



Inspection Report

Charles Manuel

Property Address:
11803 Old Spanish Trail
Santa Fe TX 77510



American Dream Inspections TX, llc

**Kevin Sandel 22389
4634 Kingfisher Dr.
Houston, TX 77035
832-566-0973**

PROPERTY INSPECTION REPORT FORM

Charles Manuel	11/18/2023
<i>Name of Client</i>	<i>Date of Inspection</i>
11803 Old Spanish Trail, Santa Fe, TX 77510	
<i>Address of Inspected Property</i>	
Kevin Sandel	22389
<i>Name of Inspector</i>	<i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR:

In Attendance: Customer	Type of building: Single Family (1 story)	Approximate age of building: Over 10 Years
Temperature: Over 60 (F) = 15.5 (C)	Weather: Clear	Ground/Soil surface condition: Wet
Rain in last 3 days: Yes	Radon Test: No	Water Test: No

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

I. Structural Systems

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I NI NP D

THE BELOW MAJOR DEFICIENCIES LISTS ARE TO BE CORRECTED FIRST BY A PROFESSIONAL TRADE. THERE WILL BE OTHER ITEMS IN THE REPORT THAT CAN BE CORRECTED AT A LATER TIME, SO PLEASE COMPLETELY READ THE FULL REPORT!

STRUCTURAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Rear exterior gutter downspout was loose from the structure at time of inspection. Should correct properly.
- 2) Rear exterior gutter downspout was missing elbow to divert moisture properly away from the structure at time of inspection. Should have a professional correct properly.
- 3) Yards have low spots in several areas at time of inspection. This is conducive to ponding. Should have a professional correct for proper drainage.
- 4) All lifted roof flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.
- 5) Attic door access in the garage should be sealed and insulated properly. Conducive to leaking Carbon Monoxide into attic and into living space. Possible safety hazard.
- 6) Rear exterior door was rusting in several areas and door frame gasket was damaged at time of inspection. Should correct properly.
- 7) Bottom garage door panel is rusting and cracked leaking daylight into the interior at time of inspection. Should have a professional Door Tech inspect and correct properly.
- 8) All exterior and interior window penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.
- 9) Several windows were discolored at time of inspection. This is signs of possible seal damage causing window to not be energy efficient. Should have a professional replace damaged glass properly.
- 10) Fireplace exhaust roof lifted jack should be corrected by a professional roofer. Conducive to moisture intrusion and causing possible damage.

ELECTRICAL SYSTEMS MAJOR DEFICIENCIES:

- 1) Cutler Hammer breaker box and electric meter. Box was missing AFCI breakers for all livable rooms at time of inspection. Should have a professional electrician correct properly.
- 2) Neutrals in the breaker box are double tapped at time of inspection. Should have a professional electrician inspect and correct.
- 3) Exterior sprinkler electrical conduit was loose from the structure at time of inspection. Should have a professional correct properly.
- 4) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.
- 5) Several exterior electrical outlets were loose to the wall at time of inspection. Should have a professional electrician secure and seal to the structure.
- 6) Several interior electrical outlets were loose to the wall at time of inspection. Should a professional electrician secure properly.
- 7) One garage light was not operating properly at time of inspection. Should have a professional electrician inspect and correct properly.

HVAC SYSTEMS MAJOR DEFICIENCIES:

- 1) 2013 Lennox 3 ton AC unit was operating properly at time of inspection. Recommend having a professional AC Tech inspect and service unit for proper efficiency. Electrical from unit was not protruding into the brick wall properly and exposing electrical at time of inspection. Should have a professional correct properly.
- 2) Lennox gas furnace in the attic was working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Should have a professional AC Tech evaluate unit for proper operation. Gas plumbing to unit was missing drip leg and electrical bonding, outside of unit has possible WDO (Wood Destroying Organisms) growth at time of inspection. Should have a professional correct properly.

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PLUMBING SYSTEMS MAJOR DEFICIENCIES:

- 1) Main water line and shut off valve to the structure. Plumbing was missing insulation at time of inspection. Plumbing in conducive to freezing in cold weather. Should correct properly.
- 2) Exterior faucet valve was leaking at time of inspection. Should have a professional plumber correct properly.
- 3) Toilets were loose to the floor at time of inspection. Should be corrected by a professional plumber. Conducive to leaking and causing possible damage.
- 4) Master showerhead was leaking at plumbing connection at time of inspection. Should have a professional plumber correct properly.
- 5) Master bathtub faucet was loose at time of inspection. Should have a professional plumber correct properly.
- 6) Toilets bowls were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.
- 7) Master bathtub cold side plumbing valve was leaking at time of inspection. Should have a professional plumber correct properly.
- 8) Middle bathroom toilet would not shut off completely after flushing at time of inspection. Should have a professional plumber inspect and correct properly.
- 9) Kitchen sink should be sealed properly to the countertop. Conducive to moisture intrusion and causing possible damage.
- 10) Kitchen sink drain plumbing was loose and installed with improper flex piping at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.
- 11) All master shower pan penetrations and gaps should be sealed properly. Conducive to leaking and causing possible damage.
- 12) 2017 Rheem gas 40 gallon hot water heater in the garage was operating properly at time of inspection. Unit was missing drip pan and drain to exterior, top plumbing connection is rusting and has signs of possibly leaking, exhaust duct is disconnected from flue and leaking possible Carbon Monoxide into the garage and possible living space, exhaust duct in the attic is disconnecting at joint, gas plumbing to unit was missing electrical bonding at time of inspection. Should have a professional plumber inspect and correct properly.

APPLIANCES MAJOR DEFICIENCIES:

- 1) Exterior range exhaust vent was damaged at time of inspection. Should have a professional replace properly.
- 2) Samsung gas cooktop and oven was working properly at time of inspection. Unit was loose in compartment and may be missing Anti Tip Device. Unit should be secured properly. Possible safety hazard.
- 3) Garage door opener controller is loose from the wall at time of inspection. Should correct properly.
- 4) Dryer exhaust duct is not protruding through roofing properly and has signs of leaking debris into the attic at time of inspection. Should have a professional correct properly.

A. Foundations

Type of Foundation(s): Poured concrete
Method used to observe Crawlspace: No crawlspace
Columns or Piers: No Piers or Columns
Comments:

Foundation was operating properly at time of inspection.

