

Inspection Report

Ms. Cheryl Lawson

Property Address:
4042 Glen Cove Dr.
Houston Texas 77021



Inspectall LLC

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GENERAL INFO

Property Address

4042 Glen Cove Dr.
Houston Texas 77021

Date of Inspection

1/23/2026

Report ID

40424042

Customer(s)

Ms. Cheryl Lawson

Time of Inspection

08:26 AM

Real Estate Agent

INSPECTION DETAILS

Type of building:

Single Family (2 story)

In Attendance:

Customer and contractors

Style of Building:

Traditional

Approximate age of building:

2001

Home Faces:

NE

Temperature:

Below 65 (F) = 18 (C)

Weather:

Cloudy, Light Rain

Ground/Soil surface condition:

Wet

Rain in last 3 days:

Yes

COMMENT KEY & DEFINITIONS

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Deficient (D) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

RESULTS AT A GLANCE

53

ITEMS INSPECTED
Total number in report.

38

SUMMARY COMMENTS
Total number in report.

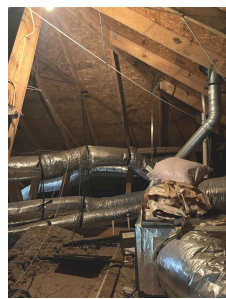
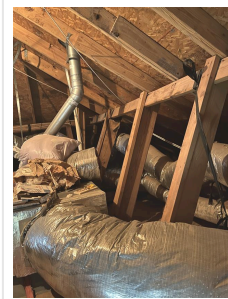
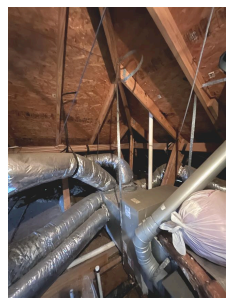
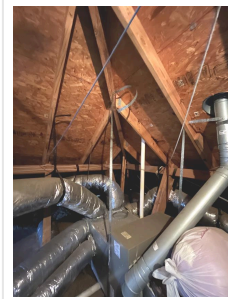
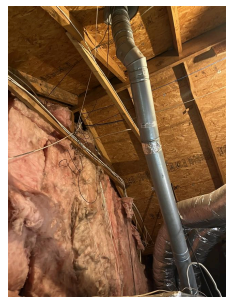
109

PHOTOS
Total number in report.

I. STRUCTURAL SYSTEMS

DESCRIPTION

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



STYLES & MATERIALS: STRUCTURAL SYSTEMS

Type of Foundation(s):

Poured concrete

Wall Structure:

not visible

Roof-Type:

A-Frame

Attic info:

Scuttle hole
 Pull Down stairs
 Light in attic
 Attic hatch

Siding Style:

stucco

Window Manufacturer:

Champion

Ceiling Materials:

sheetrock

Interior Doors:

Hollow core

Driveway:

Concrete

Insulation type:

blown

Ceiling Structure:

2X10

Types of Roof Covering:

dimensional composition

Roof Structure Type:

2 X 6 Rafters

Approximate Average Depth of Insulation:

12 inches
 Blown

Siding Material:

Stucco

Appurtenance:

Covered tiled patio
 Covered tiled porch

Wall Material:

sheetrock

Cabinetry:

Wood

Types of Fireplaces:

electric

Floor Structure:

Not visible

Viewed roof covering from:

Ground
 Binoculars

Method used to observe attic:

Walked
 inaccessible in some areas

Chimney (exterior):

Masonry Stucco

Window Types:

single pane

Exterior Entry Doors:

Insulated glass
 Metal
 wood
 French Doors

Floor Covering(s):

laminate

Countertops:

Wood
 Quartz

Operable Fireplaces:

One

ITEMS: STRUCTURAL SYSTEMS**A. FOUNDATIONS**

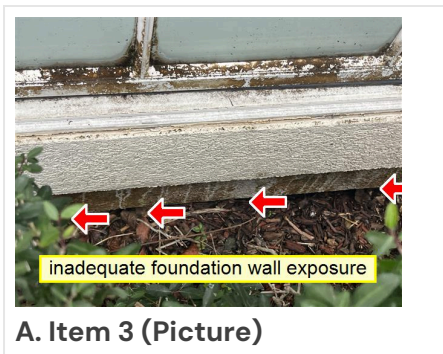
INSPECTED, DEFICIENT

(1) **Deficiencies:** Observed exposed cable on the foundation exterior left side wall. It is recommended to check, clean and seal exposed rebar. A qualified contractor is needed to make the correction.



(2) **Comments:** Foundation wall was not fully accessible along the front and rear flower beds. Section of the foundation was not readily accessible on right side of garage due to installed tile. *"Inaccessible areas are not inspected"*

It is recommended to have 4-6 inches of foundation wall exposure around the entire house.

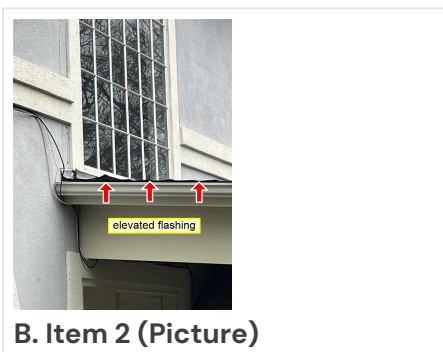


B. ROOF COVERING MATERIALS

INSPECTED, DEFICIENT

Deficiencies: Shingles are discolored and worn. Fiberglass appears on the rear roof line. Shingles are missing on rear second level of the roof. Shingles are broken along the left and front outer edges of roof. Roof depression noted on front left side. Vent boots are damaged. Flashing is elevated over patio and rear night side of roof (under Direct TV disk).

It appears that this roof is the original roof. In my opinion, the roof has neared its life expectancy. A qualified roofer is needed to further evaluate the roof and make the replacement accordingly.





B. Item 4 (Picture)



B. Item 5 (Picture)



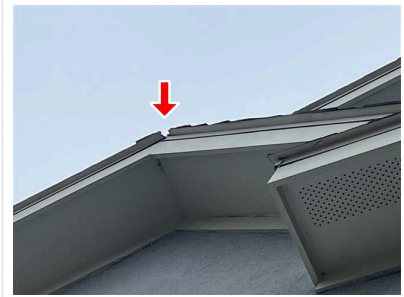
B. Item 6 (Picture)



B. Item 7 (Picture)



B. Item 8 (Picture)

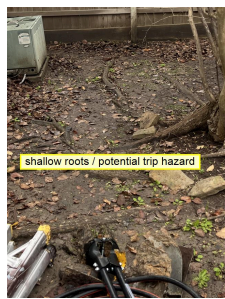


B. Item 9 (Picture)

C. GRADING AND DRAINAGE

📁 INSPECTED, DEFICIENT

(1) **Deficiencies:** The tree limbs on left side of house are in contact with roof or hanging near roof. Trim back tree limbs to eliminate further roof damage. A qualified tree trimmer is needed to make the correction. There are shallow roots on left side of property that could be potential trip hazard, if not corrected.



C. Item 1 (Picture)



C. Item 2 (Picture)

(2) **Deficiencies:** Downspout on right side of house is insecure and gutters along rear side of house need sealing at seams in some areas to prevent premature deterioration to fascia boards as already seen in some areas. Correction is needed.



C. Item 3 (Picture)



C. Item 4 (Picture)

D. ROOF STRUCTURES AND ATTICS

☐ INSPECTED, DEFICIENT

Deficiencies: The pull down stairs needs steel screws installed at hinge-mounts per manufacturers recommendations. Injury could occur if not corrected.

