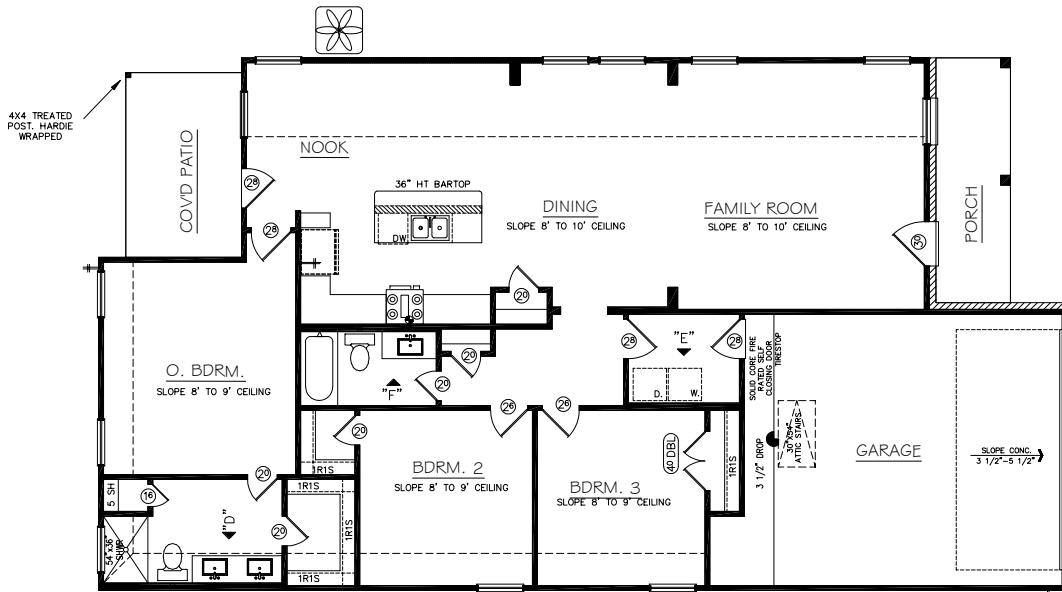


PLAN LOG		
1)	NEW PLAN	2-12-2025

FLOOR PLAN NOTES:

- ALL FINISH MATERIALS FOR INTERIOR SHALL BE CLASS III, 75-200 FLAME SPREAD INDEX PER 2021 I.R.C.
- DWELLING TO HAVE HEATING FACILITIES CAPABLE OF MAINTAINING 70 DEGREES FAHRENHEIT AT LEAST 3 FEET ABOVE FLOOR OF ALL HABITABLE ROOMS.
- ALL GLAZING WITHIN HAZARDOUS LOCATIONS SHALL HAVE SAFETY GLASS IN COMPLIANCE WITH R308 (IRC 2021.)
- GLAZING IN SHOWER AND BATHTUB DOORS AND ENCLOSURES SHALL BE IMPACT RESISTANT AND PASS THE TEST REQUIREMENTS AS PER 2021 I.R.C. R308. HINGED SHOWER DOORS SHALL SWING OUTWARD PER 2021 I.R.C.
- SHOWER STALL WALLS SHALL BE FINISHED WITH A HARD, NON- ABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET AS PER 2021 I.R.C.
- ACCESS DOOR FROM GARAGE TO HOUSE WILL BE 1 3/4" SOLID CORE WITH A SELF CLOSURE DEVICE AS PER R309.1
- ALL BEDROOMS SHALL HAVE MIN. ONE EGRESS WINDOW WITH MAX. SILL HEIGHT OF 44" A.F.F. AND MIN. 5.7 SQ. FT. NET CLEAR OPENING. OPENING SHALL HAVE A MIN. WIDTH OF 20" AND MIN. HEIGHT OF 24"
- SMOKE DETECTORS REQUIRE 110V CONNECTION TO HOUSE WIRING AND BATTERY BACKUP. LOCATIONS TO COMPLY WITH R317 (IRC 2021.)
- WATER HEATER(S): CONSULT OWNER FOR LOCATION AND FUEL TYPE OF WATER HEATER(S). ATTIC LOCATIONS SHALL BE ABV. LOAD BEARING PARTITION IN PAN WITH RELIEF DRAIN LINE TO OUTSIDE. INSTALLATION MUST COMPLY WITH MANUF. INSTRUCT. AND IRC CHAPTER 28.
- WATER HEATERS INSTALLED IN GARAGES AND HAVING AN IGNITION SOURCE SHALL BE ELEVATED SUCH THAT THE SOURCE OF IGNITION IS NOT LESS THAN 18 INCHES ABOVE THE GARAGE FLOOR.
- VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURAL OR MECH. MEANS AND COMPLY WITH R303 (IRC 2021.)
- CHIMNEYS TO BE 3'-0" MIN. ABV. THE HIGHEST POINT WHERE THEY PASS THROUGH THE ROOF AND AT LEAST 2'-0" MIN. HIGHER THAN ANY PORTION OF THE ROOF WITHIN A 10'-0" RADIUS
- ALL PREFAB FIREPLACES TO BE U.L. & IRC 2021 APPROVED & A COPY OF THE MANUF. INSTALLATION MANUAL SHALL BE AVAILABLE @ JOB SITE FOR INSPECTOR'S REVIEW
- STAIRWAYS SHALL COMPLY WITH R314 (IRC 2021.)
- HANDRAILS TO BE 34" TO 38" ABV. NOSE OF TREAD
- ALL GUARDRAILS AND HANDRAILS SHALL COMPLY WITH R315 (IRC 2021.)
- ALL GUARDRAILS AND HANDRAILS SHALL BE DESIGNED FOR 200 LBS/SQ.FT. LIVE LOAD PER R301.4 (IRC 2021)
- GUARDRAILS TO BE 36" A.F.F. (MIN.) WITH BALLUSTERS AT 4' O.C. MAX. PER R316 (IRC 2021.)
- HANDGRIPPING PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/4" NOT MORE THAN 2 5/8" IN CROSS SECTIONAL DIMENSION OR THE SHAPE SHALL PROVIDE ND EQUIV. GRIPPING SURFACE PER R315.2 (IRC 2021.)
- ENCLOSE UNDERSIDE OF STAIRWELL WITH 5/8" TYPE "X" FIRE CODE GYP. BOARD
- SIZE AND NUMBER OF NAILS CONNECTING WOOD MEMBERS SHALL COMPLY WITH IRC 2021 TABLE R602.3 (1) & 3 (2) (OR EQ.) REFER TO STANDARD DETAIL SHEET
- DISAPPEARING STAIRS TO BE MIN. 22" x 30" CLEAR OPENING (30" x 54" R.O.) & SHALL COMPLY WITH R807 (IRC 2021). INDIVIDUAL STAIR TREADS SHALL BE DESIGNED FOR UNIFORMLY DISTRIBUTED LIVE LOAD OR A 350 LB CONCENTRATED LOAD ACTING OVER AN AREA OF 4 SQ. INCHES, WHICHEVER PRODUCES THE GREATEST STRESS