B. Grading and Drainage

Comments:

- (1) Soil was too high to the foundation and siding in several areas at time of inspection. Soil should be graded 6" in 10' away from the foundation. Soil should be at least 4" from bottom of brick and 6" from bottom of siding.

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B. Item 1(Picture)

(2) Rear exterior gutter downspout was loose from the structure at time of inspection. Should correct properly.



B. Item 2(Picture)

(3) Rear exterior gutter downspout was missing elbow to divert moisture properly away from the structure at time of inspection. Should have a professional correct properly.



B. Item 3(Picture)

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(4) Yards have low spots in several areas at time of inspection. This is conducive to ponding. Should have a professional correct for proper drainage.



B. Item 4(Picture)



B. Item 5(Picture)

(5) Gutters were missing in several areas of the structure to disperse the water properly away from the foundation and structure at time of inspection. Recommend installing gutters in these areas.



B. Item 6(Picture)

C. Roof Covering Materials

Types of Roof Covering: 3-Tab fiberglass

Viewed roof covering from: Ground

Comments:

All lifted roof flashing should be corrected and sealed properly by a professional roofer. Conducive to moisture intrusion and causing possible damage. Should have a professional roofer inspect and evaluate roofing.

Notice: Life expectancy of the roofing material is not covered by this property inspection report. If any concerns exist about the roof covering life expectancy or potential for future problems, a roofing specialist should be consulted. The Inspector cannot offer an opinion or warranty as to whether the roof has leaked in the past, leaks now, or may be subject to future leaks, either expressed or implied. The inspection of this

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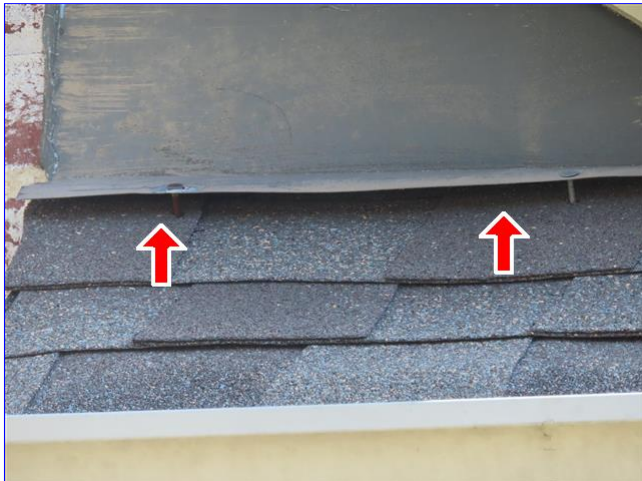
I NI NP D

roof may show it to be functioning as intended or in need of minor repairs. This inspection does not determine the insurability of the roof. You are strongly encouraged to have your Insurance Company physically inspect the roof, prior to the expiration of any time limitations such as option or warranty periods, to fully evaluate the insurability of the roof.

The absolute water-tightness of a roof system can only be determined by observing it during a period of prolonged rainfall and differing weather and wind conditions. These conditions are rarely, if ever, present during the inspection, and if they are, there are almost always some areas of the roof that will not be observable, due to factors such as, but not limited to: construction/ framing design, ductwork, insulation, low headroom, etc. Therefore this report should not be construed as a warranty, or an absolute opinion, of the complete water-tightness of the roof system. We will, however, endeavor to report observable evidence of roof leaks or problems. It is also important to talk to the homeowner about any ceiling stains and leak activity whether past or present. A homeowner is obligated by the seller's disclosure paperwork to truthfully report on any roof leak issues since they have owned the home. Make sure you have reviewed the seller's disclosure statement in its entirety.

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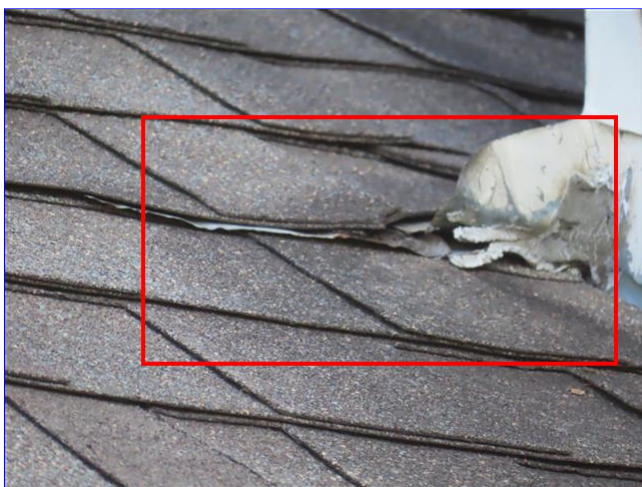
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C. Item 1(Picture)



C. Item 2(Picture)



C. Item 3(Picture)

D. Roof Structures and Attics

Roof-Type: Gable

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I NI NP D

Roof Structure Type: 2 X 6 Rafters

Method used to observe attic: Walked, Inaccessible

Attic info: Pull Down stairs

Approximate Average Depth of Insulation: 12 inches

Comments:

(1) Areas of the attic was not accessible to inspect at time of inspection. These areas were not inspected for any defects or deficiencies at time of inspection.



D. Item 1(Picture)

(2) Attic door access in the garage should be sealed and insulated properly. Conducive to leaking Carbon Monoxide into attic and into living space. Possible safety hazard.



D. Item 2(Picture)

E. Walls (Interior and Exterior)

Wall Structure: Wood

Siding Style: Lap, Brick

Siding Material: Cement-Fiber, Full brick

Wall Material: Gypsum Board

Cabinetry: Wood

Countertop: Granite

Comments:

(1) All exterior and interior trim around garage doors should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insect) intrusion.

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E. Item 1(Picture)

(2) All exterior wall plumbing, and electrical penetrations should be sealed properly. Conducive to moisture intrusion and causing possible damage.



E. Item 2(Picture)



E. Item 3(Picture)

(3) Interior of garage was not properly accessible in several areas and were not inspected at time of inspection.



E. Item 4(Picture)

F. Ceilings and Floors

Ceiling Structure: Not visible
Floor Structure: Slab
Ceiling Materials: Gypsum Board
Floor Covering(s): Tile
Comments:

G. Doors (Interior and Exterior)

Exterior Entry Doors: Steel
Interior Doors: Hollow core

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Comments:

(1) Rear exterior door was rusting in several areas and door frame gasket was damaged at time of inspection. Should correct properly.