Attic hatch is missing insulation. This can cause some heat loss in winter and loss of cool air in summer if not corrected. A qualified contractor should inspect and repair as needed.



D. Item 1 (Picture)

E. WALLS (INTERIOR AND EXTERIOR)

☐ INSPECTED, DEFICIENT

(1) **Deficiencies:** Stucco siding is damaged in several areas [rear right, left, front left and at window ledges], There are seams that need caulking. A qualified contractor is needed to evaluate and make corrections.



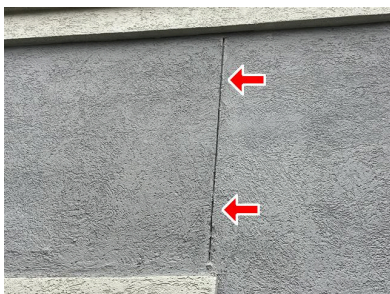
E. Item 1 (Picture)



E. Item 2 (Picture)



E. Item 3 (Picture)



E. Item 4 (Picture)

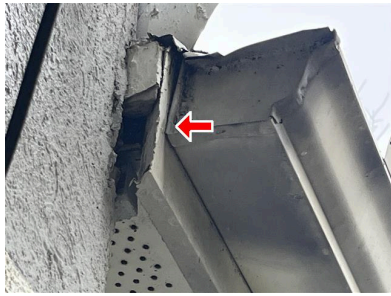


E. Item 5 (Picture)

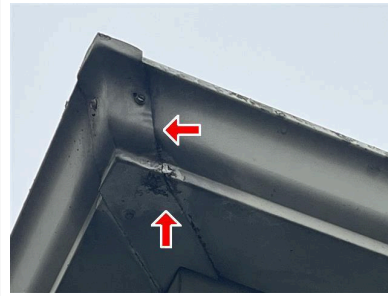


E. Item 6 (Picture)

(2) **Deficiencies:** Observed damaged &/ or missing fascia boards in some areas on rear side of house. A qualified contractor is needed to make the correction.



E. Item 7 (Picture)



E. Item 8 (Picture)

F. DOORS (INTERIOR AND EXTERIOR)

INSPECTED, DEFICIENT

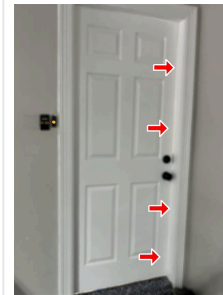
(1) **Deficiencies:** Door sweep and weather strip is missing at front door and garage man door. This can cause some heat loss in winter and loss of cool air in summer if not corrected. A qualified contractor should inspect and repair as needed.



F. Item 1 (Picture)



F. Item 2 (Picture)



F. Item 3 (Picture)

(2) **Deficiencies:** Ball latch is missing &/or need adjusting at the following doors: formal dining room and 2 upstairs bedroom closet doors. A qualified contractor is needed to make the correction.



F. Item 4 (Picture)



F. Item 5 (Picture)



F. Item 6 (Picture)

(3) **Deficiencies:** Damaged door jambs at rear French doors and garage exterior man door. Garage near exterior man door is damaged at footing. A qualified contractor is needed to make the correction.



F. Item 7 (Picture)



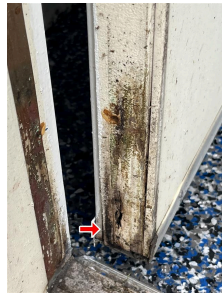
F. Item 8 (Picture)



F. Item 9 (Picture)



F. Item 10 (Picture)



F. Item 11 (Picture)

(4) **Deficiencies:** Entry door to upstairs right side bedroom do not latch at strike plate. A qualified contractor is needed to make the correction.



F. Item 12 (Picture)

(5) **Deficiencies:** Decor glass inside front door does not indicate being "Tempered" glass. Correction is needed.



F. Item 13 (Picture)

G. CEILINGS AND FLOORS

📁 INSPECTED, DEFICIENT

Deficiencies: Powder room floor covering is warped, damaged due to water damage. A qualified contractor is needed to make the correction.



G. Item 1 (Picture)

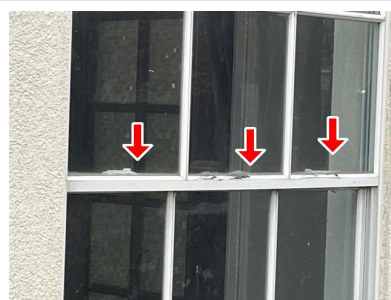
H. WINDOWS

📁 INSPECTED, DEFICIENT

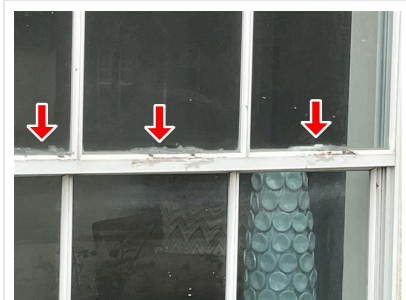
Deficiencies: Missing window screens throughout. Observed paint peeling and some damaged to weather strip at several windows. Observed damaged / insecure weather strip at round stationary window located on left side of house. Windowpane located in front of house is broken. Window pane at top of the return staircase is not sealed. Exterior caulking is worn around some window frames. Window in the utility room is not closing properly as intended. Balance rod is bad at formal dining room middle window and game room window. A qualified contractor is needed to make the correction.



H. Item 1 (Picture)



H. Item 2 (Picture)



H. Item 3 (Picture)



H. Item 4 (Picture)



H. Item 5 (Picture)



H. Item 6 (Picture)



I. STAIRWAYS (INTERIOR AND EXTERIOR)

INSPECTED

J. FIREPLACES AND CHIMNEYS

INSPECTED

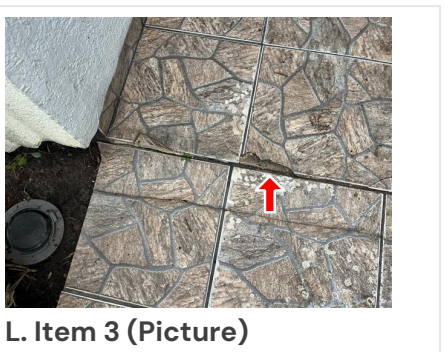
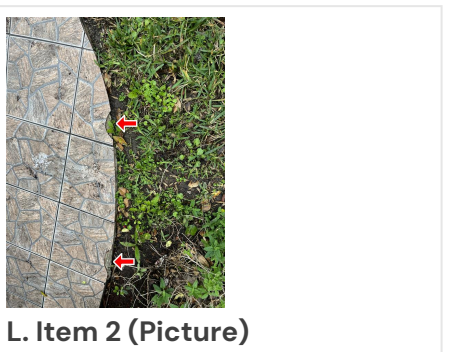
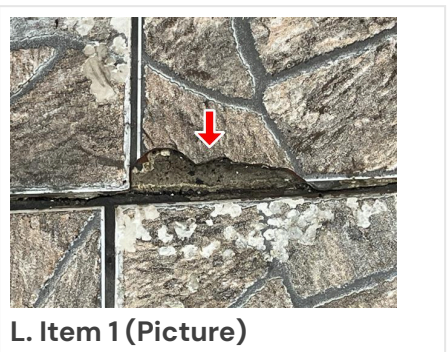
K. OTHER

NOT PRESENT

L. PORCHES, BALCONIES, DECKS AND CARPORTS

INSPECTED, DEFICIENT

Deficiencies: Observed damaged tile on front porch / sidewalk. Correction is needed to prevent potential trip hazard. A qualified contractor is needed to make the correction.



