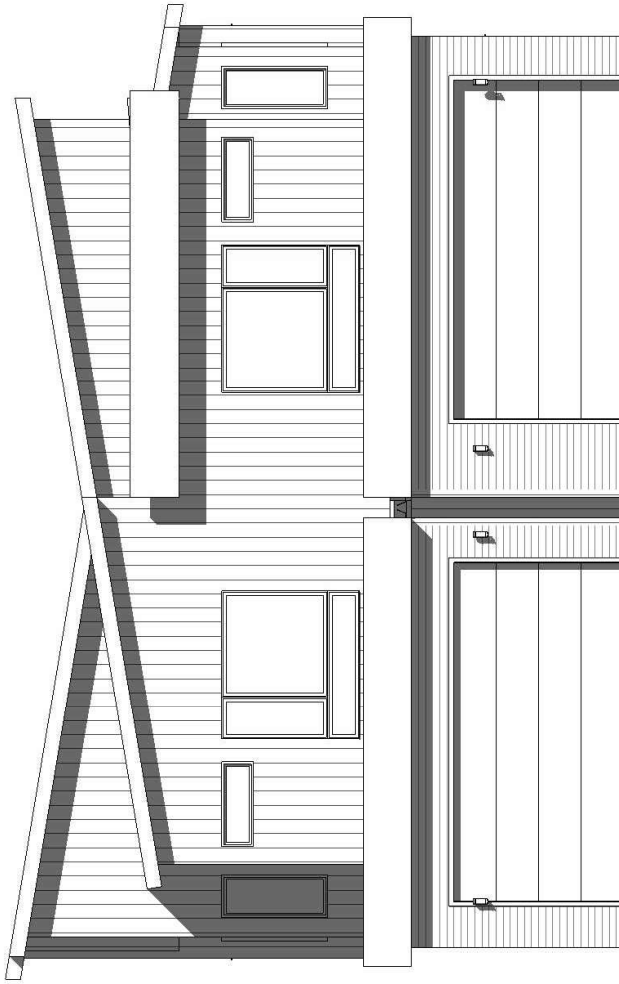


A CUSTOM DUPLEX DESIGN FOR
 TRANSCENDENCE 360 LLC
 5110 LONGMEADOW ST. A&B
 HOUSTON, TX 77033

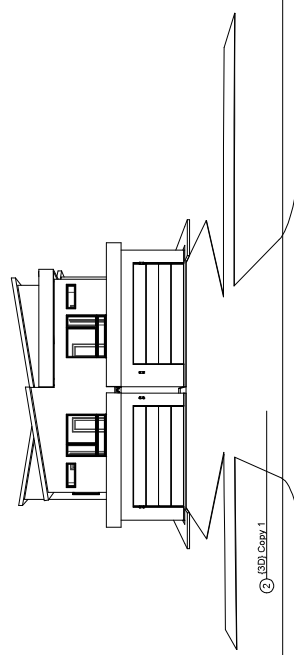


① Cover
 3/8" = 1'-0"

PROJECT INFORMATION

FLOOR PLAN NOTES

AREA CALCULATION (PER UNIT)	SQUARE FOOTAGE
FIRST FLOOR LIVING	630
SECOND FLOOR LIVING	923
TOTAL LIVING	1553
GARAGE	400
COVERED PATIO	15
COVERED PORCH	15
TOTAL COVERED	1983



② 1/32" Copy 1

SHEET INDEX

- A1 _____ COVER PAGE
- A2 _____ SITE PLAN
- A3 _____ FLOOR PLAN LEVEL 1
- A3-1 _____ FLOOR PLAN LEVEL 2
- A4 _____ FR ELEVATION PLAN
- A5 _____ LR ELEVATION PLAN
- D1 _____ DEMO PLAN
- E1 _____ ELECTRICAL PLAN & DETAILS
- S1 _____ FOUNDATION PLAN
- S2 _____ FOUNDATION DETAILS
- S3 _____ SIDEWALK DETAILS
- S4 _____ FRAMING PLAN
- S5 _____ ROOF PLAN
- S6 _____ FRAMING DETAILS
- S7 _____ BRACING AND NAILING DETAILS
- S8 _____ ADDITIONAL DETAILS
- S9 _____ STAIR DETAILS



TRANSCENDENCE 360 LLC
 5110 LONGMEADOW ST. A&B
 HOUSTON, TX 77033

No.	Description	Date



MAZE RESIDENTIAL DESIGN
 HOUSTON, TX
 832-785-4911

Cover Page

Project Number	
Revision Number	
Checker	

A1

3/8" = 1'-0"



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5110 LONGMEADOW ST. A&B
HOUSTON, TX 77033