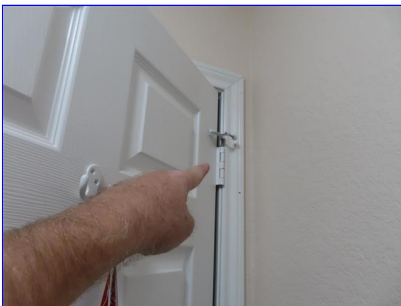


G. Item 1(Picture)



G. Item 2(Picture)

(2) Interior garage door was missing self closing hinges at time of inspection. Should have a professional correct properly.



G. Item 3(Picture)

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I	NI	NP	D
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(3) Bottom garage door panel is rusting and cracked leaking daylight into the interior at time of inspection. Should have a professional Door Tech inspect and correct properly.



G. Item 4(Picture)



G. Item 5(Picture)

H. Windows

Window Manufacturer: UNKNOWN

Window Types: Thermal/Insulated

Comments:

(1) All exterior and interior window penetrations should be sealed properly. Conducive to moisture and WDI (Wood Destroying Insects) intrusion.

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I	NI	NP	D
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H. Item 1(Picture)

(2) Several windows were missing screens at time of inspection. Should correct properly.



H. Item 2(Picture)

(3) Several windows were discolored at time of inspection. This is signs of possible seal damage causing window to not be energy efficient. Should have a professional replace damaged glass properly.

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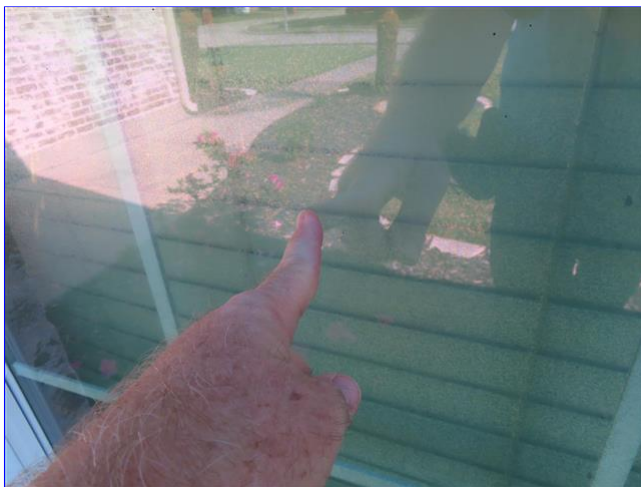
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H. Item 3(Picture)



H. Item 4(Picture)



H. Item 5(Picture)

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H. Item 6(Picture)



H. Item 7(Picture)



H. Item 8(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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H. Item 9(Picture)



H. Item 10(Picture)

(4) Several windows were not properly accessible and were not inspected at time of inspection.



H. Item 11(Picture)

I. Stairways (Interior and Exterior)

Comments:

J. Fireplaces and Chimneys

Sky Light(s): None

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Chimney (exterior): Metal Flue Pipe

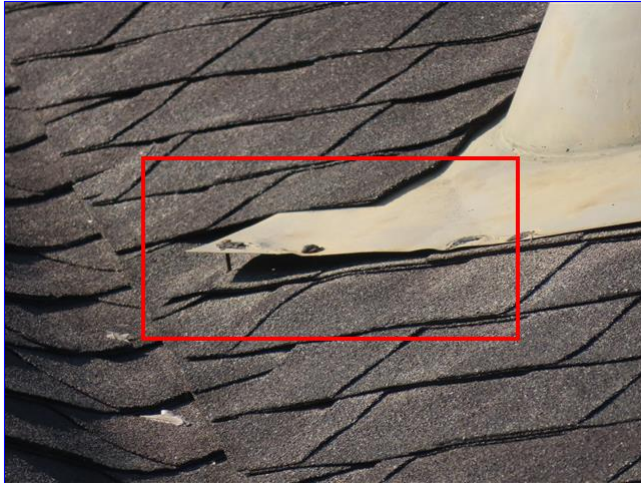
Types of Fireplaces: Vented Gas

Operable Fireplaces: Unknown

Number of Woodstoves: None

Comments:

(1) Fireplace exhaust roof lifted jack should be corrected by a professional roofer. Conducive to moisture intrusion and causing possible damage.



J. Item 1(Picture)

(2) Gas fireplace. Fireplace was only visually inspected for defects or deficiencies at time of inspection. Did not inspect operation of fireplace at time of inspection. Fireplace did not have any visible defects at time of inspection. Inspection of fireplace is not part of home inspection per TREC Standards of Practice. Recommend having a professional Fireplace Tech further evaluate unit.



J. Item 2(Picture)

K. Porches, Balconies, Decks and Carports

Appurtenance: Porch, Sidewalk, Patio

Driveway: Concrete

Comments:

M. 360 Interactive Pictures

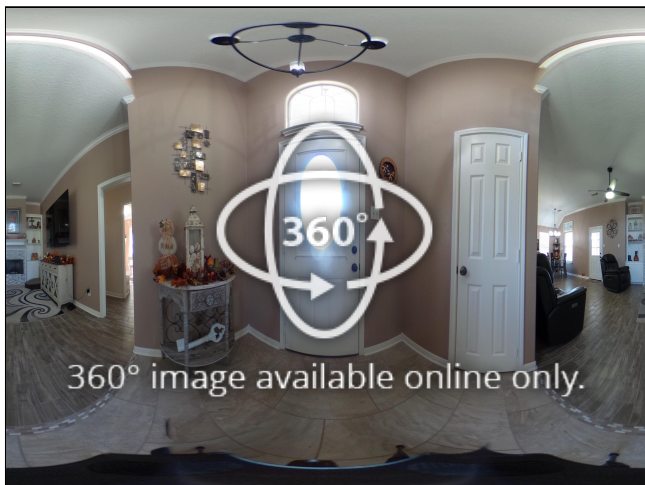
Comments:

360 Interactive Views

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I NI NP D

Check out in the separate email the Texas Web Inspection Interactive Report for 360 views of the interior of the property. Here you can rotate each room around, look up and down and zoom into certain areas of the room for a more interactive experience.