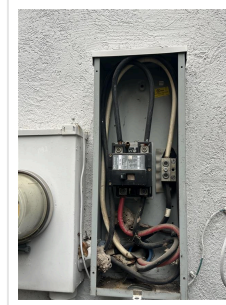
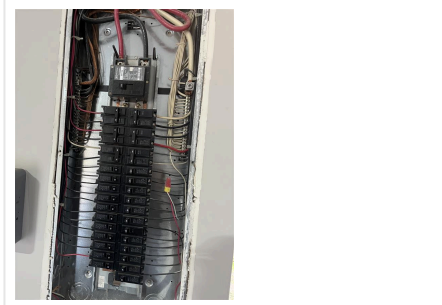
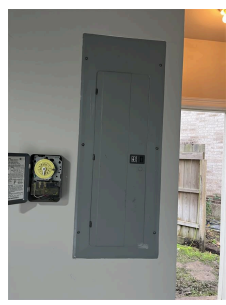
The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items

mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

🏠 II. ELECTRICAL SYSTEMS

☰ DESCRIPTION

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



✂ STYLES & MATERIALS: ELECTRICAL SYSTEMS

Electrical Service

Conductors:

Overhead service

Electric Panel Manufacturer:

CUTLER HAMMER

Panel Capacity:

200 AMP

Type of wiring:

Copper

Panel Type:

Circuit breakers

Wiring Methods:

Romex

👁 ITEMS: ELECTRICAL SYSTEMS

A. SERVICE ENTRANCE AND PANELS

☑ INSPECTED

Deficiencies: Smoke detectors are not in series. A licensed electrician is needed to make the correction. It is also recommended to install carbon monoxide detectors when there is gas supply in home.

NOTE: The smoke detector should be tested at common hallway to bedrooms upon moving in to home.

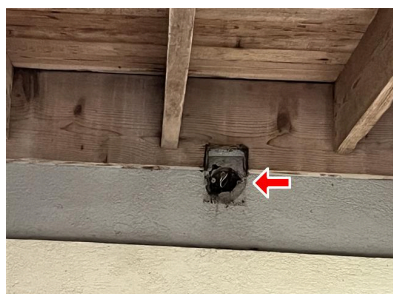


A. Item 1 (Picture)

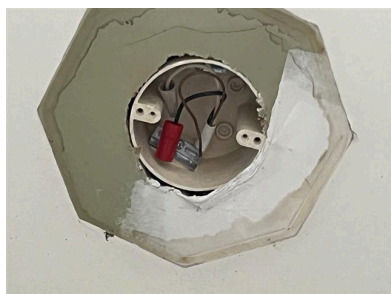
B. BRANCH CIRCUITS, CONNECTED DEVICES AND FIXTURES

INSPECTED, DEFICIENT

(1) **Deficiencies:** Exterior light fixtures / lanterns are missing in several areas. A licensed electrician is needed to make the correction.



B. Item 1 (Picture)



B. Item 2 (Picture)

(2) **Deficiencies:** Stranded live wires noted at header of kitchen cabinets. A licensed electrician is needed to complete installation.

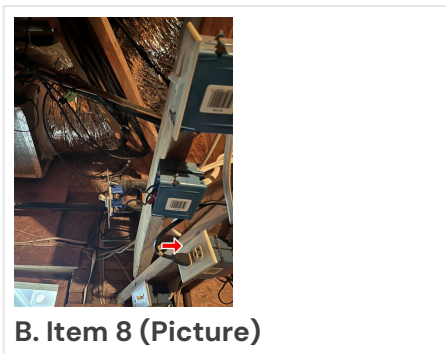
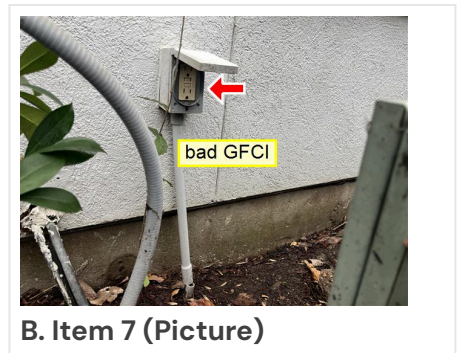
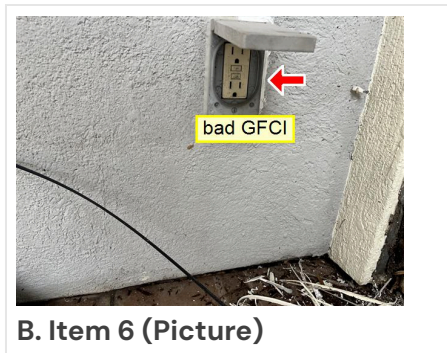
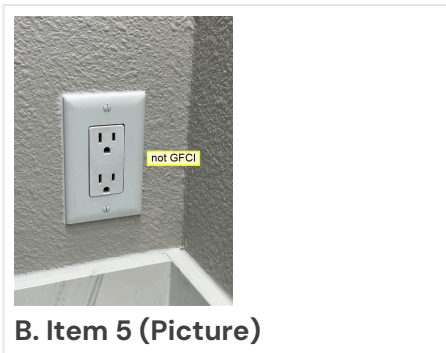


B. Item 3 (Picture)

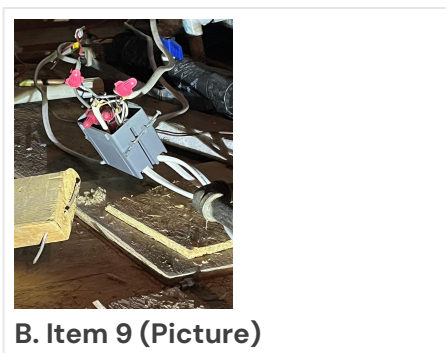
(3) **Deficiencies:** Light fixture over master shower stall is not moisture resistant. A licensed electrician is needed to make the correction.



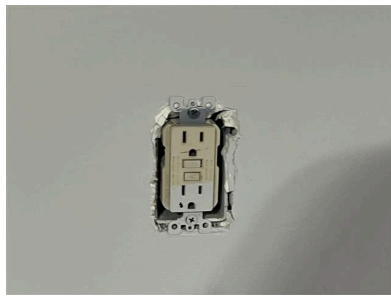
(4) **Deficiencies:** No GFCI receptacles located in bathrooms. The [2] rear exterior GFCI receptacles are bad. The receptacles inside attics are not GFCI. A licensed electrician is needed to make the correction.



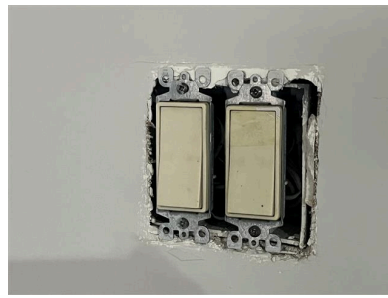
(5) **Deficiencies:** Observed open J-Box inside the attic. A licensed electrician is needed to make the correction.



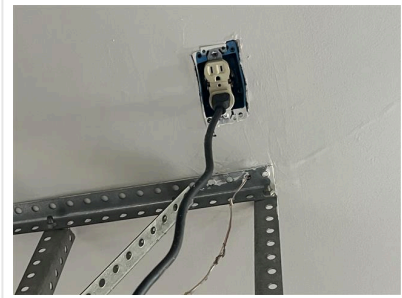
(6) **Deficiencies:** Missing cover plates in several areas throughout the house. A qualified contractor is needed to make the correction.



B. Item 10 (Picture)



B. Item 11 (Picture)



B. Item 12 (Picture)

(7) **Deficiencies:** Shield / globe is missing at closet ceiling light fixture. A qualified contractor is needed to make the correction.



