

# Max-Press Foundation Repair Warranty

9503 CR. 405  
CLUTE, TX. 77531  
(979)248-2617

Limited lifetime warranty. If any rising is necessary due to settling, MAX-PRESS FOUNDATION REPAIR will adjust piers free of charge (ALL MATERIALS AND LABOR INCLUDED). This applies to the piers installed by MAX-PRESS FOUNDATION REPAIR. Slabs where there are no structural beams are not covered by warranty. The removal or addition of floors, such as hardwood or tile, does not guarantee that the floors will be level, due to the workmanship of installer. This warranty covers only the adjustment of piers, the repairs needed due to the settling, such as sheet rock, floors, or any other materials are excluded. If at any given time the contractor (MAX-PRESS FOUNDATION REPAIR) is called in to check foundation for any failing piers, the piers will be repaired/adjusted free of charge, however if no piers are failing and slab continues to be leveled, there will be an \$80.00 charge to the homeowner. This warranty remains in effect so as long as the following provisions are satisfied, and MAX-PRESS FOUNDATION REPAIR AND OR TONY DONAS... Is open for business. This warranty may be transferred from one (1) time to a subsequent owner of the property. In order for transfer to be effective, written notification must furnish along with original warranty within (60) days of closing of sale by owner, in person or by register mail. A fee of \$300.00 must be paid to MAX-PRESS FOUNDATION REPAIR, when notification is made.

1. Structure has not been altered or additions made to it.
2. The structure has not been subjected to flood damage.
3. A watering system must be installed (soaker hoses or sprinkler system)
4. The contractor has been paid in full for all charges.

ADDRESS: 319 BUFFALO TRAIL  
LAKE JACKSON, TX. 77566

\_\_\_\_\_  
HOMEOWNER

\_\_\_\_\_  
CONTRACTOR

9/21/2021



**MAX-PRESS**  
FOUNDATION REPAIR



**Estimate**

Date
7/24/2021

Name / Address
SMITH 319 BUFFALO TRAIL LAKE JACKSON, TX. 77566

Description	Total								
<p>Max-Press Foundation Repair will be installing 30 pressed pilings and leveling the structure as suggested by TERRY V. HUDKINS P.E.  Mortar joints will be filled accordingly.  Clean up will be performed at the end of the job.  Max-Press will pull all necessary permits for work and sustain all the necessary insurance required by the city.  Lifetime transferable warranty certificate will be issued at job completion.  Max-Press will furnish material and labor complete in accordance with above specifications, for the sum of:</p>	7,200.00								
<table border="1" style="width: 100%;"> <tr> <td style="width: 70%;">Total amount due upon job completion.</td> <td style="width: 30%; text-align: right;"><b>Total</b> 57,200.00</td> </tr> <tr> <td>Phone #</td> <td>E-mail</td> <td>Web Site</td> </tr> <tr> <td>(979) 248-9738</td> <td>maxpressfoundationrepair@yahoo.com</td> <td>www.maxpressfoundation.com</td> </tr> </table>		Total amount due upon job completion.	<b>Total</b> 57,200.00	Phone #	E-mail	Web Site	(979) 248-9738	maxpressfoundationrepair@yahoo.com	www.maxpressfoundation.com
Total amount due upon job completion.	<b>Total</b> 57,200.00								
Phone #	E-mail	Web Site							
(979) 248-9738	maxpressfoundationrepair@yahoo.com	www.maxpressfoundation.com							

From: Marina Serbantez mserbantez1@gmail.com  
Subject: Fwd: Estimate 2880 from MAX-PRESS FOUNDATION REPAIR  
Date: Jul 27, 2021 at 1:43:00 PM  
To: Don Smith dsmithremodeling@yahoo.com

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----- Forwarded message -----

From: <[maxpressfoundation@gmail.com](mailto:maxpressfoundation@gmail.com)>  
Date: Sat, Jul 24, 2021 at 12:42 PM  
Subject: Estimate 2880 from MAX-PRESS FOUNDATION REPAIR  
To: <[mserbantez1@gmail.com](mailto:mserbantez1@gmail.com)>, <[smithremodeling@yahoo.com](mailto:smithremodeling@yahoo.com)>

Dear SMITH :

Please review the attached estimate. Feel free to contact us if you have any questions.

We look forward to working with you.