M. Item 1(Picture)



M. Item 2(Picture)

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M. Item 3(Picture)



M. Item 4(Picture)



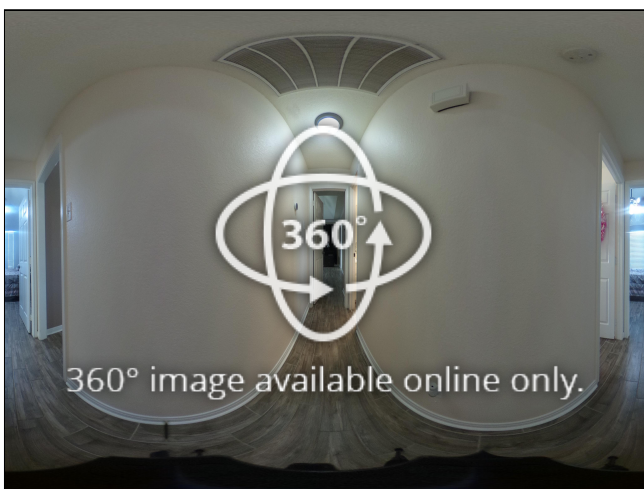
M. Item 5(Picture)

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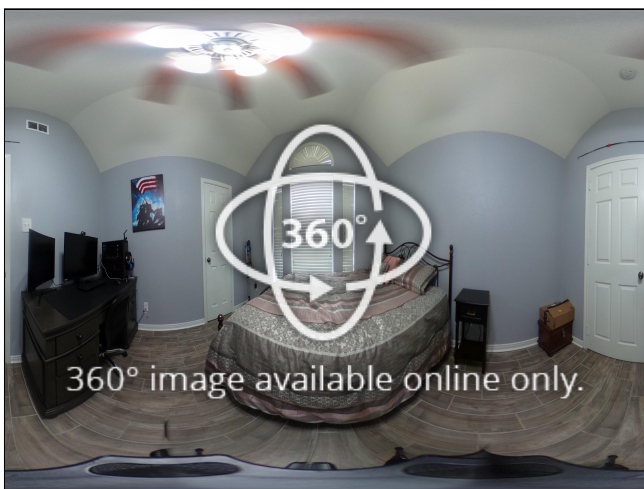
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M. Item 6(Picture)



M. Item 7(Picture)



M. Item 8(Picture)

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M. Item 9(Picture)



M. Item 10(Picture)



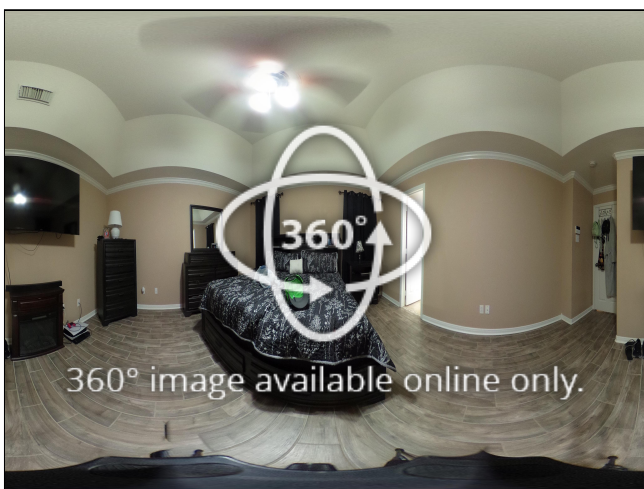
M. Item 11(Picture)

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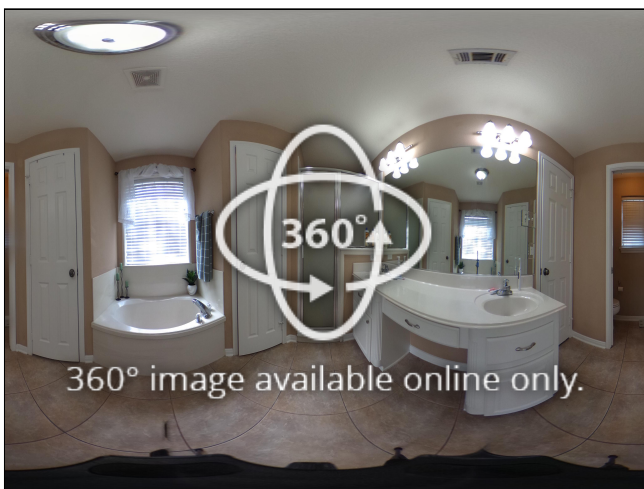
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M. Item 12(Picture)



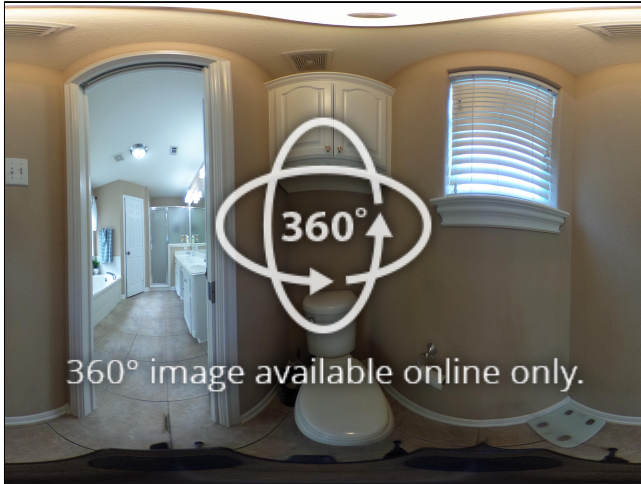
M. Item 13(Picture)



M. Item 14(Picture)

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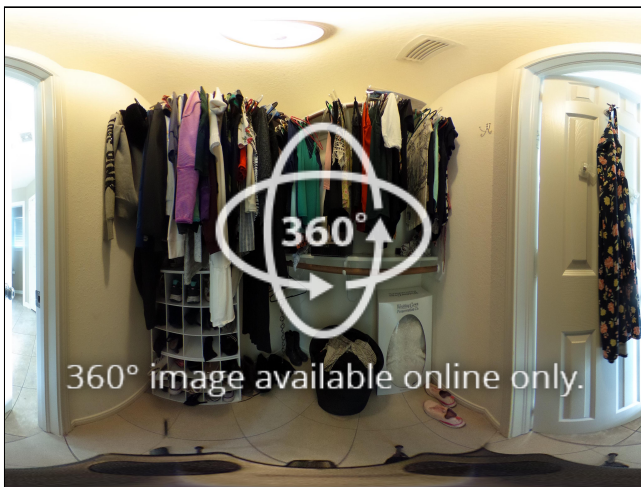
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M. Item 15(Picture)