MAZE RESIDENTIAL DESIGN
HOUSTON, TX
832-785-4911

Site Plan

Project Number: 988 SF
Issue Date: 3077 SF
Checked: A2

LT 4 BLK 6
SMALLWOOD TERRACE

GENERAL NOTES

1. Type M copper tubing and pipe shall not be used.
2. Water riser must be metal above ground schedule 40 pvc may only be used on the exterior of the building below grade.
3. Entire project shall be constructed in accordance with 2021 I.R.C. and the 2023 NEC.
4. Refer to structural for compliance with wind load design criteria.
5. Aluminum wiring shall not be used and copper 12/2 with ground is the smallest conductor size allowed.
6. All drainage and runoff shall be collected on-site or directed on surface to sheet. Drainage and runoff is not allowed to be directed on to adjacent properties.
7. All mechanical equipment exhaust must terminate on the exterior of the structure.
8. Fences require a separate permit.
9. General contractor must verify all dimensions for the set backs, utility easements, and bldg. lines.

DRAINAGE NOTES

DRAINAGE (LOTS) R401.3 2021 IRC LOTS SHALL BE GRADED TO PROVIDE A POSITIVE DRAINAGE PATH AWAY FROM THE FOUNDATION. THE FALL SHALL BE A MINIMUM IF 6 INCHES IN THE FIRST 10 FEET (5% SLOPES). THE SITE PLAN SHALL DEPICT THE SLOPES.

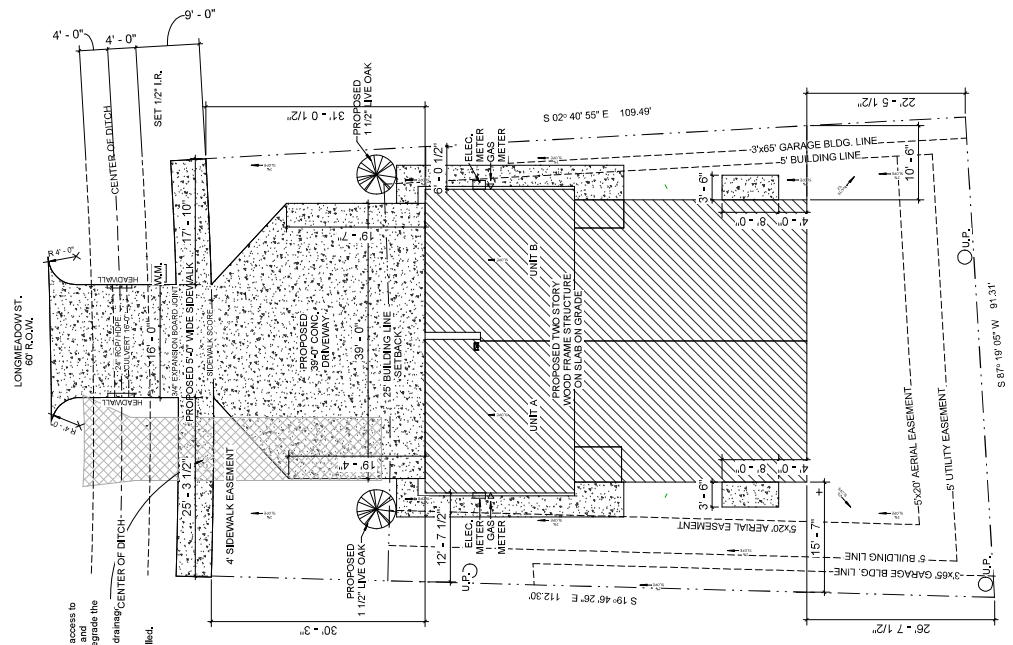
DRAINAGE (LOTS) R401.3 EXCEPTION 2021 IRC AMENDMENTS IF A SWALE OR DRAIN IS USED DUE TO A PHYSICAL BARRIER OR LOT LINE THE PLANS MUST INDICATE THE POSITIVE DRAINAGE DETAILS. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING.

NOTE
F.F. ELEVATIONS ARE FOR REFERENCE USE ONLY

NOTE
F.F. ELEVATIONS NOT LESS THAN 12" ABOVE NEAREST SANITARY SEWER MANHOLE RIM, OR 4" ABOVE THE CROWN OF THE STREET, EXCEPT ON FLOOD ZONE TO BE VERIFIED WITH APPLICABLE CODE REQUIREMENTS FOR FINISH FLOOR ELEVATION.

CONTRACTOR TO VERIFY WITH APPLICABLE CODE REQUIREMENTS FOR FIN. FLOOR ELEVATION

IMPERVIOUS AREA PERCENTAGE CALCULATION	
FINAL SQ. FT.	
1. BUILDING	2088 SF
2. PAVING	989 SF
TOTAL	3077 SF
TOTAL AREA OF LOT: 7050 SF.	
(3077 SF/ 7050 SF) X 100 = 43.6%	



Any existing driveway not providing access to the property must be removed and replaced with new curb & gutter or regrade the EXISTING DRIVEWAY for positive drainage/flow

14'-2" of New Curb to be installed.

① SITE PLAN
1/8" = 1'-0"