B. Item 13 (Picture)

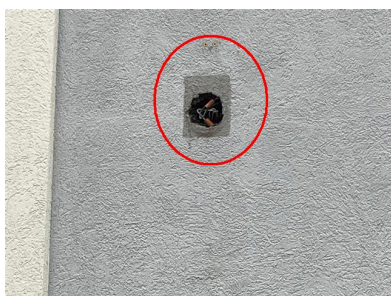
C. NEW INSPECTION ITEM

☑ NOT PRESENT

D. ELEVATOR

☑ NOT PRESENT

Deficiencies: Missing all exterior wall light fixtures / lanterns. A licensed electrician is needed to make the correction.



D. Item 1 (Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection

report.

🏠 III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

📄 DESCRIPTION

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.



🔧 STYLES & MATERIALS: HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

Type of Systems (Heating): Furnace	Energy Sources: Gas	Number of Heat Systems (excluding wood): Three
Heat System Brand: [3] Ruud	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 12x16 20x20	Type of Systems (Cooling): Air conditioner unit	Cooling Equipment Energy Source: Electricity
Central Air Brand: DUCANE RUUD TRANE	Number of AC Only Units: Three	

👁️ ITEMS: HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. HEATING EQUIPMENT

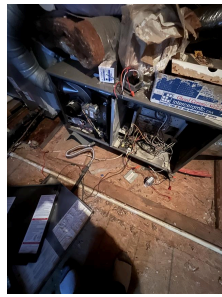
📄 INSPECTED, DEFICIENT

(1) **Deficiencies:** [2] Ruud units upstairs: Both Ruud furnace service doors were off upon arrival. Both were dismantled. Wires are exposed. Units were did not respond upon demand. A HVAC technician is needed to

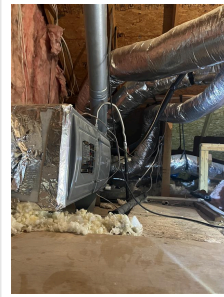
evaluate.



A. Item 1 (Picture)

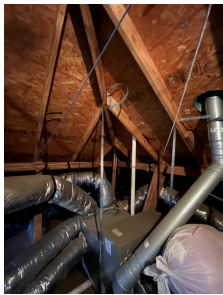


A. Item 2 (Picture)



A. Item 3 (Picture)

(2) **Deficiencies:** Ruud furnace located over master closet came on after the demand but cut off . Unit is malfunctioning. A licensed HVAC technician is needed to evaluate.



A. Item 4 (Picture)

B. COOLING EQUIPMENT

☑ INSPECTED, DEFICIENT

(1) **Deficiencies:** Insulation is needed at the Ruud condenser's supply lines. The platform is damaged that the Ducane condenser is on. A qualified contractor is needed to make the correction.



B. Item 1 (Picture)



B. Item 2 (Picture)

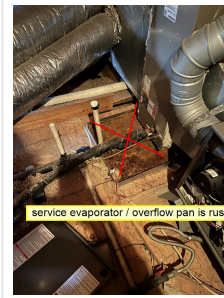
(2) **Deficiencies:** Both units located upstairs over hallway need the evaporator coils serviced. Overflow pan is rusty. A licensed HVAC technician is needed to evaluate the cooling systems at make corrections accordingly.



B. Item 3 (Picture)



B. Item 4 (Picture)



B. Item 5 (Picture)

C. DUCT SYSTEMS, CHASES AND VENTS

INSPECTED, DEFICIENT

Deficiencies: Return air vent located in kitchen is located in wrong area. Recommend relocating. A HVAC technician is needed to make the correction.



C. Item 1 (Picture)

D. OTHER

NOT PRESENT

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

🏠 IV. PLUMBING SYSTEM

📋 DESCRIPTION

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



✂️ STYLES & MATERIALS: PLUMBING SYSTEM

Water Source: Public	Plumbing Water Supply (into building): Copper	Plumbing Water Distribution (inside building): Copper
Washer Drain Size: 2" Diameter	Plumbing Waste: PVC	Water Heater energy sources: Gas (quick recovery)
Water Heater Capacity: 40 Gallon (1-2 people)	Water Heater Location: Attic	WH Manufacturer: RHEEM
Location of water meter: at street	Cleanout: front right side of house	Static water pressure reading: 35 psi
Type of supply piping material: copper	Type of drain piping material: PVC	Location of gas meter: rear side
Type of gas distribution piping material: galvanized	MAIN TURN OFF LOCATION: EXT. R/S	

ITEMS: PLUMBING SYSTEM

A. DRAINS, WASTE AND VENTS

INSPECTED, DEFICIENT

Deficiencies: Clean out cap is missing on right side of property. A qualified contractor is needed to make the correction.



A. Item 1 (Picture)

B. PLUMBING SUPPLY, DISTRIBUTION SYSTEM AND FIXTURES

INSPECTED, DEFICIENT

(1) **Deficiencies:** Kitchen faucet is damaged / insecure. A qualified contractor is needed to make the correction.



B. Item 1 (Picture)

(2) **Deficiencies:** No hot water was observed. A qualified contractor or plumber is needed to evaluate.

C. WATER HEATING EQUIPMENT

INSPECTED, DEFICIENT

Deficiencies: No drip loop installed at water heater gas supply line.

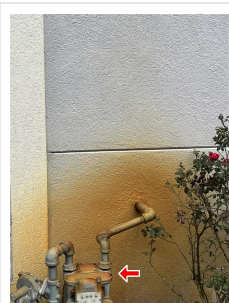
D. HYDRO-MASSAGE THERAPY EQUIPMENT

NOT PRESENT

E. GAS DISTRIBUTION SYSTEMS AND GAS APPLIANCES

INSPECTED, DEFICIENT

(1) **Deficiencies:** No evidence of gas being bonded. A qualified contractor is needed to make the correction.



E. Item 1 (Picture)

(2) **Deficiencies:** Drip loops are needed at all furnace's supply lines and at water heater supply line. A licensed HVAC technician, plumber or qualified contractor is needed to make the correction.

F. SPRINKLER SYSTEM

NOT PRESENT

G. OTHER

NOT PRESENT

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

🏠 V. APPLIANCES

☰ DESCRIPTION

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



✂ STYLES & MATERIALS: APPLIANCES

Dishwasher Brand:
WHIRLPOOL

Range/Oven:
WHIRLPOOL

Garage Door Type:
Two manual

Disposer Brand:
Waste Master

Built in Microwave:
WHIRLPOOL

Garage Door Material:
Metal

Exhaust/Range hood:
BROAN

Auto-opener Manufacturer:
LIFT-MASTER
ProMax

👁 ITEMS: APPLIANCES

A. FOOD WASTE DISPOSERS

☑ INSPECTED

B. DISHWASHER

📄 INSPECTED, DEFICIENT

Deficiencies: Dishwasher is malfunctioning. Dishwasher is not installed level. Dishwasher's drain hose need to be looped. A qualified contractor or appliance technician is needed to evaluate and make the correction.



B. Item 1 (Picture)

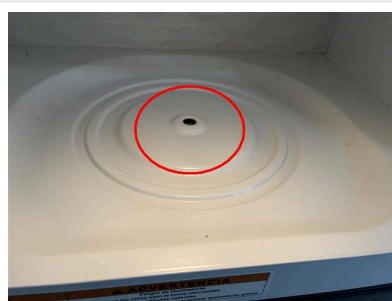


B. Item 2 (Picture)

C. MICROWAVE

INSPECTED, DEFICIENT

Deficiencies: Plate guard to allow plate to turn s missing inside microwave. Correction is needed.