M. Item 16(Picture)



M. Item 17(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

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II. Electrical Systems

A. Service Entrance and Panels

Electrical Service Conductors: Below ground

Panel Capacity: 200 AMP

Panel Type: Circuit breakers

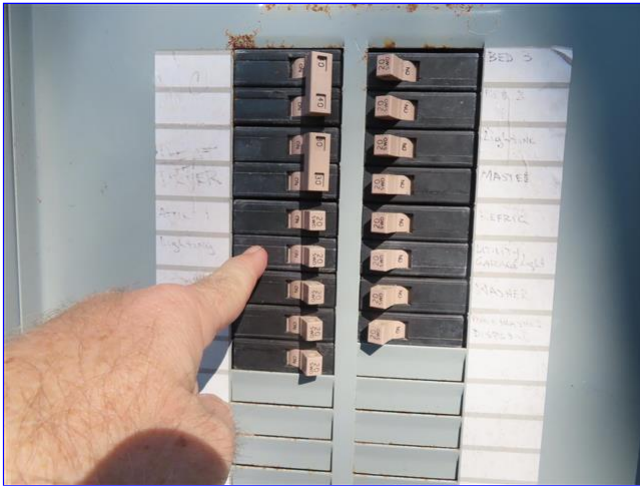
Electric Panel Manufacturer: CUTLER HAMMER

Comments:

(1) Cutler Hammer breaker box and electric meter. Box was missing AFCI breakers for all livable rooms at time of inspection. Should have a professional electrician correct properly.



A. Item 1(Picture)



A. Item 2(Picture)

(2) 200 amp main disconnect. (This is just for your information only)

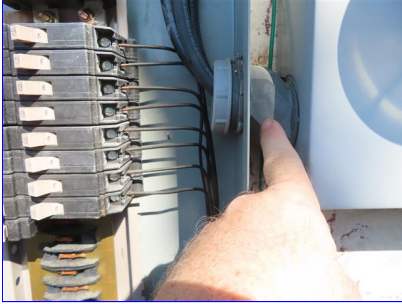


A. Item 3(Picture)

(3) Connector between meter and breaker box was missing electrical bonding at time of inspection. Should have a professional electrician correct.

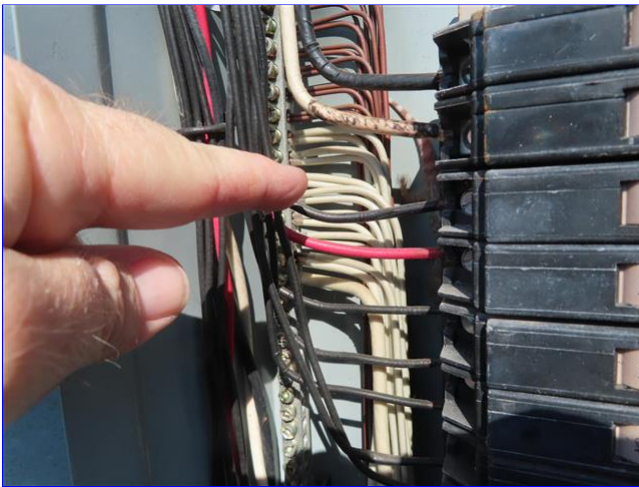
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I NI NP D



A. Item 4(Picture)

(4) Neutrals in the breaker box are double tapped at time of inspection. Should have a professional electrician inspect and correct.



A. Item 5(Picture)

B. Branch Circuits, Connected Devices and Fixtures

Type of wiring: Copper

Wiring Methods: Romex

Comments:

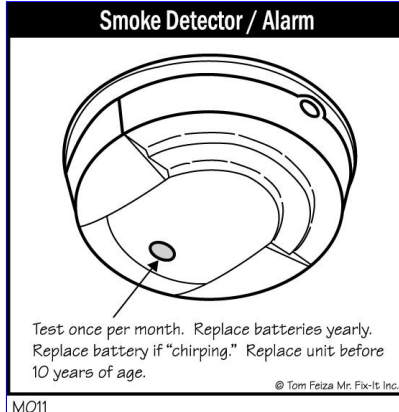
(1) The smoke detector should be tested at common hallway to bedrooms upon moving in to home.
Smoke detectors should be replaced every 10 years and batteries at least every year.

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I NI NP D



B. Item 1(Picture)



B. Item 2(Picture)

(2) Exterior sprinkler electrical conduit was loose from the structure at time of inspection. Should have a professional correct properly.



B. Item 3(Picture)

(3) Exterior lighting was loose to structure in several areas at time of inspection. Should be secured and sealed properly to the structure by a professional electrician.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 4(Picture)

(4) Several exterior electrical outlets were loose to the wall at time of inspection. Should have a professional electrician secure and seal to the structure.

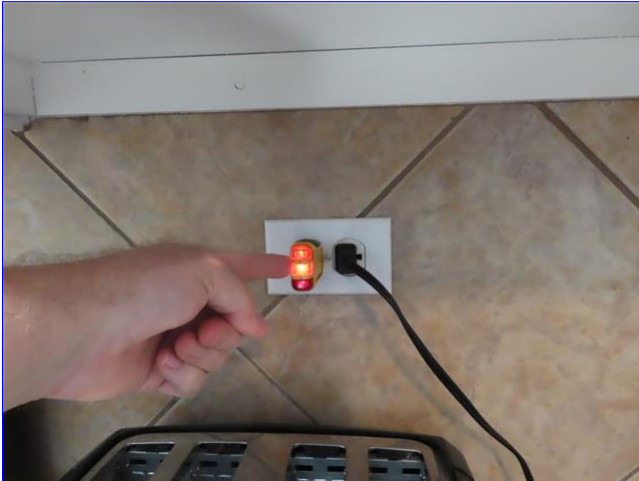


B. Item 5(Picture)

(5) Several interior electrical outlets were loose to the wall at time of inspection. Should a professional electrician secure properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 6(Picture)

(6) One garage light was not operating properly at time of inspection. Should have a professional electrician inspect and correct properly.