FLOOR PLAN

SCALE: 1/8"=1'-0"

SQUARE FOOTAGES	
	FRAME
Total Living Area	1655
Garage	435
Porch	83
Patio	98
Total Under Roof	2271



Wise Design Services LLC reserves the right to modify or alter any drawings without notice. It is the responsibility of the contractor to verify all building codes, and incorporate all conditions. Any modifications to these drawings shall be approved by the design team. The drawings shall be used in accordance with the terms of the design services agreement.

PROJECT OWNER:
VIAKO LLC

PROJECT ADDRESS:
**106 HARBOR COURT DRIVE
MONTGOMERY, TEXAS 77356**

ISSUE DATE
2-12-2025

DRAFTSMAN
RST

PLAN NAME

PLAN NUMBER
3667

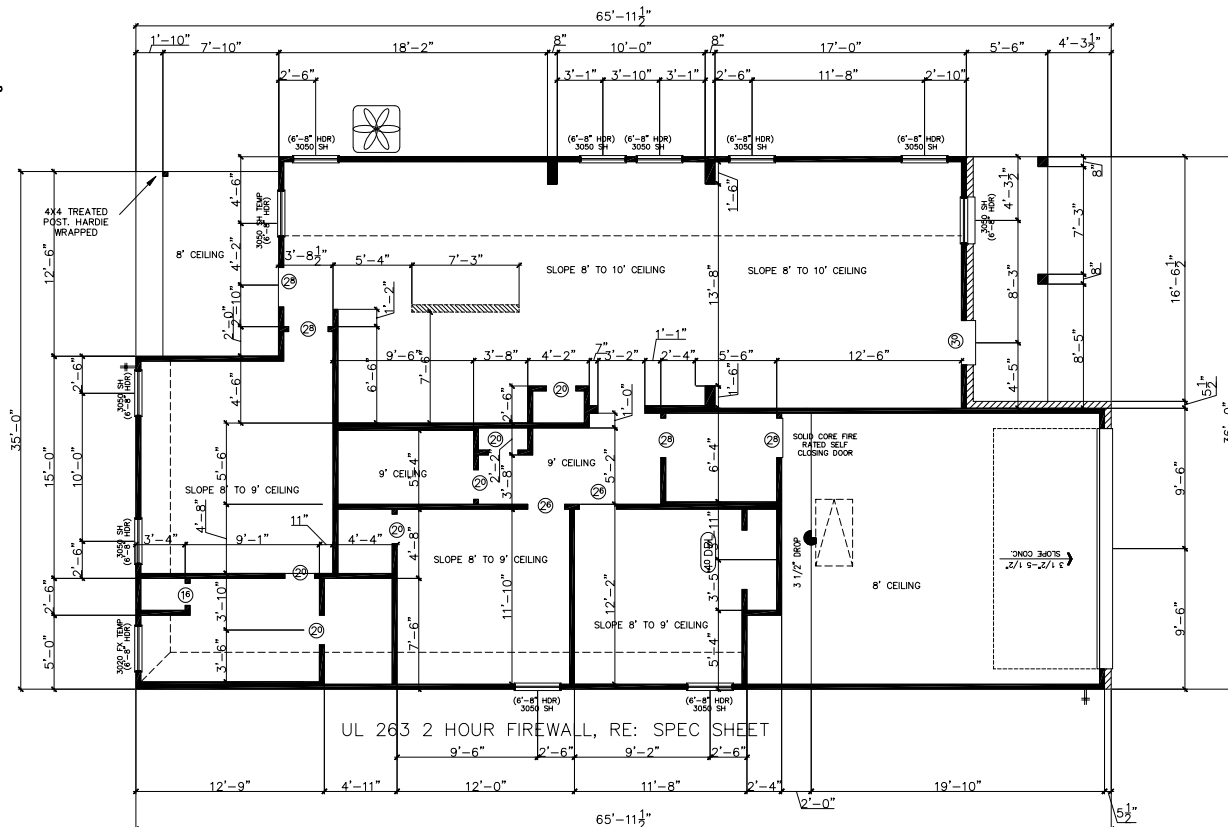
TRIM & FINISH PLAN

SHEET A3

General Notes

GENERAL NOTES AND MINIMUM PERFORMANCE:

