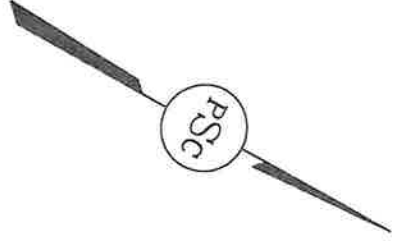




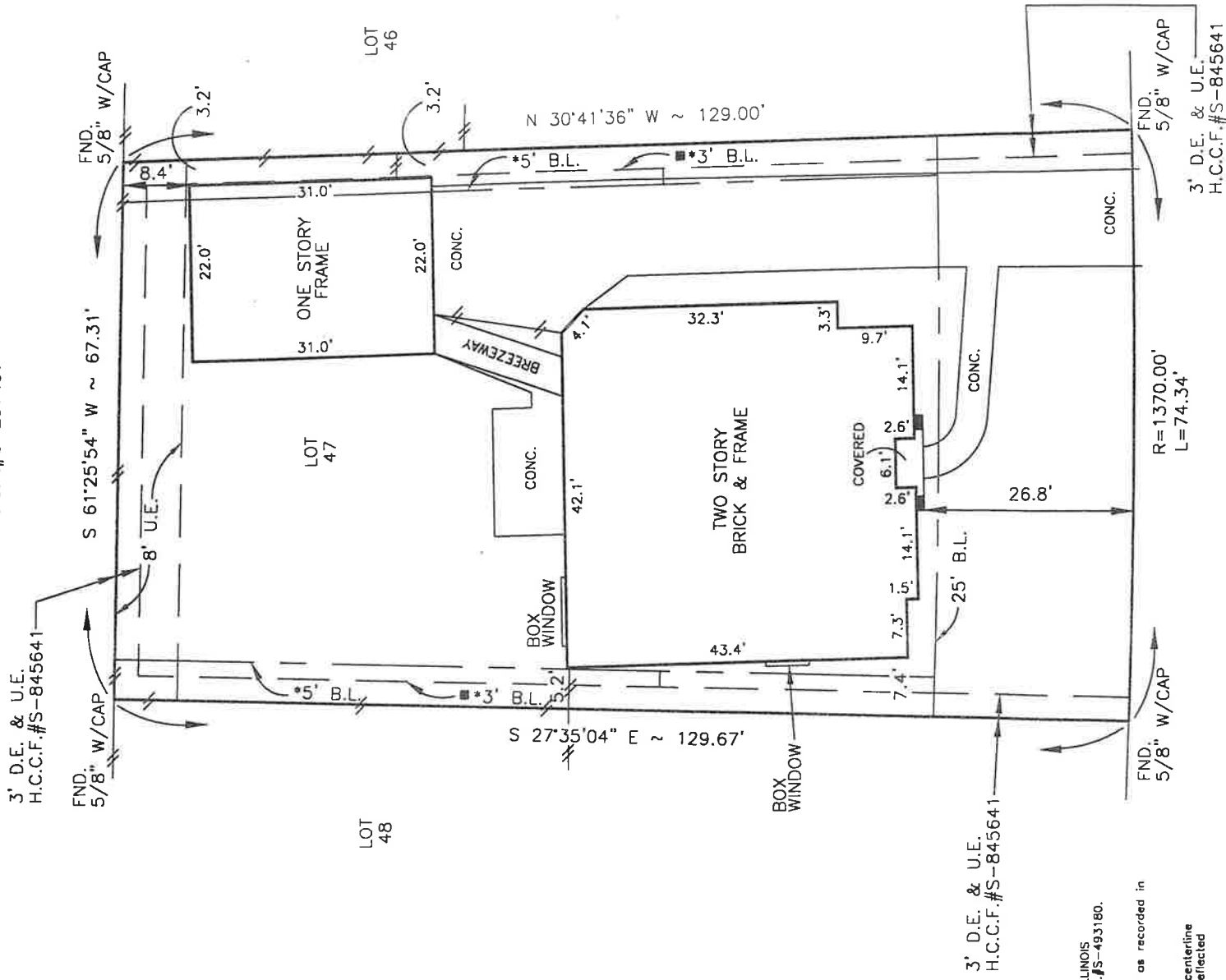
# Presley Surveying Co., Inc.