B. Item 7(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

III. Heating, Ventilation and Air Conditioning Systems

A. Cooling Equipment

Type of Systems (Cooling): Air conditioner unit

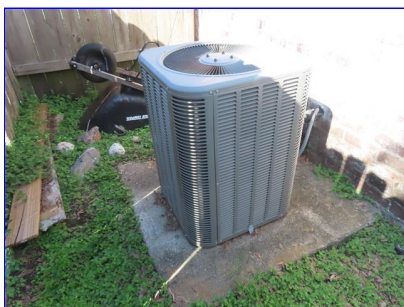
Cooling Equipment Energy Source: Electricity

Number of AC Only Units: One

Central Air Brand: LENNOX

Comments:

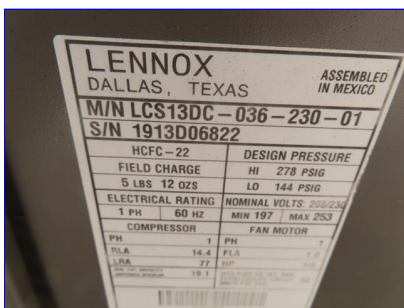
2013 Lennox 3 ton AC unit was operating properly at time of inspection. Recommend having a professional AC Tech inspect and service unit for proper efficiency. Electrical from unit was not protruding into the brick wall properly and exposing electrical at time of inspection. Should have a professional correct properly.



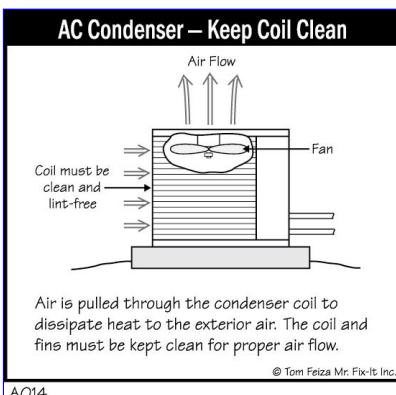
A. Item 1(Picture)



A. Item 2(Picture)



A. Item 3(Picture)



A. Item 4(Picture)

B. Heating Equipment

Type of Systems (Heating): Furnace

Energy Sources: Gas

Number of Heat Systems (excluding wood): One

Heat System Brand: LENNOX

Comments:

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Lennox gas furnace in the attic was working properly in Cool Mode at time of inspection. Did not test in Heat Mode since the outside temperature was over 60 degrees at time of inspection. Should have a professional AC Tech evaluate unit for proper operation. Gas plumbing to unit was missing drip leg and electrical bonding, outside of unit has possible WDO (Wood Destroying Organisms) growth at time of inspection. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 1(Picture)



B. Item 2(Picture)



B. Item 3(Picture)



B. Item 4(Picture)

C. Duct Systems, Chases and Vents

Ductwork: Insulated

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

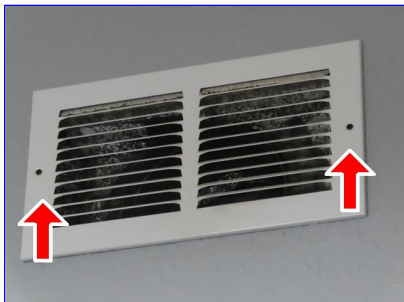
I NI NP D

Filter Type: Disposable

Filter Size: 20x30

Comments:

Bedroom HVAC register was missing fasteners at time of inspection. Should correct properly.



C. Item 1(Picture)

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

IV. Plumbing System

A. Plumbing Supply, Distribution System and Fixtures

Water Source: Public

Water Filters: (We do not inspect filtration systems)

Plumbing Water Supply (into home): Copper

Plumbing Water Distribution (inside home): Copper

Location of water meter: in yard

Location of main water supply valve: Side of Structure

Static water pressure reading: 62 psi

Type of supply piping material: Copper

Type of drain piping material: PVC

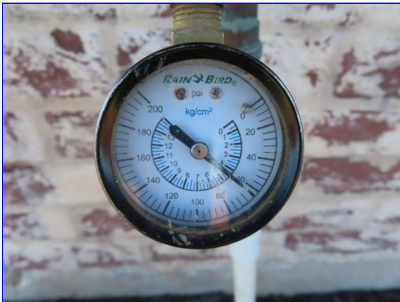
Comments:

(1) Main water line and shut off valve to the structure. Plumbing was missing insulation at time of inspection. Plumbing is conducive to freezing in cold weather. Should correct properly.



A. Item 1(Picture)

(2) Static water pressure was 62 psi at time of inspection. (This is for informational purposes only)



A. Item 2(Picture)

(3) Exterior faucet valve was leaking at time of inspection. Should have a professional plumber correct properly.

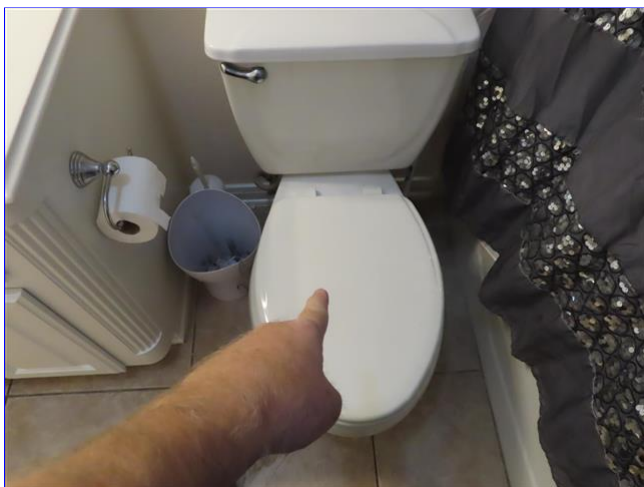
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 3(Picture)

(4) Toilets were loose to the floor at time of inspection. Should be corrected by a professional plumber. Conducive to leaking and causing possible damage.



A. Item 4(Picture)

(5) Master showerhead was leaking at plumbing connection at time of inspection. Should have a professional plumber correct properly.

