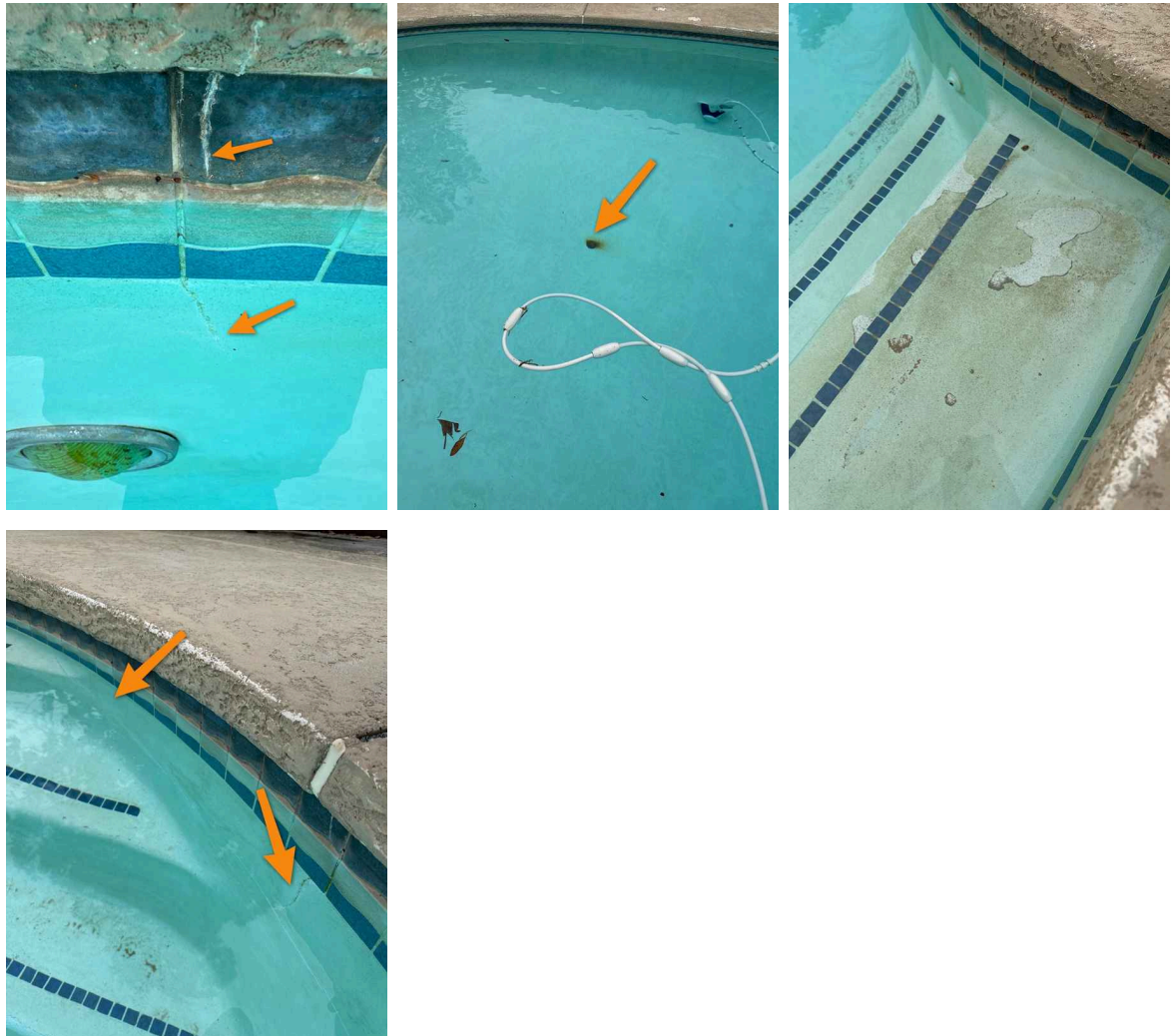


Inspector noted that the pool is an older structure that showed signs of deterioration and a need for refinishing and other maintenance/repairs. Moderate cracks could be observed in the shell at several locations and the plaster show signs of deterioration and a need for refinishing.

Recommend consulting with a qualified pool contractor to evaluate the structure further to determine the extent of any needed repairs and to quote for the needed refinishing and other required maintenance.

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Recommendation: Contact a qualified professional.



**8: Pool tile**

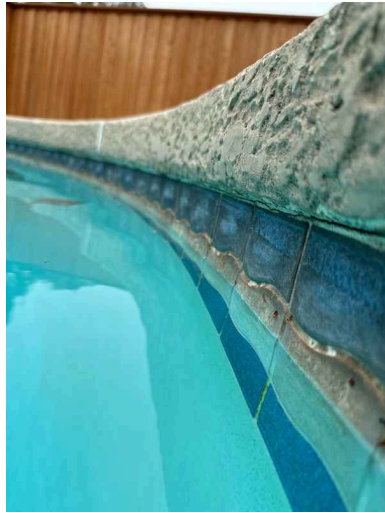
 Maintenance Item



The tile around the perimeter of the pool appeared to be overall in good condition, but did show a need for cleaning and maintenance. Recommend coordinating with the pool contractor to determine that the tile will remain in conjunction with the pool refinishing and to budget for repair as needed.

Recommendation: Contact a qualified professional.

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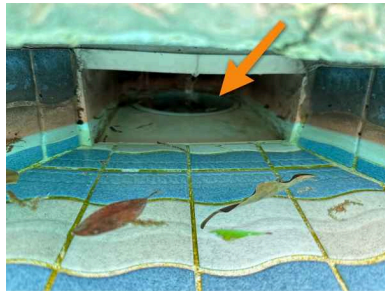


**9: Skimmer weir**

🔴 Recommendation

Inspector noted that there is no weir installed at the skimmer opening. Recommend correction to ensure proper function of the skimmer.

Recommendation: Contact a qualified professional.



**10: Filter setup**

🔴 Recommendation



Inspector noted that the filter in place is a diatomaceous earth style, which requires proper backwashing and valve assembly. Recommend review of the equipment and piping by a qualified pool contractor to ensure installation of appropriate valve and termination of the backwash drain.

Recommendation: Contact a qualified professional.

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**11: Pool fill line**

🔴 Recommendation

Inspector noted a line attached to a hose valve at the right exterior that routes towards the back fence and believes that this is your pool fill line. This installation does not meet proper code as there is no proper check valve or backflow preventer. Recommend evaluation in conjunction with other needed pool repairs to ensure proper installation of the pool fill line.

Recommendation: Contact a qualified professional.