C. Item 1 (Picture)

D. RANGE HOOD AND EXHAUST SYSTEM

INSPECTED, DEFICIENT

Deficiencies: Vent hood does not exhaust to the exterior; correction is needed. A qualified contractor is needed to make the correction.



D. Item 1 (Picture)

E. RANGES, COOKTOPS AND OVENS

INSPECTED

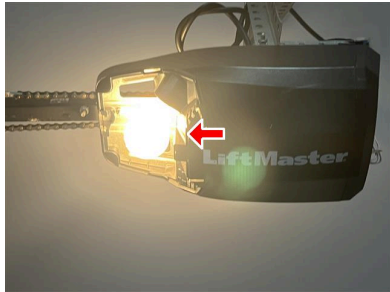
F. MECHANICAL EXHAUST VENTS AND BATHROOM HEATERS

☑ INSPECTED

G. GARAGE DOOR OPERATOR(S)

☑ INSPECTED, DEFICIENT

Deficiencies: Light shield is missing at the Lift Master garage door opener. The Lift Master garage door opener need slight adjustment to operate smoother.



G. Item 1 (Picture)



G. Item 2 (Picture)

H. DRYER EXHAUST SYSTEM

☑ INSPECTED

FYI - Power source is optional

I. OTHER

☑ NOT PRESENT

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

GENERAL SUMMARY

Inspectall LLC
P.O. Box 670395
Houston, Texas 77267
(281) 893-5777
CALLINSPECTALL@YAHOO.COM

Customer

Ms. Cheryl Lawson

Address

4042 Glen Cove Dr.
Houston Texas 77021

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling;** or **warrants further investigation by a specialist,** or **requires subsequent observation.** This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

I. STRUCTURAL SYSTEMS

A. FOUNDATIONS

INSPECTED, DEFICIENT

(1) **Deficiencies:** Observed exposed cable on the foundation exterior left side wall. It is recommended to check, clean and seal exposed rebar. A qualified contractor is needed to make the correction.

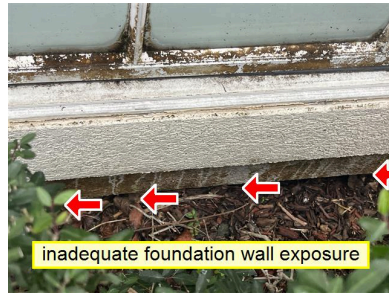


(2) **Comments:** Foundation wall was not fully accessible along the front and rear flower beds. Section of the foundation was not readily accessible on right side of garage due to installed tile. *"Inaccessible areas are not inspected"*

It is recommended to have 4-6 inches of foundation wall exposure around the entire house.



A. Item 2 (Picture)



A. Item 3 (Picture)



A. Item 4 (Picture)

B. ROOF COVERING MATERIALS

☐ INSPECTED, DEFICIENT

Deficiencies: Shingles are discolored and worn. Fiberglass appears on the rear roof line. Shingles are missing on rear second level of the roof. Shingles are broken along the left and front outer edges of roof. Roof depression noted on front left side. Vent boots are damaged. Flashing is elevated over patio and rear night side of roof (under Direct TV disk).

It appears that this roof is the original roof. In my opinion, the roof has neared its life expectancy. A qualified roofer is needed to further evaluate the roof and make the replacement accordingly.



B. Item 1 (Picture)



B. Item 2 (Picture)



B. Item 3 (Picture)



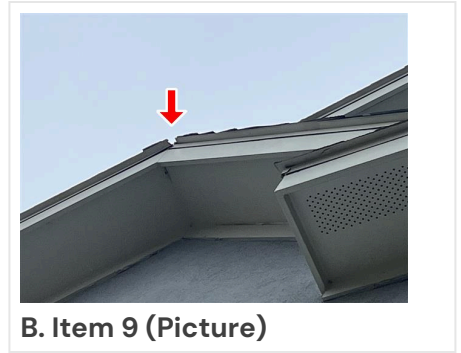
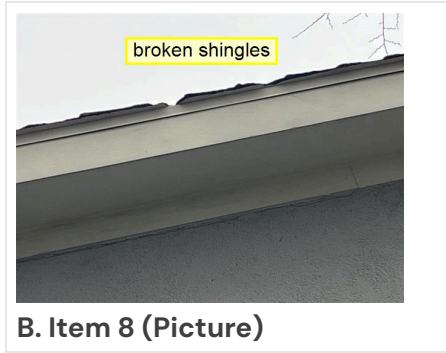
B. Item 4 (Picture)



B. Item 5 (Picture)



B. Item 6 (Picture)



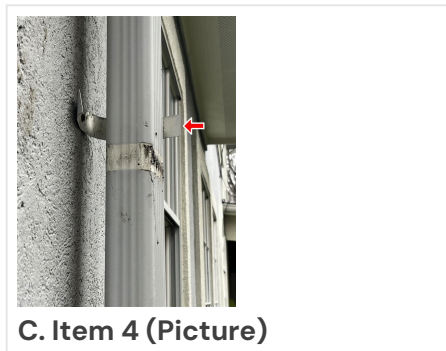
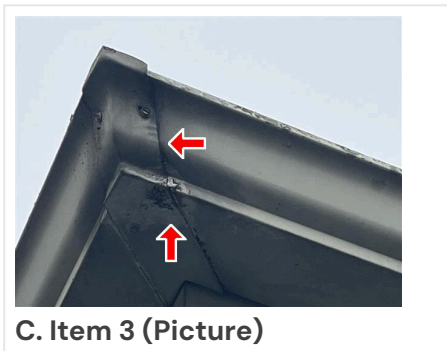
C. GRADING AND DRAINAGE

INSPECTED, DEFICIENT

(1) **Deficiencies:** The tree limbs on left side of house are in contact with roof or hanging near roof. Trim back tree limbs to eliminate further roof damage. A qualified tree trimmer is needed to make the correction. There are shallow roots on left side of property that could be potential trip hazard, if not corrected.



(2) **Deficiencies:** Downspout on right side of house is insecure and gutters along rear side of house need sealing at seams in some areas to prevent premature deterioration to fascia boards as already seen in some areas. Correction is needed.

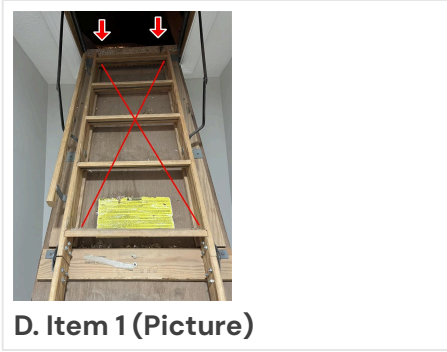


D. ROOF STRUCTURES AND ATTICS

INSPECTED, DEFICIENT

Deficiencies: The pull down stairs needs steel screws installed at hinge-mounts per manufacturers recommendations. Injury could occur if not corrected.
Attic hatch is missing insulation. This can cause some heat loss in winter and loss of cool air in summer if not

corrected. A qualified contractor should inspect and repair as needed.