- ALL WORK SHALL COMPLY WITH APPLICABLE NATIONAL AND LOCAL CODES AND ORDINANCES, AS WELL AS UNDERWRITERS REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL RULES AND REGULATIONS OF THE BUILDING OWNER, IF APPLICABLE.
- ALL CONTRACTORS SHALL VISIT THE SITE TO DETERMINE THE EXISTING CONDITIONS, NOTIFY THE PROJECT OWNER IMMEDIATELY IF THERE ARE ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONSTRUCTION DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROCURING AND PROPERLY DISPLAYING ALL PERMITS AND CERTIFICATES OF OCCUPANCY OR LOCAL EQUIVALENT.
- THE WORK INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT AND SERVICES NECESSARY FOR, AND REASONABLY INCIDENTAL TO THE COMPLETION, IN PLACE, OF ALL WORK ILLUSTRATED AND DESCRIBED IN THE DRAWINGS.
- CONDITIONS DEPICTED ON THESE DRAWINGS HAVE BEEN COMPILED FROM AVAILABLE INFORMATION AND MUST BE VERIFIED WITH ON-SITE CONDITIONS. WRITTEN DIMENSIONS ON DRAWINGS SHALL HAVE PRECEDENCE OVER CURSIVE DIMENSIONS. CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AT THE BUILDING SITE AND SHALL REPORT ANY DISCREPANCIES TO THE PROJECT OWNER PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS SHALL RECEIVE, HANDLE, STORE (IF NECESSARY) AND BE RESPONSIBLE FOR ALL MATERIALS PROVIDED BY OTHERS. ALL MATERIALS SHALL BE ACCOUNTED FOR UPON RECEIPT AND ANY MISSING OR DAMAGED PARTS SHALL BE REPORTED TO THE PROJECT OWNER IMMEDIATELY.
- SHOP DRAWINGS PREPARED BY THE CONTRACTORS, SUPPLIERS ETC SHALL BE REVIEWED BY THE PROJECT OWNER. NO WORK SHALL START WITHOUT SUCH REVIEW.
- THE CONTRACTORS SHALL REMOVE TRASH AND DEBRIS FROM THE BUILDING SITE PROMPTLY UPON ACCUMULATION AND IN NO EVENT LESS FREQUENTLY THAN EVERY FIFTH AFTERNOON.
- THE CONTRACTORS SHALL PROTECT ADJACENT PROPERTY DURING CONSTRUCTION. CONSTRUCTION WORK SHALL NOT DISTURB NOR RESTRICT TRAFFIC TO THE SITE OR ADJACENT PROPERTIES EXCEPT BY PRIOR AGREEMENT WITH THE PROPERTY OWNERS.
- MINOR ITEMS AND ACCESSORIES REASONABLY INFERRED AS NECESSARY TO COMPLETE AND PROPERLY OPERATE ANY SYSTEM, SHALL BE PROVIDED BY THE RESPECTIVE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTORS SHALL INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURERS SPECIFICATION RECOMMENDATIONS.
- ALL REQUESTS FOR SUBSTITUTION OF ANY ITEM SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE PROJECT OWNER AND WILL BE CONSIDERED ONLY IF BETTER SERVICE, MORE ADVANTAGEOUS DELIVERY DATE OR CREDIT TO THE CONTRACT. PRICE WILL BE PROVIDED WITHOUT SACRIFICE OF QUALITY, APPEARANCE AND FUNCTION.
- CONTRACTORS SHALL CONSULT THE PROJECT OWNER CONCERNING LONG OR UNUSUAL LEAD TIMES WITH RESPECT TO MATERIAL DELIVERY AND LABOR AVAILABILITY.
- THE CONTRACTORS SHALL SUBMIT SAMPLES OF ALL FINISHES TO THE PROJECT OWNER PRIOR TO CONSTRUCTION.
- CONTRACTORS SHALL VERIFY WITH THE PROJECT OWNER ALL FIXTURES AND EQUIPMENT TO BE FURNISHED BY OTHERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE PROJECT OWNER OF ALL DISCREPANCIES OR QUESTIONS AND OBTAIN REQUIRED CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- WHEN SCALING OFF THE DRAWINGS WRITTEN AND NOTED DIMENSIONS SHALL GOVERN.
- ALL FASTENERS AND ATTACHMENTS SHALL BE FULLY CONCEALED FROM VIEW.
- ALL FLOOR FINISH CHANGES TO OCCUR UNDER DOORS IN THEIR CLOSED POSITION.
- TYPICAL MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS SHOWN ON THE DRAWINGS. ALL ITEMS INDICATED ON ANY DRAWING ARE TO BE INCLUDED AS A COMPLETE SYSTEM.



FRAMING PLAN

SCALE: 1/8"=1'-0"

The Wise Design LLC makes no liability for any structure will not be used after before construction. The purchaser, builder or contractor must verify all building codes, and incorporate site conditions. Only a qualified designer, architect, professional engineer shall be responsible for the design. This plan shall not be used without the written review of the Wise Design Services, LLC.

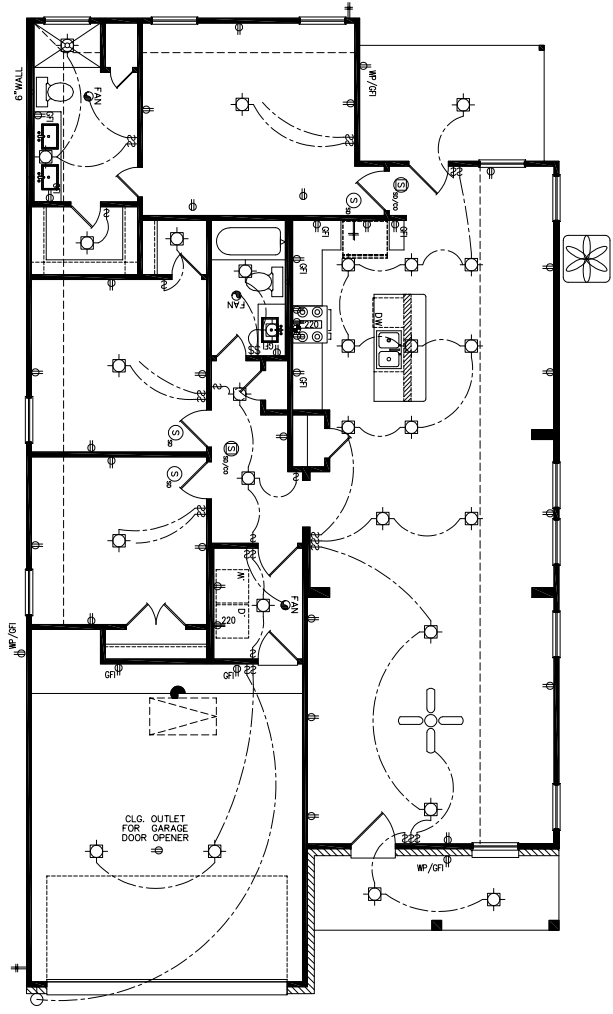
PROJECT OWNER: VIAKO LLC
PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356
ISSUE DATE 2-12-2025
DRAFTSMAN RST
PLAN NAME
PLAN NUMBER 3667
FRAMING PLAN 1
SHEET A1