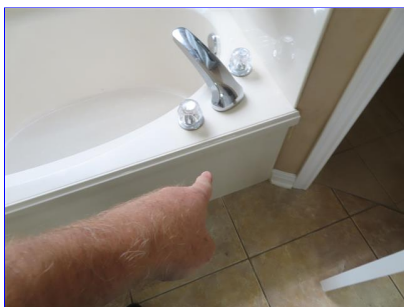
I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 5(Picture)

(6) Bathtubs and showers were missing plumbing access panel at time of inspection. Should have a professional plumber correct properly.



A. Item 6(Picture)

(7) Master bathtub faucet was loose at time of inspection. Should have a professional plumber correct properly.



A. Item 7(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

(8) Toilets bowls were loose at time of inspection. Should have a professional plumber correct properly. Conducive to leaking and causing possible damage.



A. Item 8(Picture)

(9) Master bathtub cold side plumbing valve was leaking at time of inspection. Should have a professional plumber correct properly.



A. Item 9(Picture)

(10) Middle bathroom toilet would not shut off completely after flushing at time of inspection. Should have a professional plumber inspect and correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



A. Item 10(Picture)

(11) Kitchen sink should be sealed properly to the countertop. Conducive to moisture intrusion and causing possible damage.



A. Item 11(Picture)

B. Drains, Waste and Vents

Washer Drain Size: 2" Diameter

Plumbing Waste: PVC

Comments:

(1) Kitchen sink drain plumbing was loose and installed with improper flex piping at time of inspection. Conducive to leaking and causing possible damage. Should have a professional plumber correct.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



B. Item 1(Picture)

(2) Several bathtub drain stoppers were not installed properly at time of inspection. Should correct properly.



B. Item 2(Picture)

(3) All master shower pan penetrations and gaps should be sealed properly. Conducive to leaking and causing possible damage.



B. Item 3(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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C. Water Heating Equipment

Water Heater energy sources: Gas (quick recovery)

Water Heater Capacity: 40 Gallon (1-2 people)

Water Heater Location: Garage

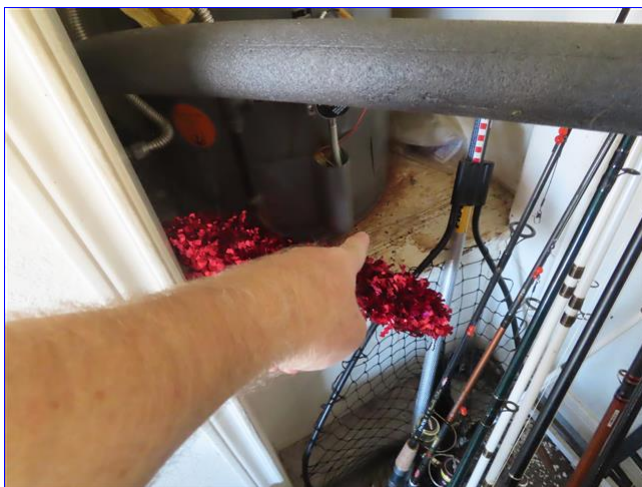
WH Manufacturer: RHEEM

Comments:

2017 Rheem gas 40 gallon hot water heater in the garage was operating properly at time of inspection. Unit was missing drip pan and drain to exterior, top plumbing connection is rusting and has signs of possibly leaking, exhaust duct is disconnected from flue and leaking possible Carbon Monoxide into the garage and possible living space, exhaust duct in the attic is disconnecting at joint, gas plumbing to unit was missing electrical bonding at time of inspection. Should have a professional plumber inspect and correct properly.



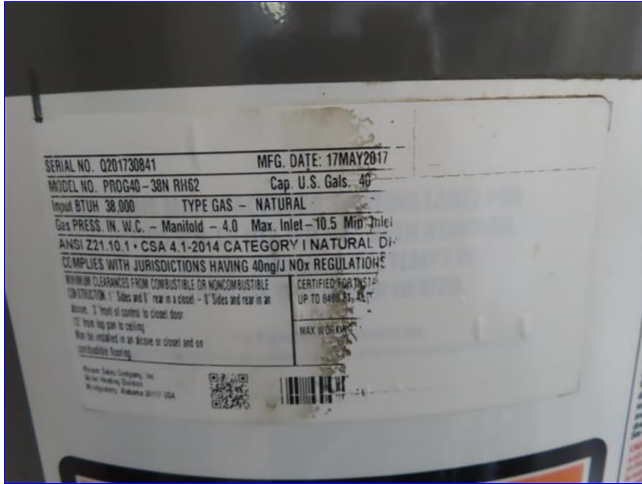
C. Item 1(Picture)



C. Item 2(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

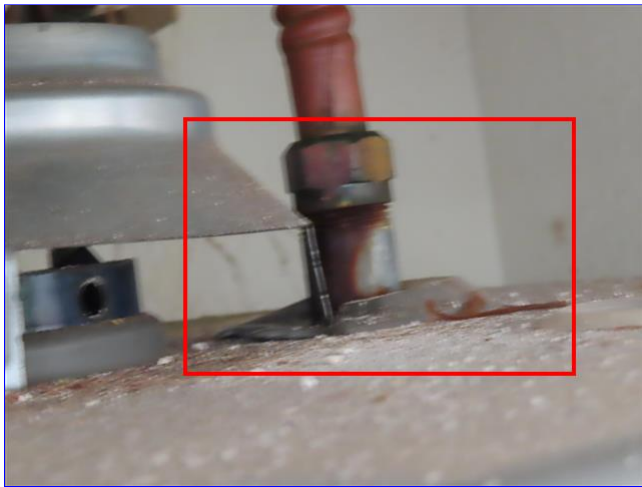
I	NI	NP	D
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C. Item 3(Picture)



C. Item 4(Picture)



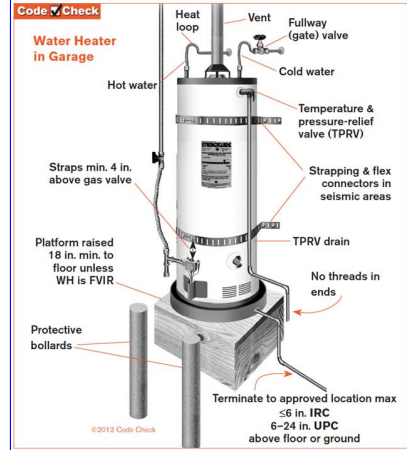
C. Item 5(Picture)