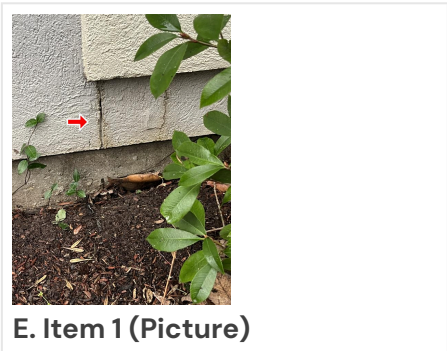


D. Item 1 (Picture)

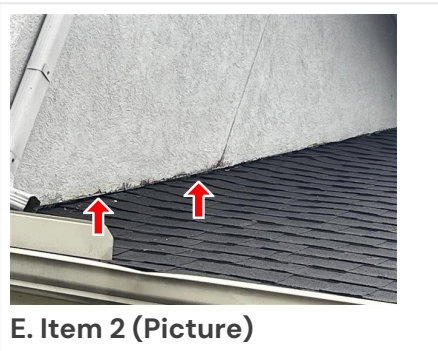
E. WALLS (INTERIOR AND EXTERIOR)

☑ INSPECTED, DEFICIENT

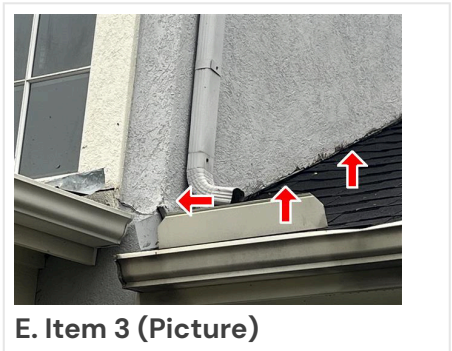
(1) **Deficiencies:** Stucco siding is damaged in several areas [rear right, left, front left and at window ledges], There are seams that need caulking. A qualified contractor is needed to evaluate and make corrections.



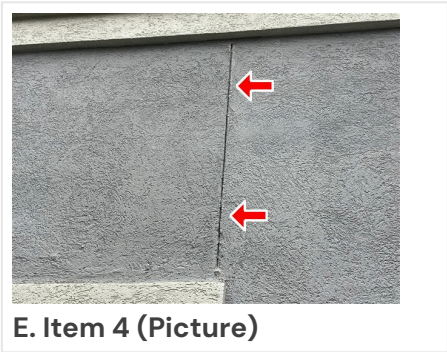
E. Item 1 (Picture)



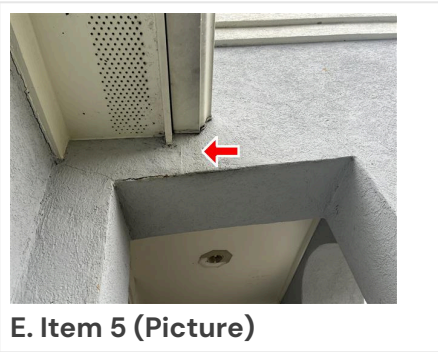
E. Item 2 (Picture)



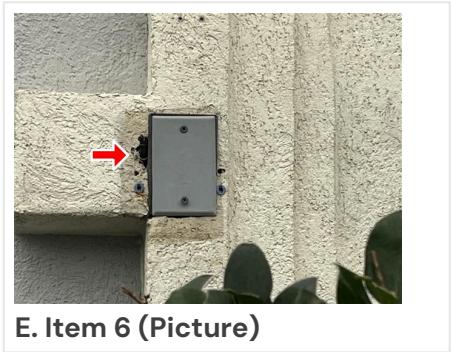
E. Item 3 (Picture)



E. Item 4 (Picture)

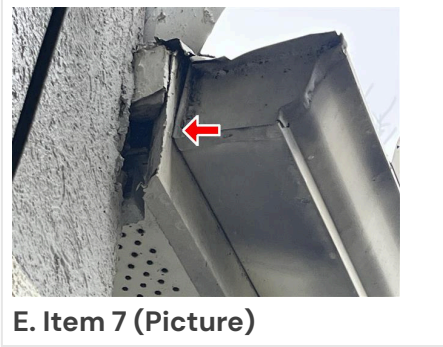


E. Item 5 (Picture)



E. Item 6 (Picture)

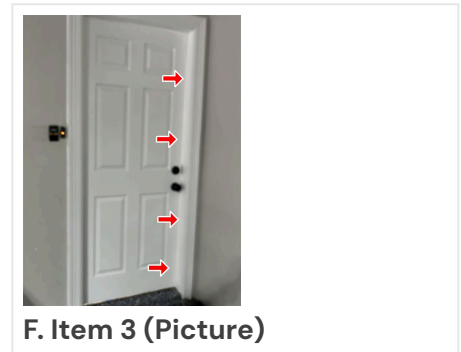
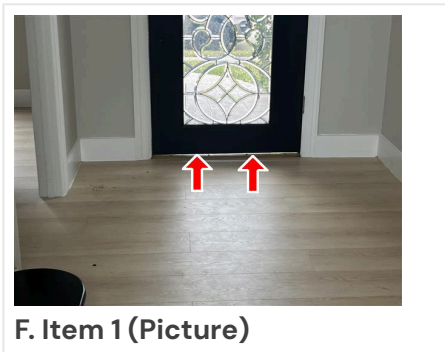
(2) **Deficiencies:** Observed damaged &/ or missing fascia boards in some areas on rear side of house. A qualified contractor is needed to make the correction.



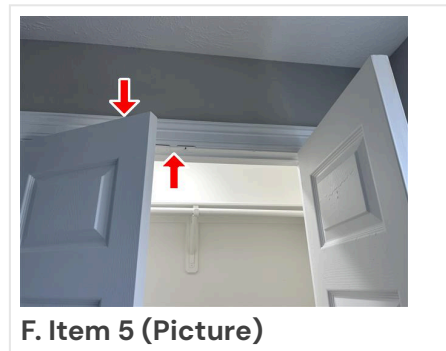
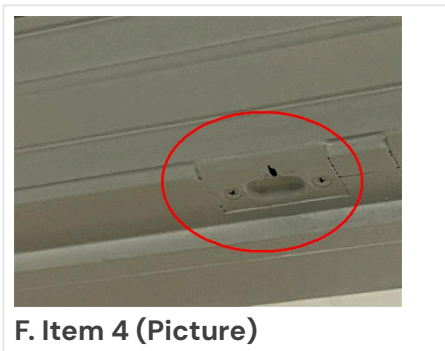
F. DOORS (INTERIOR AND EXTERIOR)

☑ INSPECTED, DEFICIENT

(1) **Deficiencies:** Door sweep and weather strip is missing at front door and garage man door. This can cause some heat loss in winter and loss of cool air in summer if not corrected. A qualified contractor should inspect and repair as needed.



(2) **Deficiencies:** Ball latch is missing &/or need adjusting at the following doors: formal dining room and 2 upstairs bedroom closet doors. A qualified contractor is needed to make the correction.



(3) **Deficiencies:** Damaged door jambs at rear French doors and garage exterior man door. Garage near exterior man door is damaged at footing. A qualified contractor is needed to make the correction.



F. Item 7 (Picture)



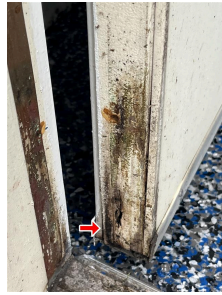
F. Item 8 (Picture)



F. Item 9 (Picture)



F. Item 10 (Picture)



F. Item 11 (Picture)

(4) **Deficiencies:** Entry door to upstairs right side bedroom do not latch at strike plate. A qualified contractor is needed to make the correction.



F. Item 12 (Picture)

(5) **Deficiencies:** Decor glass inside front door does not indicate being "Tempered" glass. Correction is needed.



F. Item 13 (Picture)

G. CEILINGS AND FLOORS

INSPECTED, DEFICIENT

Deficiencies: Powder room floor covering is warped, damaged due to water damage. A qualified contractor is

needed to make the correction.