Sincerely,

MAX-PRESS FOUNDATION REPAIR  
(979) 248-9738

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Texas Real Estate Commission Information About Brokerage Services

Texas Real Estate Commission Consumer Protection Notice

**Marina Serbantez**

Ambassador Realty

Phone: (979) 417-9442

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Email: [mserbantez1@gmail.com](mailto:mserbantez1@gmail.com)

Web: <http://web.har.com/MarinaSerbantez>



# MAX-PRESS FOUNDATION REPAIR



## Estimate

Date
7/24/2021

Name / Address
SMITH 319 BUFFALO TRAIL LAKE JACKSON, TX. 77566

Description	Total
<p>Max-Press Foundation Repair will be installing 30 pressed pilings and leveling the structure as suggested by TERRY V, HUDKINS P.E. Mortar joints will be filled accordingly. Clean up will be performed at the end of the job. Max-Press will pull all necessary permits for work and sustain all the necessary insurance required by the city. Lifetime transferable warranty certificate will be issued at job completion. Max-Press will furnish material and labor complete in accordance with above specifications, for the sum of:</p>	7,200.00

Total amount due upon job completion.		<b>Total</b> \$7,200.00
Phone #	E-mail	Web Site
(979) 248-9738	maxpressfoundationrepair@yahoo.com	www.maxpressfoundation.com

Terry V. Hudkins, P.E.  
306 Narcissus  
Lake Jackson, Tx 77566  
July 23, 2021

**PRELIMINARY FOUNDATION INSPECTION REPORT: JOB NO. 21-036**

**LOCATION:** 319 Buffalo Trail  
Lake Jackson, TX

**DATE OF INSPECTION:** July 9, 2021

**OBSERVATIONS:**

This house consists of a single story brick veneer house, on a conventional slab foundation. Refer to the attached visual inspection checklist, and Drawing SK-21036-1, for a complete list of all the deficiencies noted, both exterior and interior. This house was flooded by Hurricane Harvey, in 2017, and remodeled following the flood. No foundation repairs were made at that time.

**CONCLUSIONS:**

There is moderate foundation movement around the left end of the house, and around most of the back of the house. This movement is due to the seasonal moisture changes in the expansive clay soil. I recommend that pressed piles be installed around the partial perimeter of the house, as shown on drawing SK-21036-1, both to stabilize the foundation, and to aid the house in bearing in a soil zone of constant moisture and more firm stratum of soil.

**RECOMMENDATIONS:**

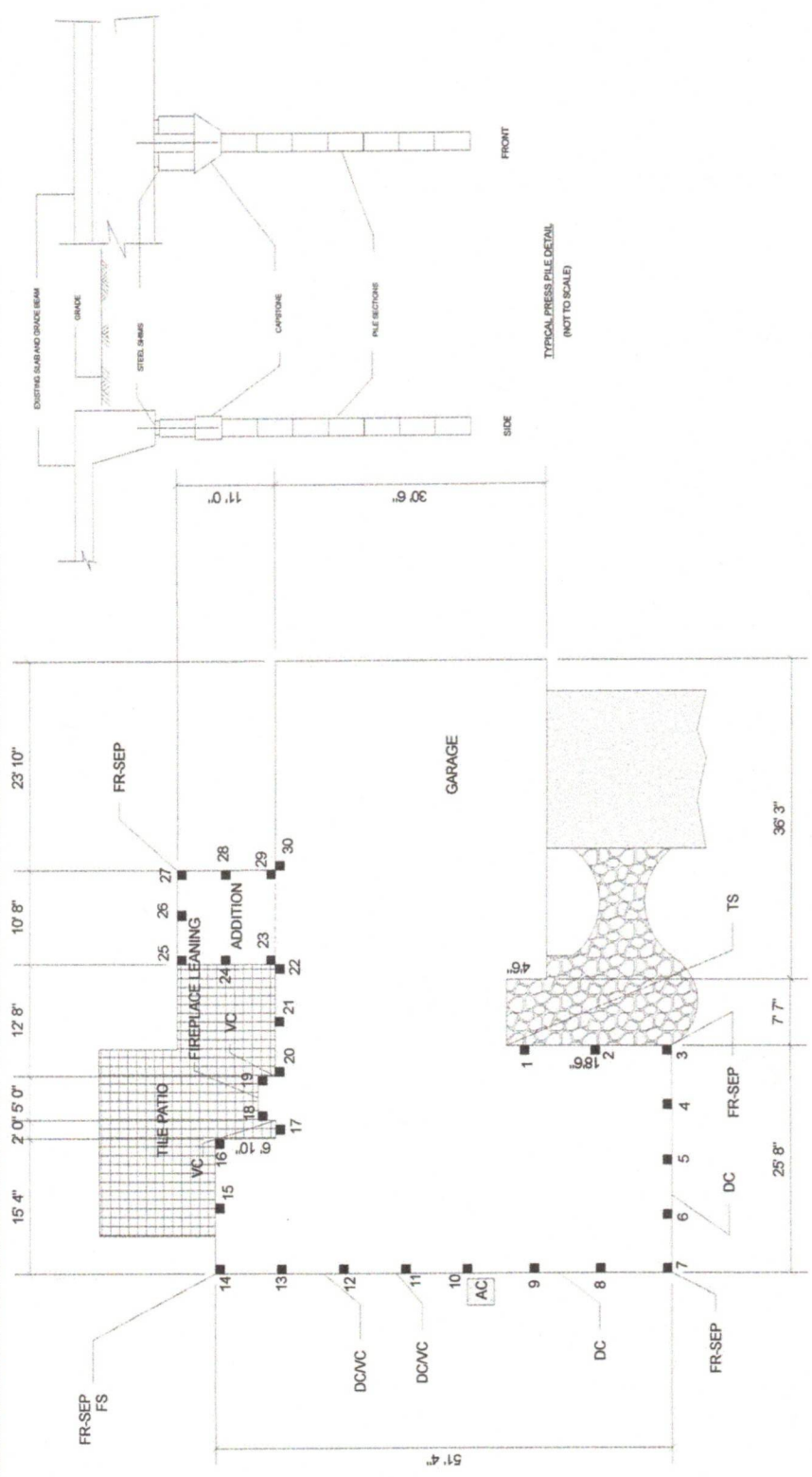
I recommend installation of 30 pressed piles at the locations, and in accordance with the details and specifications shown on drawing SK-21036-1. These repairs should stabilize the this part of the foundation for the remaining life of the house. The engineer will not assume any liability for any cracks in the dry wall, which do not close completely during leveling, or for any new cracks or damage to flooring or roofing which may appear during the leveling procedure.