PER IRC R314 ALL SMOKE DETECTORS ARE REQUIRED TO BE INTERCONNECTED. HARD WIRED WITH BATTERY BACKUP

- ELECTRICAL INFORMATION PROVIDED ON THESE PLANS ARE FOR DESIGN PURPOSES ONLY. FOR POWER AND CABLE DISTRIBUTION, CIRCUITING AND CIRCUIT LOADS AND ALL OTHER ELECTRICAL INFORMATION, THE CONTRACTOR SHALL REFER TO ELECTRICAL SPECIFICATIONS, ELECTRICAL WORK TO CONFORM TO ALL LOCAL AND STATE LAWS AND TO BE PERFORMED BY A LICENSED ELECTRICIAN.
- ALL LIGHTING CIRCUITS SHALL BE CIRCUITS DEDICATED TO LIGHTING ONLY.
- SMOKE DETECTORS SHALL BE CONNECTED TO LIGHTING CIRCUITS WITH BATTERY BACKUP AND ARE ALLOWED IN ALL SLEEPING AREAS.
- ALL LIGHTING ON ONE (1) AMP BRANCH CIRCUIT SHALL SUPPLY ALL BATHROOM WALL OR COUNTER TOP OUTLETS ONLY.
- TWO OR MORE LIGHT SWITCHES IN THE SAME LOCATION SHALL BE OPERATED TOGETHER WITHIN SINGLE CIRCUIT.
- PROVIDE TWO (2) AMP BRANCH CIRCUITS TO THE KITCHEN AND COUNTER SPACE OUTLETS WITHIN THE KITCHEN. THESE CIRCUITS SHALL NOT BE USED FOR LARGE APPLIANCES.
- ALL BEDROOM ELECTRICAL RECEPTACLES SHALL BE OF THE ARC-FULT CIRCUIT INTERRUPTER TYPE, TYP.
- THE FOLLOWING APPLIANCES SHALL BE ON A DEDICATED CIRCUIT:
 - Refrigerator
 - Water Heater
 - Ovens
 - Dryer
 - Kitchen Hood
 - Funnel
 - Cooktop
- A SEPARATE DEDICATED 2 AMP BRANCH CIRCUIT SHALL BE PROVIDED TO SPRAY LAUNDRY RECEPTACLE OUTLET.
- LIGHT FIXTURES IN THE OR SPINNE ENCLOSURES SHALL HAVE SUITABLE FOR SAME LOCATION LABEL, I.F.N. COMBINATION WITH EXHAUST FAN PROVIDE EXHAUST FAN MUST PROVIDE MINIMUM OF 5 AIR CHANGES PER HOUR.
- ELECTRICAL GROUNDING SYSTEM SHALL BE PER ALL APPLICABLE CODES. CONTRACTOR AND/OR ELECTRICAL SUB CONTRACTOR SHALL SELECT GROUNDING METHOD MOST COMPATIBLE WITH FOUNDATION SYSTEM.

ELECTRICAL SYMBOL LEGEND

\$	LIGHT SWITCH
Ⓜ	DOORBELL
Ⓢ	G.F.I. OUTLET
Ⓢ	220V OUTLET
Ⓢ	110V OUTLET
Ⓢ	TV/PHONE/DATA
Ⓢ	CARBON MONOXIDE DETECTOR
Ⓢ	SMOKE DETECTOR
Ⓢ	CEILING FAN WITH LIGHT
Ⓢ	EXHAUST FAN
Ⓢ	PENDANT LIGHT
Ⓢ	WALL MOUNTED LIGHT
Ⓢ	HANGING LIGHT
Ⓢ	SURFACE MOUNTED LED
Ⓢ	GAS
Ⓢ	HOSE BIB
Ⓢ	CHIMNEYS









ELECTRICAL PLAN

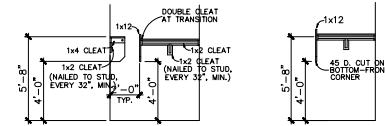
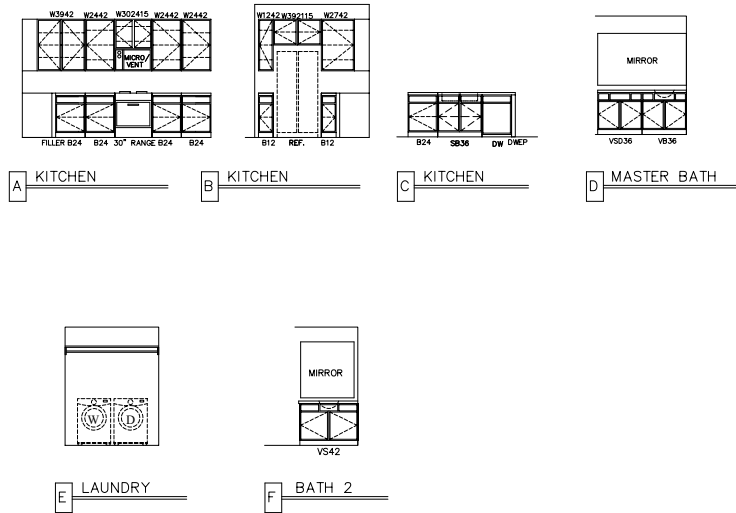
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<p>PROJECT OWNER: VIAKO LLC</p> <p>PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356</p>	<p>Issue Date 2-12-2025</p> <p>DRAFTSMAN RST</p> <p>PLAN NAME</p> <p>PLAN NUMBER 3667</p> <p>ELECTRICAL PLAN SHEET E1</p>	<p>Wise Design Services, LLC assumes no liability for any structure built from these plans before construction. The purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of Wise Design Services, LLC.</p>	<p>WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994</p>