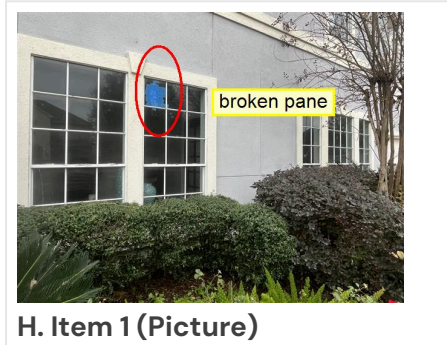


G. Item 1 (Picture)

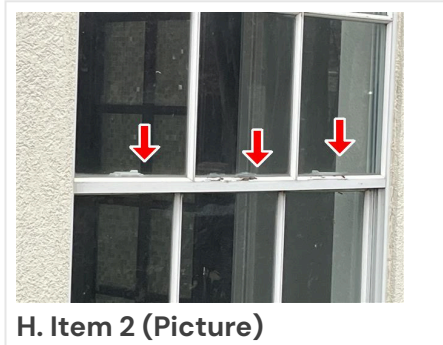
H. WINDOWS

INSPECTED, DEFICIENT

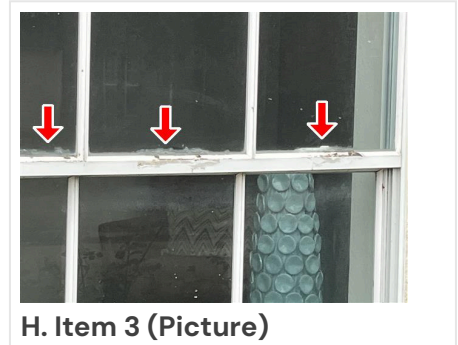
Deficiencies: Missing window screens throughout. Observed paint peeling and some damaged to weather strip at several windows. Observed damaged / insecure weather strip at round stationary window located on left side of house. Windowpane located in front of house is broken. Window pane at top of the return staircase is not sealed. Exterior caulking is worn around some window frames. Window in the utility room is not closing properly as intended. Balance rod is bad at formal dining room middle window and game room window. A qualified contractor is needed to make the correction.



H. Item 1 (Picture)



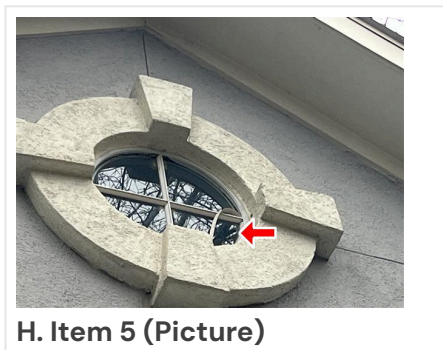
H. Item 2 (Picture)



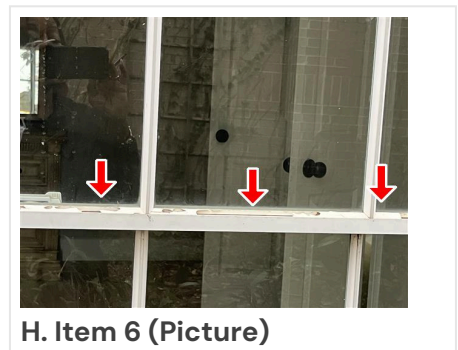
H. Item 3 (Picture)



H. Item 4 (Picture)



H. Item 5 (Picture)



H. Item 6 (Picture)



H. Item 7 (Picture)



H. Item 8 (Picture)



H. Item 9 (Picture)



H. Item 10 (Picture)



H. Item 11 (Picture)



H. Item 12 (Picture)

L. PORCHES, BALCONIES, DECKS AND CARPORTS

INSPECTED, DEFICIENT

Deficiencies: Observed damaged tile on front porch / sidewalk. Correction is needed to prevent potential trip hazard. A qualified contractor is needed to make the correction.



L. Item 1 (Picture)



L. Item 2 (Picture)



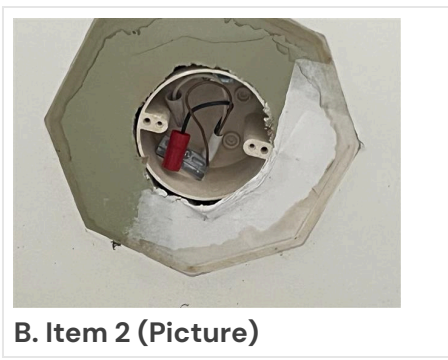
L. Item 3 (Picture)

II. ELECTRICAL SYSTEMS

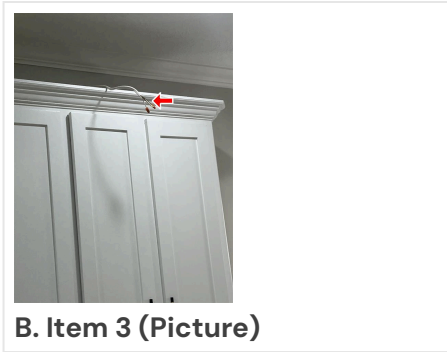
B. BRANCH CIRCUITS, CONNECTED DEVICES AND FIXTURES

INSPECTED, DEFICIENT

(1) **Deficiencies:** Exterior light fixtures / lanterns are missing in several areas. A licensed electrician is needed to make the correction.



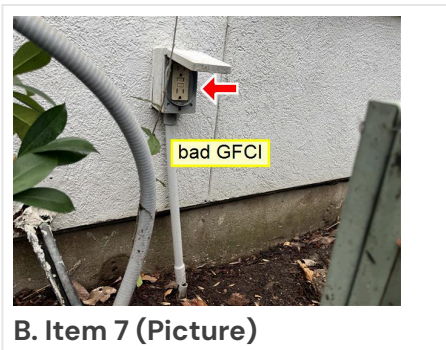
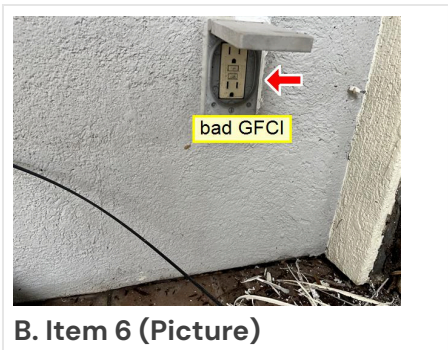
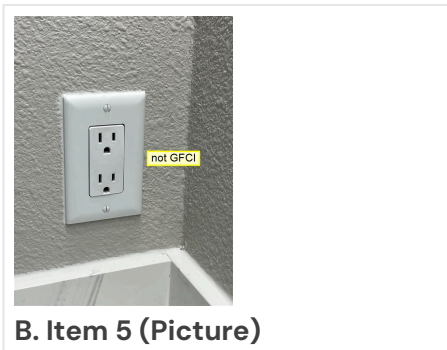
(2) **Deficiencies:** Stranded live wires noted at header of kitchen cabinets. A licensed electrician is needed to complete installation.

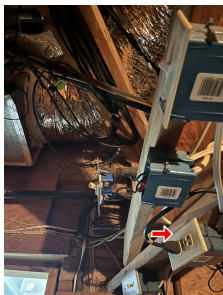


(3) **Deficiencies:** Light fixture over master shower stall is not moisture resistant. A licensed electrician is needed to make the correction.



(4) **Deficiencies:** No GFCI receptacles located in bathrooms. The [2] rear exterior GFCI receptacles are bad..The receptacles inside attics are not GFCI. A lensed electrician is needed to make the correction.





B. Item 8 (Picture)

(5) **Deficiencies:** Observed open J-Box inside the attic. A licensed electrician is needed to make the correction.