Respectfully submitted,

*Terry V. Hudkins 7/23/21*

Terry V. Hudkins, P.E.  
Firm # F-003147





**FOOTING LOCATION PLAN**



■ - PROPOSED PRESSED PILE

**SYMBOLS FOR DEFICIENCIES**

- DC - DIAGONAL CRACK IN BRICK
- VC - VERTICAL CRACK IN BRICK
- HC - HORIZONTAL CRACK IN BRICK
- BMC - CRACK IN GRADE BEAM
- SC - CRACK IN EXPOSED SLAB
- FR-SEP - SEPARATION OF FRIEZE BOARD
- FS - SEPARATION OF MITERED JOINT OF FACIA
- WS - SEPARATION OF BRICK AND WINDOW FRAME
- DS - SEPARATION OF BRICK AND DOOR FRAME

**GENERAL NOTES:**

1. PILES SHALL BE PLACED AT A MAXIMUM SPACING OF 8'-0" IN ONE STORY AREAS, 6'-0" IN TWO STORY AREAS.
2. PILE SECTIONS SHALL CONSIST OF 6" DIAMETER X 12" LONG CYLINDERS, SQUARE OR RECTANGULAR BLOCKS WILL NOT BE PERMITTED FOR USE AS PILE SECTIONS.
3. PILE SECTIONS SHALL BE INSTALLED BY JACKS USING THE WEIGHT OF THE STRUCTURE TO PROVIDE THE DRIVING LOAD.
4. WHEN THE FOUNDATION STARTS TO LIFT, DRIVING OF THE PILE IS ENDED.
5. ELEVATE FOUNDATION ON HYDRAULIC JACKS AND HOLD IN PLACE W/ STEEL SHIMS ON TWO 6" DIAMETER CYLINDERS PLACED ON THE CAPSTONE.

**TVH-ENGINEERING**

TITLE:

PROPOSED FOUNDATION REPAIR  
319 BUFFALO TRAIL  
LAKE JACKSON, TX

JOB NO.	DRAWN BY	DATE
21-036	TVH	7/23/21
DRAWING NO. SK-21036-1		

SEAL

TERRY V. HUDKINS, P.E.  
FIRM # F-003147

STATE OF TEXAS

TERRY V. HUDKINS  
REGISTERED PROFESSIONAL ENGINEER  
55526

*T. V. Hudkins 7/23/21*

# VISUAL STRUCTURAL INSPECTION CHECKLIST

**Job No:** 21-036  
**Address:** 319 Buffalo Trail, Lake Jackson, TX  
**Inspector:** Terry V. Hudkins, P.E.  
**Description of Structure:** Brick veneer  
**Foundation Type:** Conventional slab  
**Approximate Age:** 40 years  
**Number of Stories:** 1