GENERAL NOTES

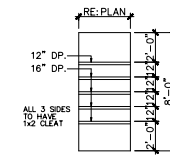
- REF. PARTIAL FLOOR PLAN & FRONT ELEVATION FOR WINDOW SIZES & LOCATIONS, PROJECTIONS, RAISED PLATES, ETC.
 - ALL BRICK LEDGES TO BE 5 1/2"
 - ALL ANGLES TO BE 45 D UNLESS NOTED OTHERWISE
 - ALL SHOWER HEADS TO BE @ 6'-10" A.F.F.
 - ALL DOOR OPENINGS TO BE CENTERED ON WALL UNLESS OTHERWISE NOTED. STANDARD DOOR JAMB TO BE 4".
 - HARRIS COUNTY TO HAVE SELF CLOSING HINGES ON GARAGE PEDESTRIAN DOORS.
- NOTES TO FRAMER:**
- ALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE
 - CABINET BLOCKING ON KITCHEN WALLS @ 3 LOCATIONS: 37-1/2" A.F.F., 57-1/2" A.F.F., & 91-1/2" A.F.F. (TO BOTTOM OF BLOCK).
 - ALL BEAMS WHICH ARE BRACED OFF OF MUST BE RAISED 1 1/2" FROM TOP PLATE
 - ALL FINISHED CEILING HEIGHTS TO BE PER PLAN.
 - ALL WINDOW ROUGH OPENING SIZES TO BE FRAMED SAME AS WINDOW CALL-OUT SIZE.
 - TUB/SHOWER COMBO BLOCKING 26"-32" FROM WALL BOTTOM PLATE TO TOP PLATE
MASTER SHOWER BLOCKING 40"-46" FROM WALL BOTTOM PLATE TO TOP PLATE WHEN APPLICABLE IN PLAN
 - VANITY LIGHT FIXTURE 2x4 BLOCKING TO BE IN ALL BATHS @ 86" A.F.F. (TO BOTTOM OF BLOCKS)
 - CABINET BLOCKING FOR PLANNING CENTER TO BE @ 30" A.F.F. (TO TOP OF BLOCKS)
 - BLOCK BETWEEN STUDS @ ALL RAKES W/ 2x MATERIAL AT ROOF LINE

TRIM SCHEDULE	
LIVING	-
DINING	-
M. BDRM	CHAIR RAIL (SEE SPEC'S)
1R/1S HGT	CROWN (SEE SPEC'S)
2R/1S HGT	72" A.F.F. TO TOP OF SHELF
ROD & SHELF SUPPORT	84" A.F.F. TO TOP OF SHELF
	BOTTOM ROD @ 42" A.F.F.
	ALL RODS (EVERY 32" MIN. OF 1)
	30" x 54" ATTIC STAIRS
	22-1/2" x 30" ATTIC SCUTTLE
BASE	SEE SPEC'S
CASING	SEE SPEC'S
	TOILET PAPER HOLDER 25" A.F.F.
	TOWEL RING 55" A.F.F.
	TOWEL BAR 54" A.F.F.
	TOWEL HOOK 65" A.F.F.
	TRIM ALL WINDOWS W/ STOOL & 2 1/4" MDF SKIRT
	ALL BEDROOM DOORS TO BE 1" ABOVE CARPET (2" ABOVE CONC.)
	WORK AREA LEDGE-1X8 DOUBLE OG. W/ CASING BELOW
	PLANT LEDGES TO BE TRIMMED WITH 3/4" MDF AND 2 1/4" SKIRT (SPECIFY AREA OF HOME)
	ALL PULL DOWN STAIRS AND SCUTTLES TO BE TRIMMED W/ 2 1/4" MDF CASING W/ MASONITE COVER



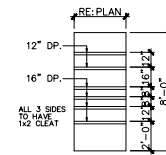
ROD & SHELF DETAILS, TYP.

- NOTES:
- 1/2" CLEAT ONLY ALONG REAR WALL AT ROD/SHELF
 - 1x4 CLEAT ONLY ALONG SIDES AT ROD/SHELF
 - CLEAT SUPPORT FOR SHELF BRACKET TO BE 9" FROM BOTTOM OF REAR WALL CLEAT
 - DOUBLE CLEAT AT ENDS OF ALL INTERIOR SHELVING



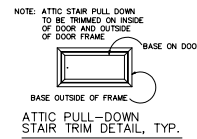
LINEN, TYP.