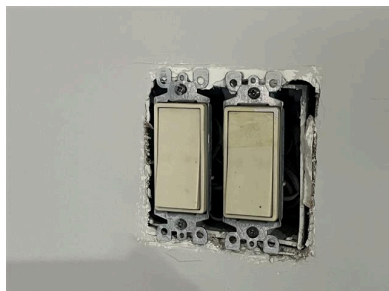


B. Item 9 (Picture)

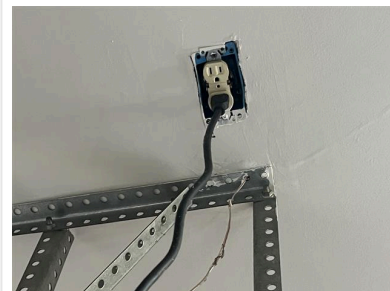
(6) **Deficiencies:** Missing cover plates in several areas throughout the house. A qualified contractor is needed to make the correction.



B. Item 10 (Picture)



B. Item 11 (Picture)



B. Item 12 (Picture)

(7) **Deficiencies:** Shield / globe is missing at closet ceiling light fixture. A qualified contractor is needed to make the correction.



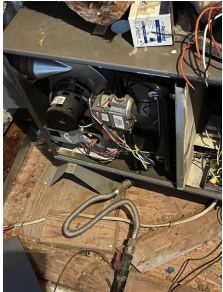
B. Item 13 (Picture)

III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

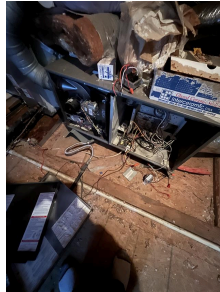
A. HEATING EQUIPMENT

INSPECTED, DEFICIENT

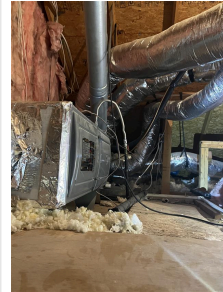
(1) **Deficiencies:** [2] Ruud units upstairs: Both Ruud furnace service doors were off upon arrival. Both were dismantled. Wires are exposed. Units were did not respond upon demand. A HVAC technician is needed to evaluate.



A. Item 1 (Picture)

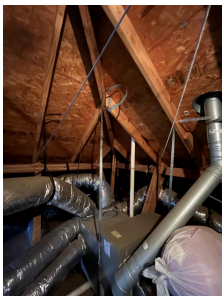


A. Item 2 (Picture)



A. Item 3 (Picture)

(2) **Deficiencies:** Ruud furnace located over master closet came on after the demand but cut off . Unit is malfunctioning. A licensed HVAC technician is needed to evaluate.



A. Item 4 (Picture)

B. COOLING EQUIPMENT

INSPECTED, DEFICIENT

(1) **Deficiencies:** Insulation is needed at the Ruud condenser's supply lines. The platform is damaged that the Ducane condenser is on. A qualified contractor is needed to make the correction.



B. Item 1 (Picture)



B. Item 2 (Picture)

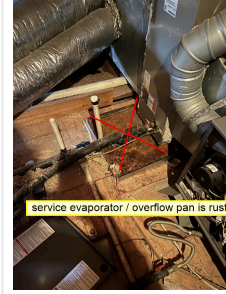
(2) **Deficiencies:** Both units located upstairs over hallway need the evaporator coils serviced. Overflow pan is rusty. A licensed HVAC technician is needed to evaluate the cooling systems at make corrections accordingly.



B. Item 3 (Picture)



B. Item 4 (Picture)

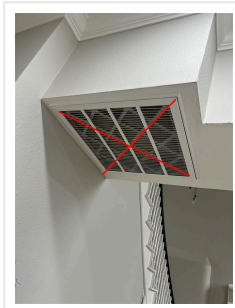


B. Item 5 (Picture)

C. DUCT SYSTEMS, CHASES AND VENTS

INSPECTED, DEFICIENT

Deficiencies: Return air vent located in kitchen is located in wrong area. Recommend relocating. A HVAC technician is needed to make the correction.



C. Item 1 (Picture)

IV. PLUMBING SYSTEM

A. DRAINS, WASTE AND VENTS

INSPECTED, DEFICIENT

Deficiencies: Clean out cap is missing on right side of property. A qualified contractor is needed to make the correction.



A. Item 1 (Picture)

B. PLUMBING SUPPLY, DISTRIBUTION SYSTEM AND FIXTURES

INSPECTED, DEFICIENT

(1) **Deficiencies:** Kitchen faucet is damaged / insecure. A qualified contractor is needed to make the correction.



B. Item 1 (Picture)

(2) **Deficiencies:** No hot water was observed. A qualified contractor or plumber is needed to evaluate.

C. WATER HEATING EQUIPMENT

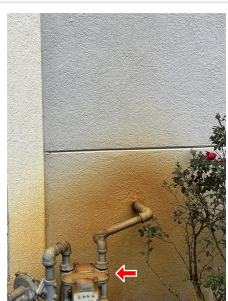
 INSPECTED, DEFICIENT

Deficiencies: No drip loop installed at water heater gas supply line.

E. GAS DISTRIBUTION SYSTEMS AND GAS APPLIANCES

 INSPECTED, DEFICIENT

(1) **Deficiencies:** No evidence of gas being bonded. A qualified contractor is needed to make the correction.



E. Item 1 (Picture)

(2) **Deficiencies:** Drip loops are needed at all furnace's supply lines and at water heater supply line. A licensed HVAC technician, plumber or qualified contractor is needed to make the correction.

V. APPLIANCES

B. DISHWASHER

 INSPECTED, DEFICIENT

Deficiencies: Dishwasher is malfunctioning. Dishwasher is not installed level. Dishwasher's drain hose need to be looped. A qualified contractor or appliance technician is needed to evaluate and make the correction.



B. Item 1 (Picture)

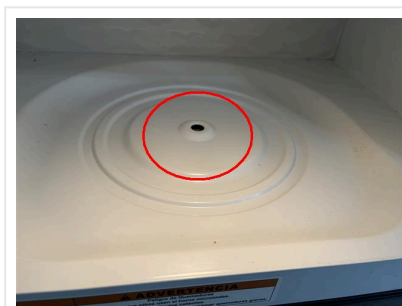


B. Item 2 (Picture)

C. MICROWAVE

INSPECTED, DEFICIENT

Deficiencies: Plate guard to allow plate to turn s missing inside microwave. Correction is needed.

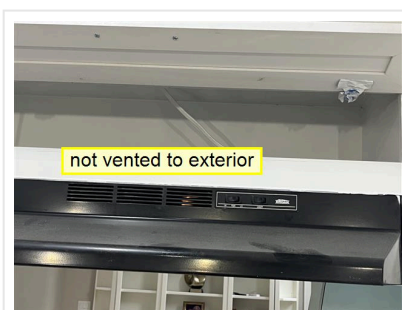


C. Item 1 (Picture)

D. RANGE HOOD AND EXHAUST SYSTEM

INSPECTED, DEFICIENT

Deficiencies: Vent hood does not exhaust to the exterior; correction is needed. A qualified contractor is needed to make the correction.

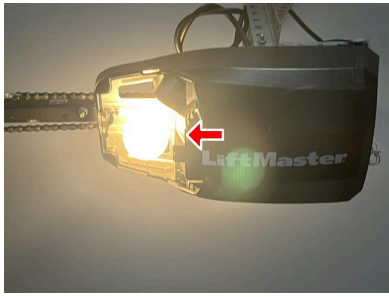


D. Item 1 (Picture)

G. GARAGE DOOR OPERATOR(S)

INSPECTED, DEFICIENT

Deficiencies: Light shield is missing at the Lift Master garage door opener. The Lift Master garage door opener need slight adjustment to operate smoother.

**G. Item 1 (Picture)****G. Item 2 (Picture)**

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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