**Date of Inspection:** 7/23/21

**EXTERIOR** (See Sketch for locations of deficiencies)

Deficiency	Over Window	Ben. Window	Beside Window	Garage Door	Door	Porch	Grade Beam	Brick Wall	Fireplace	Siding	Corners	Comments
<b>Front Side:</b>												
Diagonal Cracks in Brick (DC)		x										
Vertical Cracks in Brick (VC)												
Horiz. Cracks in Brick (HC)												
Cracks in Grade Beam (BMC)												
Cracks in exposed slab (SC)												
Separation of Friez Board (FR-SEP)											x	
Separation of mitered joint of Facia (FS)												
Separation of Trim near Front Door (TS)											x	
<b>Left Side:</b>												
Diagonal Cracks in Brick (DC)		x						x				
Vertical Cracks in Brick (VC)		x						x				
Horiz. Cracks in Brick (HC)												
Cracks in Grade Beam (BMC)												
Cracks in exposed slab (SC)												
Separation of Friez Board (FR-SEP)											x	
Separation of mitered joint of Facia (FS)											x	
Separation of Brick and Framing												
<b>Back Side :</b>												
Diagonal Cracks in Brick (DC)												
Vertical Cracks in Brick (VC)									x			Fireplace leaning
Horiz. Cracks in Brick (HC)												
Cracks in Grade Beam (BMC)												
Cracks in exposed slab (SC)												
Separation of Friez Board (FR-SEP)											x	
Separation of mitered joint of Facia (FS)												
Separation of Brick and Framing												
<b>Right Side:</b>												
Diagonal Cracks in Brick (DC)												
Vertical Cracks in Brick (VC)												
Horiz. Cracks in Brick (HC)												
Cracks in Grade Beam (BMC)												
Cracks in exposed slab (SC)												
Separation of Friez Board (FR-SEP)												
Separation of mitered joint of Facia (FS)												
Separation of Brick and Framing												
Separation of Brick at Expansion Jt.												

**Other exterior observations:**

**INTERIOR**

Deficiency	Foyer	Living Room	Dining Room	Breakfast Room	Kitchen	Utility Room	Family room	Hall	MBR	BR2 (front corn)	BR3 (front mid)	BR4	Study	Bath 1 (hall)	Bath 2 (MBR)	Bath 3	Garage	Comments	
Dry Wall Cracks in Walls																			
Dry Wall Cracks in Ceiling																		x	
Dry Wall Cracks Over Doors				x						x									
Dry Wall Cracks Over Closet Doors										x									
Dry Wall Cracks at Windows																			
Vertical Cracks in Corner																			
Dry Wall Cracks between Wall and Ceiling																			
Door Skewed				x					x	x									
Closet Door Skewed									x	x									
Cracks Beneath Ridge Beam																			
Cracks in Fireplace Brick																			
Wallpaper Wrinkled																			
Molding Separated																			
Cabinets Separated																			
Tub /Shower Enclosure Separated																			
Flooring Separated																			
Tile Cracked																			
Floors Sloped		x		x				x	x	x	x			x	x			x	
Visible Cracks in Slab																			
Loose drywall tape																			
Other Deficiencies:																			
Room Not Applicable							x					x	x				x		
No Deficiencies Noted	x		x		x	x													

**Other Interior observations:**

Terry V. Hudkins, P.E.  
306 Narcissus  
Lake Jackson, TX 77566  
September 21, 2021

**FINAL HOUSE LEVELING INSPECTION REPORT: JOB NO. 21-036**

**LOCATION:** 319 Buffalo Trail  
Lake Jackson, TX

**CONTRACTOR:** Max-Press Foundation Repair  
Clute, Texas

**DATE OF PILE INSTALLATION & LEVELING:** September 21, 2021

**INSPECTIONS PERFORMED:**  
July 23, 2021 - Preliminary Inspection  
August 27, 2021- Final Inspection

**CONCRETE SPEC:**  
All pile sections are pre-cast, 6000 psi at 28 day performance, non-reinforced concrete.

**PILES:**  
30 pressed piles were installed at the locations, and in accordance with the details and specifications, shown on Drawing SK-21036-1. Each pile consists of 6" x 12" concrete sections, with the number of 6" x 12" sections varying with driving resistance. Pile sections were installed by jacks, using the weight of the house to provide the driving load. Installation of each pile was to the depth at which the driving started to lift the foundation. All piles were completely driven prior to leveling of the house. Concrete capstones were placed on top of the piling sections, from which the house was jacked to a level position. After leveling, two 6"x 12" concrete cylinders were placed on the capstones and shimmed against the grade beam with steel shims.

