
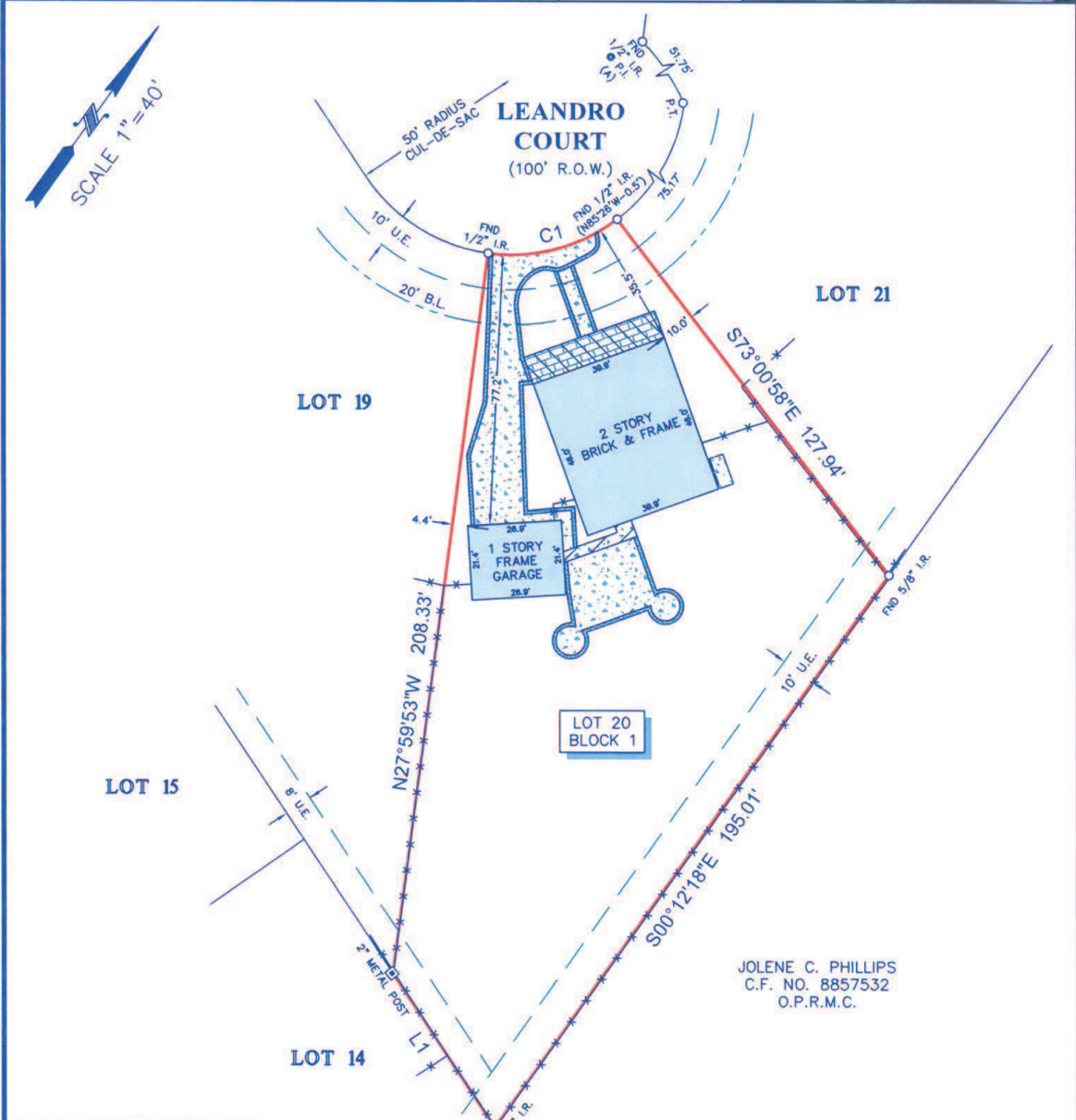




TITLE COMPANY:
 **Chicago Title**
 936-582-5490
 G.F. #: CTH-MONT-CTT18699248KV | ISSUE DATE: SEPTEMBER 14, 2018



JOLENE C. PHILLIPS
 C.F. NO. 8857532
 O.P.R.M.C.

LINE	BEARING	DISTANCE
L1	N 69°09'03" E	53.08'

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	50.00'	39.29'	N 039°29'34" E	38.28'

LEGEND

	B.L. = BUILDING LINE
	U.E. = UTILITY EASEMENT
	BRICK
	CONCRETE
	COVERED AREA
	FENCE
	METAL

- NOTES:**
- ALL BEARINGS SHOWN HEREON ARE REFERENCED TO THE SUBDIVISION PLAT NAMED BELOW, POINTS (A) AND (B) WERE HELD FOR HORIZONTAL CONTROL.
 - ABSTRACT INFORMATION FOR THE SUBJECT TRACT WAS PROVIDED BY THE TITLE INSURANCE COMPANY LISTED ABOVE.
 - THIS SURVEY IS CERTIFIED TO CHICAGO TITLE INSURANCE COMPANY LISTED ABOVE FOR THIS TRANSACTION ONLY, IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
 - ALL EASEMENTS AND BUILDING LINES SHOWN ARE PER THE RECORDED PLAT UNLESS OTHERWISE NOTED.
 - THERE ARE NO NATURAL DRAINAGE COURSES ON SUBJECT PROPERTY.
 - SUBJECT TO THE RESTRICTIVE COVENANTS AS LISTED IN SCHEDULE B OF THE TITLE COMMITMENT ISSUED ON SEPTEMBER 14 2018 UNDER G.F. NO. CTH-MONT-CTT18699248KV.
 - SERVICE UTILITY EASEMENT 5 FEET WIDE, BEING 2'-5" ON EACH SIDE OF UNDERGROUND SERVICE LINES EXTENDING FROM THE SURFACE OF THE GROUND DOWNWARD AS SET FORTH BY RESTRICTIVE INSTRUMENT RECORDED UNDER MONTGOMERY COUNTY C.F. NO. 9034285.

LEGAL DESCRIPTION: LOT 20, IN BLOCK 1, OF BENTWATER, SECTION 24, A SUBDIVISION IN THE JAMES J. FOSTER SURVEY, A-203, AND THE RICHARD WILLIS SURVEY, A-626, MONTGOMERY COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN CABINET F, SHEET 136-A ET. SEQ. OF THE MAP RECORDS OF MONTGOMERY COUNTY, TEXAS.



SURVEYORS CERTIFICATE:
 IN MY PROFESSIONAL OPINION, THIS PLAT REPRESENTS THE FACTS FOUND ON THE GROUND DURING THE COURSE OF A BOUNDARY SURVEY CONDUCTED UNDER MY SUPERVISION ON OCTOBER 31, 2018 AND THAT THIS PLAT SUBSTANTIALLY COMPLIES WITH THE CURRENT STANDARDS AS ADOPTED BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING; AND THAT THERE ARE NO ENCROACHMENTS OR PROTRUSIONS EXCEPT AS SHOWN.

Richard Fussell
 RICHARD FUSSELL
 RPLS # 4148

CLIENT: ASHLEY CRAIG AND DEVIN CRAIG
 ADDRESS: 17 LEANDRO COURT

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 Your Land Survey Company
 Firm Registration No. 100758-00
 P.O. Box 2543 | Alvin, TX 77512 | (281)393-1382

FIELD CREW: JR	TECH: SF
DRAFTER: RM	FINAL CHECK: BC
DATE: NOVEMBER 1, 2018	
JOB# 10-67967-18	