- NOTES:
- SUPPORT ALL INTERIOR CORNERS AT WALK-IN LINEN/PANTRY WITH 1/2" CLEAT VERTICALLY AT CORNER



PANTRY SHELVING

- NOTES:
- SUPPORT ALL INTERIOR CORNERS AT WALK-IN LINEN/PANTRY WITH 1/2" CLEAT VERTICALLY AT CORNER



The Wise Design LLC makes no liability for any features not shown here that builder or contractor may verify all building codes and incorporate into conditions. Only a qualified designer, architect, or contractor should refer to this with further review of the design. WISE DESIGN SERVICES, LLC

PROJECT OWNER:
VIAKO LLC

PROJECT ADDRESS:
**106 HARBOR COURT DRIVE
MONTGOMERY, TEXAS 77356**

ISSUE DATE

2-12-2025

DRAFTSMAN

RST

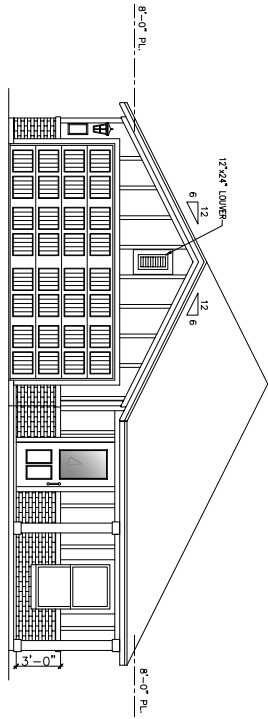
PLAN NAME

PLAN NUMBER

3667

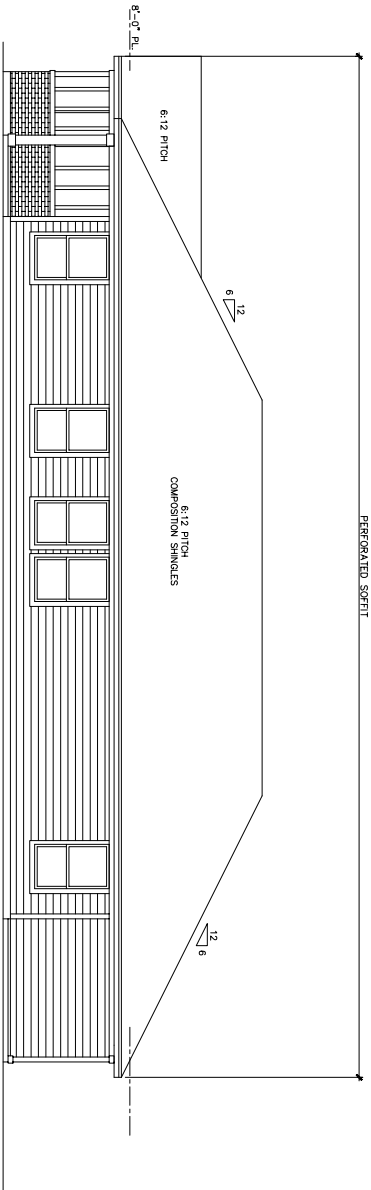
INTERIOR
ELEVATIONS

SHEET A4



FRONT ELEVATION

SCALE: 1/8"=1'-0"



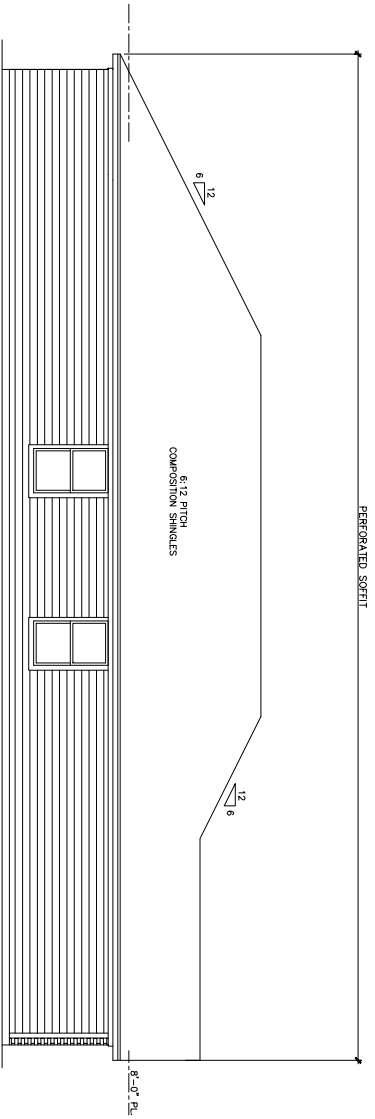
LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"

PERFORATED SHEET

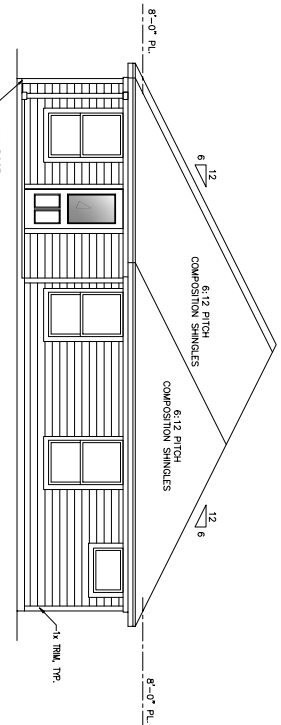
<p>PROJECT OWNER: VIAKO LLC</p> <p>PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356</p>	<p>ISSUE DATE 2-12-2025</p>	<p>WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994</p>
	<p>DRAFTER RST</p> <p>PLAN NAME</p>	
<p>FRONT & LEFT SHEET A6</p>	<p>PLAN NUMBER 3667</p>	

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RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"