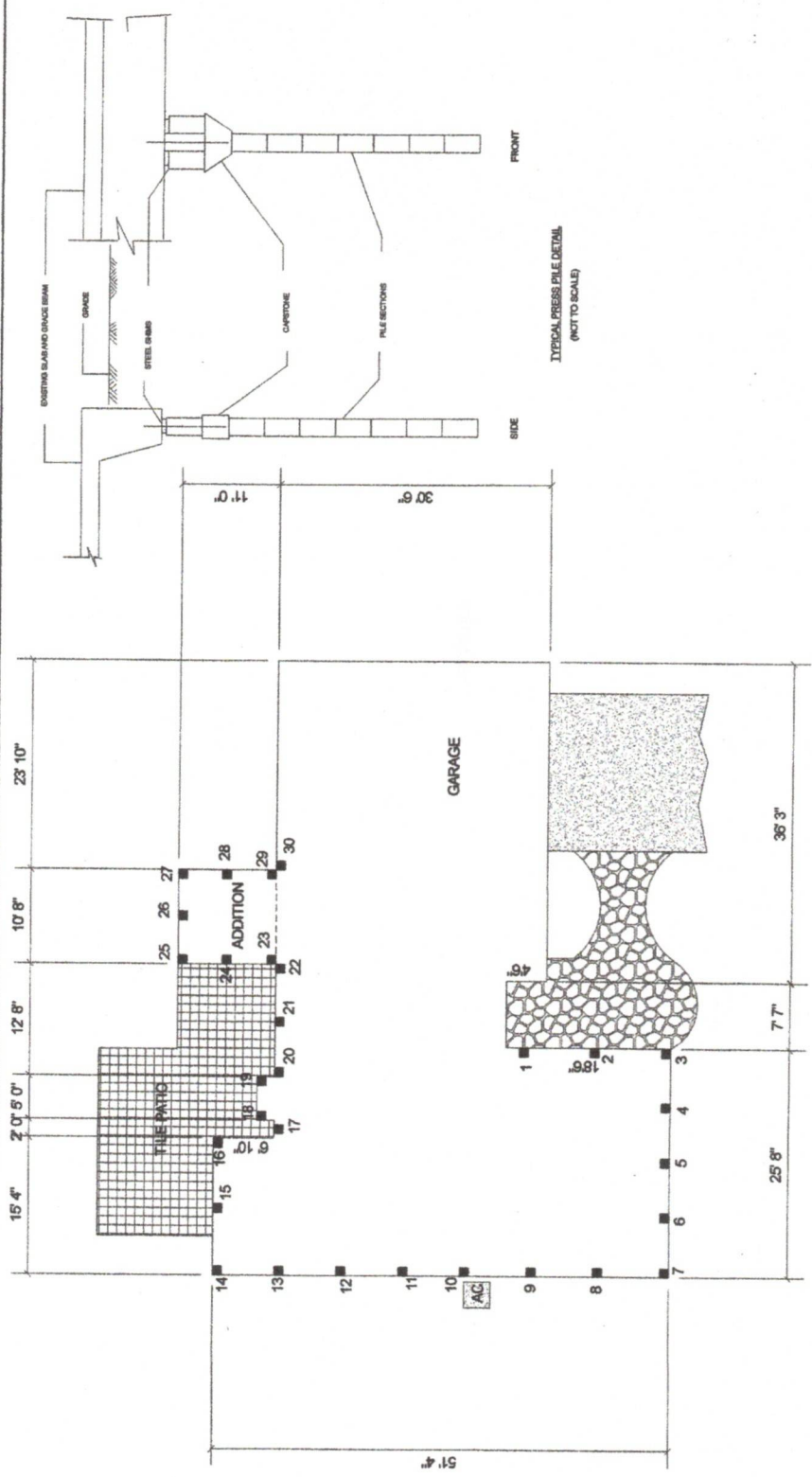
**COMMENTS:**  
The job meets all standard engineering practices, and the undersigned engineer's specifications. This repair work should stabilize this part of the foundation to its intended function for the life of the structure.

Respectfully submitted,



Terry V. Hudkins, P.E.  
Firm # F-003147





TYPICAL PRESSED PILE DETAIL  
(NOT TO SCALE)

■ - PRESSED PILE (INSTALLED 2021)

**FOOTING LOCATION PLAN**



- GENERAL NOTES:
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**TVH-ENGINEERING**

TITLE:

FOUNDATION REPAIR  
319 BUFFALO TRAIL  
LAKE JACKSON, TX

JOB NO.	DRAWN BY	DATE
21-036	TVH	9/21/21

DRAWING NO. SK-21036-1