P.O. BOX 479 FULSHEAR, TEXAS - 77441 - (281) 346-1238

REGISTERED PROFESSIONAL LAND SURVEYOR: PAT L. PRESLEY #1629 / WARD D. KELSEY #4304



FRIENDSWOOD DEVELOPMENT COMPANY  
H.C.C.F.#S-297497



SUBJECT TO:  
PIPELINE ESM'T. GRANTED TO TEXAS ILLINOIS  
NATURAL GAS PIPELINE CO. IN H.C.C.F.#S-493180.

Subject To:  
Houston, Lighting & Power Agreement as recorded in  
H.C.C.F.# S-665090.

Drainage Esm't.:  
Extending 15' on each side of the centerline  
of all natural drainage courses, as reflected  
by the recorded plat.

SUBJECT TO:  
AN EASEMENT FOR AUDIO & VIDEO  
COMMUNICATION SERVICES AS SET FORTH  
UNDER H.C.C.F.# S-549269

NOTE:  
No garage or other permitted accessory building located  
60' or more from the front lot line may be located closer  
than 10 feet (3') to an interior side lot line.  
(PER DEED RESTRICTIONS)

BEARINGS BASED ON RECORDED PLAT:

THE COMMON LOT LINE OF LOTS 45 & 46

NOTE: THE SURVEYOR HAS NOT DETERMINED THE FINISHED FLOOR ELEVATION.  
\*Subject To: Deed Restrictions and/or zoning ordinances

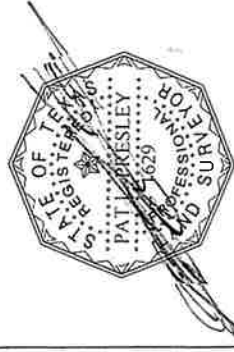
## 9423 WALNUT BROOK COURT (60' R.O.W.)

TO VILLAGE BUILDERS

EXCLUSIVELY and is NONTRANSFERABLE,  
This survey meets the minimum technical standards as promulgated by the Texas Board of Professional Land Surveying. The Surveyor has not abstracted subject property.

This survey was performed in connection with the information described and furnished in the title commitment provided by \_\_\_\_\_ REGENCY \_\_\_\_\_ Title company, G.F. No. 98-41-70931 dated 06-30-98. SURVEY NOT VALID FOR ANY OTHER TRANSACTION.

THIS PLAT IS VALID ONLY WITH ORIGINAL SIGNATURE AND ORIGINAL EMBOSSED SEAL



ZONE "X"  
The subject property does not lie within the 100 year Floodplain, as determined by scaled location of the Flood Insurance Rate Map, Community Panel number 4802870445J revised date 11-06-96.

PURCHASER

EDDY KWOK-HING LO & LISA YUK-LING LO

SUBDIVISION

LAUREL CREEK, SECTION ONE

LOT 47 BLOCK DWN CHK'D DISK #775 51-527 CLIENT JOB NO.

TDA WPK #775 51-527

SCALE 1"= 20'

DATE 07-24-98

JOB NO. 98-5100

LEGEND:  
U.E. UTILITY EASEMENT  
A.E. AERIAL EASEMENT  
D.E. DRAINAGE EASEMENT  
B.L. BUILDING LINE  
ST.M.S.E. STORM SEWER EASEMENT  
S.S.E. SANITARY SEWER EASEMENT  
W.L.E. WATER LINE EASEMENT  
I.R. IRON ROD  
I.P. IRON PIPE  
FND FOUND  
FNC FENCE  
WOOD FENCE  
IRON FENCE

RECORDING

F.C.# 389143 M.R.  
H.C.C.F.#S-524519

COUNTY HARRIS

STATE TEXAS

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