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

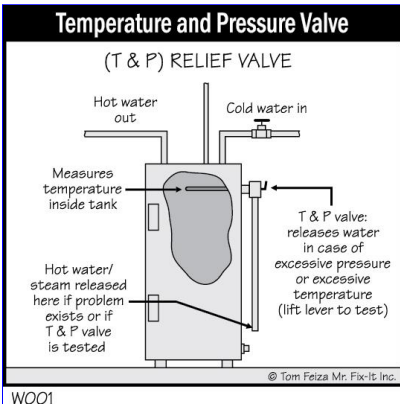
I NI NP D



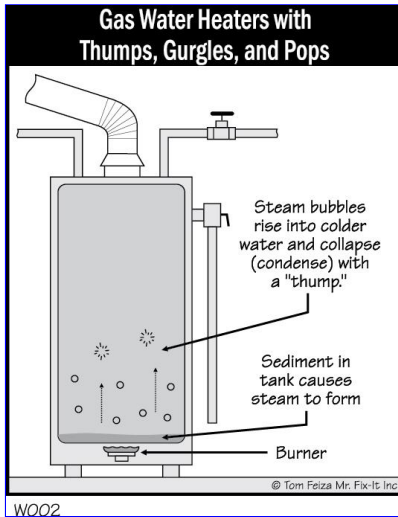
C. Item 6(Picture)



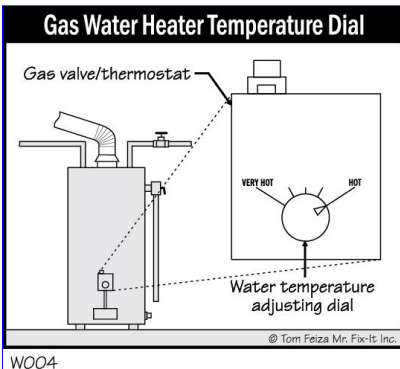
C. Item 7(Picture)



C. Item 8(Picture)



C. Item 9(Picture)



C. Item 10(Picture)

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of gas meter: Exterior Side of Structure

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

Type of gas distribution piping material: Cast Iron

Comments:

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D

V. Appliances

A. Dishwasher

Dishwasher Brand: MAYTAG

Comments:

Maytag dishwasher was working properly at time of inspection.



A. Item 1(Picture)



A. Item 2(Picture)

B. Food Waste Disposers

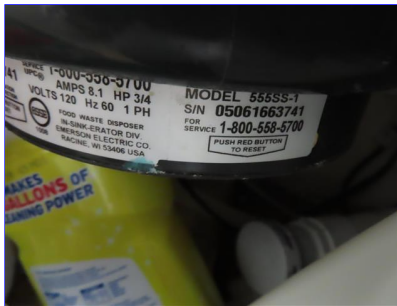
Disposer Brand: IN SINK ERATOR

Comments:

InSinkErator disposal was working properly at time of inspection.



B. Item 1(Picture)



B. Item 2(Picture)

C. Range Hood and Exhaust System

Exhaust/Range hood: GENERAL ELECTRIC

Comments:

(1) Exterior range exhaust vent was damaged at time of inspection. Should have a professional replace properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



C. Item 1(Picture)

(2) GE built in microwave exhaust fan and light was working properly at time of inspection.



C. Item 2(Picture)

D. Ranges, Cooktops and Ovens

Range/Oven: SAMSUNG

Comments:

Samsung gas cooktop and oven was working properly at time of inspection. Unit was loose in compartment and may be missing Anti Tip Device. Unit should be secured properly. Possible safety hazard.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



D. Item 1(Picture)

E. Microwave Ovens

Built in Microwave: GENERAL ELECTRIC

Comments:

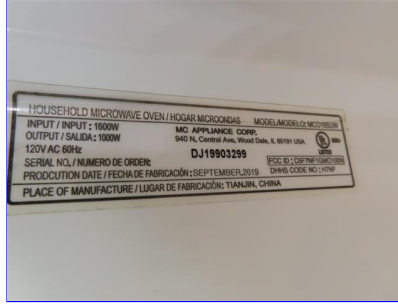
Aged GE built in microwave was working properly at time of inspection. Door was sagging at time of inspection. Microwave should be at least 30" from combustibles per code. Should have a professional correct properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I NI NP D



E. Item 1(Picture)



E. Item 2(Picture)



E. Item 3(Picture)



E. Item 4(Picture)

F. Mechanical Exhaust Vents and bathroom Heaters

Comments:

Exhaust fans were full of debris and should be cleaned properly.

I = Inspected NI = Not Inspected NP = Not Present D = Deficient

I	NI	NP	D
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F. Item 1(Picture)

G. Garage Door Operator(s)

Auto-opener Manufacturer: CHAMBERLAIN

Garage Door Type: One automatic

Garage Door Material: Metal

Comments:

(1) Chamberlain garage door opener was working properly at time of inspection.



G. Item 1(Picture)

(2) Garage door opener controller is loose from the wall at time of inspection. Should correct properly.



G. Item 2(Picture)

H. Dryer Exhaust System

Comments:

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Disclaimer:

A general home inspection is a non-invasive, visual examination of the accessible areas of a residential property, performed for a fee, which is designed to identify defects within specific systems and components that are both observed and deemed material by the inspector. It is based on the observations made on the date of the inspection, and not a prediction of future conditions. It is a snapshot in time. A general inspection will not reveal every issue that exists or ever could exist. But only those material defects observed on the date of the inspection. This is not an inspection of cosmetic defects or deficiencies. Several areas of the property were inaccessible at time of inspection due to being blocked, covered or no proper safe pathways to areas. These areas were not inspected at time of inspection.

If you're reading this report but did not hire me, American Dream Inspections TX LLC to perform the original inspection, please note that it is likely that conditions related to the home have probably changed, even if the report is fairly recent. Just as you cannot rely on an outdated weather report, you should not rely on an outdated inspection report. Minor problems noted may have become worse, recent events may have created new issues, and items may even have been corrected and improved. Don't rely on old information about one of the biggest purchases you'll ever make. Remember that the cost of a home inspection is insignificant compared to the value of the home. Protect your family and your investment, and please call me directly at 832-566-0973 to discuss the report you're reading for this property so that we can arrange a re-inspection.

Thank you!