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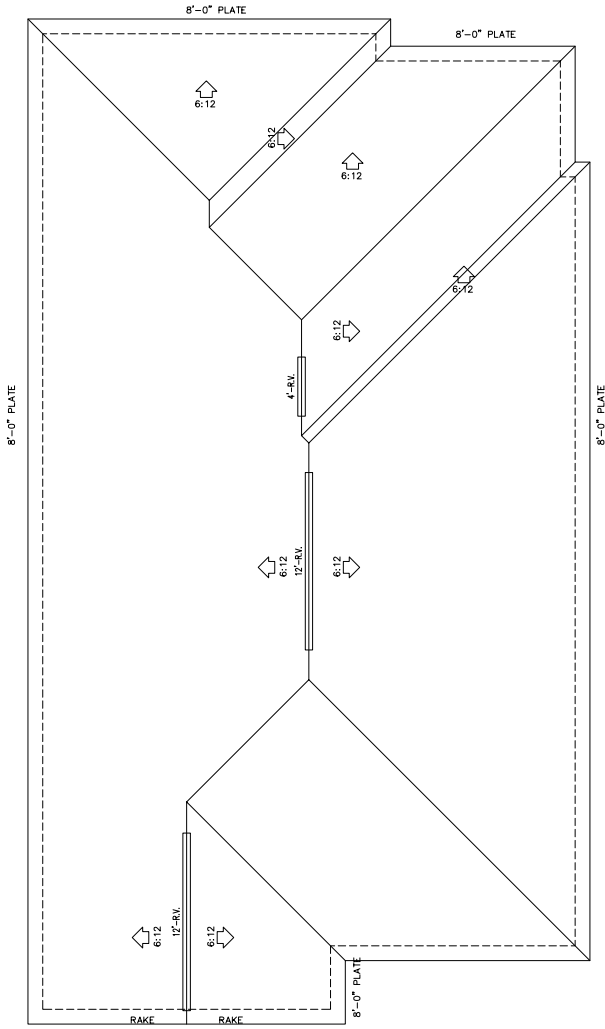
DRAFTSMAN
RST

PLAN NAME

PLAN NUMBER
3667

RIGHT & REAR

SHEET A7



ROOF NOTES

- 1.) ALL ROOF SLOPES TO BE 6:12 OR 10:12 UN.L.O.
- 2.) ARROWS INDICATE DRAINAGE.

VENTILATION NOTES

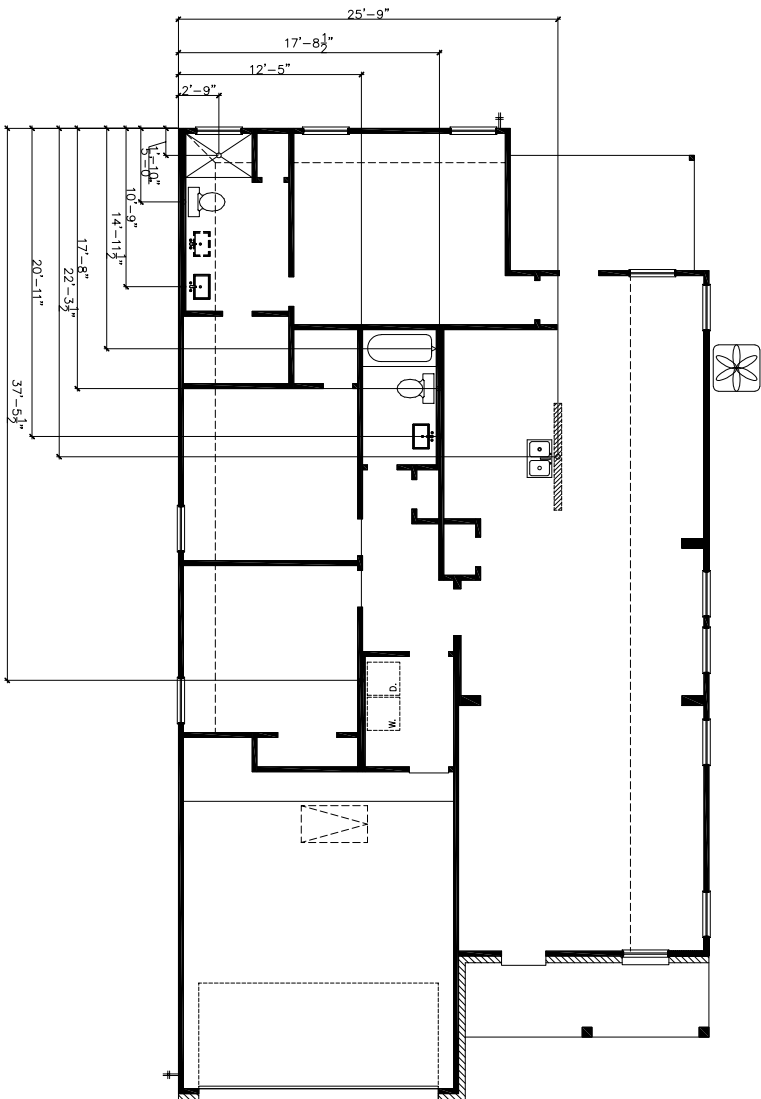
- DENOTES SMALL ROOF LOWERS
- DENOTES LARGE ROOF LOWERS
- ▭ DENOTES ROOF VENTS

ROOF PLAN

SCALE: 1/8"=1'-0"

PROJECT OWNER: VIAKO LLC	PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356	WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994	
		ISSUE DATE 2-12-2025	DRAFTER RST
PLAN NUMBER 3667	PLAN NAME ROOF PLAN	SHEET AB	


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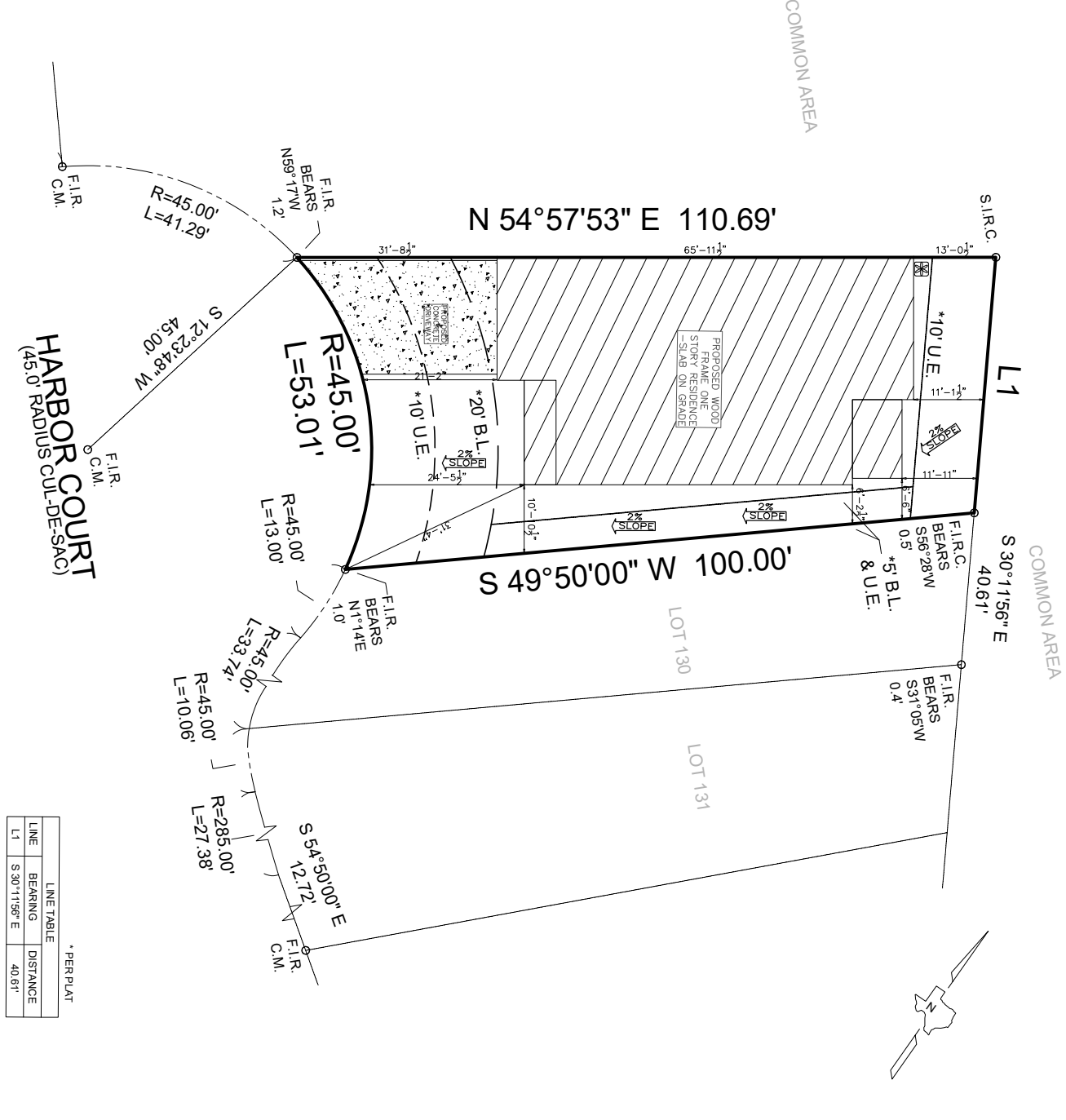


- PLUMBING NOTES:**
- 1) MINIMUM OF 2 METAL STAKES PER PVC PIPE THROUGH SLAB
 - 2) ALL COPPER SECURED WITH METAL STAKES (USE TAPE TO PREVENT CONTACT)
 - 3) NO EXPOSED COPPER IN SLAB
 - 4) ALL PIPES MUST BE SEALED AT TOP
 - 5) TEMPORARY HOSE BIB TO BE ON EXTERIOR OF SLAB
 - 6) ALL PLUMBING MUST BE MINIMUM 1-1/2" AWAY FROM FORMS
 - 7) PLUMBING MUST BE PER PLAN
 - 8) PLACE ALL TRASH IN DESIGNATED AREA
 - 9) NOTIFY CONSTRUCTION MANAGER OF ANY PROBLEMS
 - 10) VERIFY ALL MEASUREMENTS BEFORE SLAB IS POURED
 - 11) VERIFY ALL MEASUREMENTS BEFORE COATED IN ATIC TO MINIMIZE THE DISTANCE FROM KITCHEN AND MASTER BATH.

PLUMBING GROUNDS

SCALE: 1/8"=1'-0"

PROJECT OWNER: VIAKO LLC		PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356	<p><small>Wise Design Services LLC assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of Wise Design Services, LLC</small></p>  <p>WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994</p>
ISSUE DATE 2-12-2025	DRAFTSMAN RST		
PLAN NUMBER 3667	PLAN NAME PLUMBING	SHEET P1	



LINE	BEARING	DISTANCE
L1	S 30°11'56\"/>	

* PER PLAT

LEGAL DESCRIPTION

LOT 129, BLOCK 3, APRIL SOUND, SECTION 9, A SUBDIVISION IN MONTGOMERY COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET B, SHEET 54A, OF THE MAP AND/OR PLAT RECORDS OF MONTGOMERY COUNTY, TEXAS.

PROJECT OWNER: VIAKO LLC	PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356	WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994	
		PLAN NUMBER 3667	DRAFTSMAN RST
ISSUE DATE 2-12-2025	PROJECT OWNER: VIAKO LLC	WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994	
DRAFTSMAN RST	PROJECT ADDRESS: 106 HARBOR COURT DRIVE MONTGOMERY, TEXAS 77356	WISE DESIGN SERVICES HOUSTON, TEXAS (281) 924-5994	

Wise Design Services LLC, assumes no liability for any structure built from these plans. Before construction, the purchaser, builder, or contractor must verify all dimensions, verify compliance with all building codes, and incorporate site conditions. Only a qualified designer, architect, or structural engineer should be permitted to alter these plans, with written release of Wise Design Services, LLC.

