



Lone Star Stucco, LLC

Moisture Assessment Report

Linda Mullins

2314 Hudly St B

Houston, TX 77019



Lone Star Stucco, LLC 2100 Welch St, C315 Houston, TX 77019
Inspector's Cell: (936) 661-6612 (preferred text) **Office:** (936) 228-2268
Email: angelalonestarstucco@gmail.com



Lone Star Stucco, LLC

Project Information

PROPERTY INFORMATION		INSPECTION INFORMATION	
Client Name	Linda Mullins	Type of Inspection	Invasive
Property Address	2314 Hudly St B	Date of Inspection	2/23/26
City, State, ZIP	Houston, TX 77019	Temperature	67 Degrees
Phone	713-501-2377	Weather	Clear
Square Footage (estimated)	2729 Sq Ft	Last Rain	3-4 Days
Approximate Age of Property	1998	In Attendance	Inspector
Stories	2	Inspector	Gregg Morgan
Type of Exterior	Traditional Hardcoat Stucco / Foam Accent		
Substrate	Oriented Strand Board/ Gypsum		
Windows	Metal/ Fixed		

Inspection Test Equipment		
Equipment Description	Test Range	Setting
Delmhorst Moisture Probe Meter- BD 2100	Low 6-13 /Medium 13-19 /High 19+	1
<p>Important Note: The test equipment is used to help locate problem areas. It must be understood that the test equipment is not an exact science but rather good tools used as indicators of possible problems. At times, because of hidden construction within the wall cavity, the meters get false readings or no readings at all. Some meters will pick up on metals, wiring, unique wall finishes, etc. Positive readings do not always mean there is a problem, nor do negative readings necessarily mean there is not a problem. We do not use the equipment to obtain exact moisture content, but rather to obtain relative readings between suspected problem areas and non problem areas. this information is then used to help determine potential problem areas which may warrant more investigation.</p>		



Lone Star Stucco, LLC

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

Caulking	Good	Not Adequate	N/A	Comments
Caulking Around Window Frame		X		Seal All Windows Typical
Caulking At Window Joints / Miters	X			
Caulking Around Door Frame		X		Seal DoorTrim / Typical
Caulking At Door Joints / Miters		X		Seal Door Miter / Typical
Caulking Around Other Breaches		X		Seal Penetrations / Typical
Flat Accents Caulked or Angled		X		Elastomeric Paint Or Metal Cap
Soffit, Frieze & Facia Boards Caulked		X		Substrate Damage/ Install Relief
Flashings / Diverters	Good	Not Adequate	N/A	Comments
Kickout Flashings / Roof / Wall		X		Seal / Typical
Balcony Flashings			X	
Other Attachment Flashings			X	
Porches / Stoop Flashing			X	
Chimney Cap			X	
Chimney Cricket			X	
Window Head Flashing	X			
Door Head Flashing			X	
Column Flashing		X		Failing/ Modify
Terminations	Yes	No	N/A	Comments
Stucco In Contact With Flat Work	X			Columns in Contact with Flat Work/ Kant Bead
Stucco In Contact With Soil		X		
Miscellaneous	Yes	NO	N/A	Comments
Evidence Of Sprinkler Overspray		X		
Gutters Clean & Functioning	X			
Cracks or Impact Damage	X			
Exterior Evidence of Pest Infestation		X		
Control Joints Noted On System	X			

"Your Local Moisture & Mold Consultant Specialist"

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

Summary Page

- Lone Star Stucco, LLC recommends consulting with a qualified waterproofing contractor to touch up or seal all doors, windows and penetrations as needed in an effort to avoid moisture intrusion.
- Stucco appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.
- Sprinklers have been noted on this home. The inspector suggests to always redirect sprinkler heads away from the system and windows as needed in an effort to prevent moisture intrusion. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.
- The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #6.2, #6.3, #6.4, #6.5 and #6.6 for more detail.
- The garage door trim sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #7.2, #7.3, #7.4, #7.5 and #7.6 for more detail.
- Impact damage noted on foam accent with exposed mesh at these locations. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage and repair as needed in an effort to prevent moisture intrusion. All impact damage was not necessarily identified in this report. Please refer to photos #8.2, #8.3, #8.4 and #8.5 for more detail.
- The metal cap sealants are aged or separated at this location allowing excess moisture into the system below. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2, #9.3, #9.4, #9.5 and #9.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

Summary Page

- Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #11.2, #11.3, #11.4, #11.5 and #11.6 for more detail.
- The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #12.2, #12.3 and #12.4 for more detail.
- The kickout flashing is failing at this location allowing moisture to penetrate the system causing substrate damage below. The inspector suggests to have a qualified waterproofing contractor further assess and modify this area in an effort to prevent moisture intrusion. Please refer to photos #14.2, #14.3, #14.4, #14.5 and #14.6 for more detail.
- Cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor paint for aesthetic concerns only. All cracking was not necessarily identified in this report. Please refer to photos #15.2, #15.3, #15.4 and #15.5 for more detail.
- Confirmed substrate and potential frame damage is noted in the column. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair and modify as needed in an effort to prevent moisture intrusion. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.
- The door trim and miter sealants are separated or aged at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.
- The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.
- The window sealants are aged or separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.



Lone Star Stucco, LLC

Summary Page

- Confirmed substrate and potential beam damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.
- The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #22.2, #22.3 and #22.4 for more detail.
- Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.
- Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4, #24.5 and #24.6 for more detail.
- The bottom of the wall in this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #25.2, #25.3 and #25.4 for more detail.
- The roof diverter flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.
- Confirmed substrate and potential window header damage noted at this location. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage, modify this area and install a relief in an effort to prevent moisture intrusion. Please refer to photos #27.2, #27.3, #27.4 and #27.5 for more detail.
- The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #28.2, #28.3, #28.4, #28.5 and #28.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Summary Page

- The door trim at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #29.2, #29.3, #29.4 and #29.5 for more detail.
- The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #30.2, #30.3, #30.4, #30.5 and #30.6 for more detail.
- The window sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #31.2, #31.3, #31.4, #31.5 and #31.6 for more detail.
- Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #33.2, #33.3, #33.4, #33.5 and #33.6 for more detail.
- You have several areas that are showing signs of elevated moisture. Nonexistent substrate was noted in some of these areas. It is recommended to consult with a qualified waterproofing contractor to investigate all nonexistent areas. Please refer to the attached report for more detail.
- **LIMITATIONS OF LIABILITY:** Because this is a limited inspection, we can make no guarantee, express or implied, that our observations and random moisture readings offer conclusive evidence that no installation or moisture problems exist, or that problems found are all-inclusive. This inspection company, its employees and any divisions shall not be liable for non-visual defects, unseen defects, unspecified defects or hidden damage and conditions existing on the subject property and hereby disclaims any liability or responsibility thereof. All parties concerned agree to hold harmless and indemnify this inspection company involving any liabilities that may result.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

Summary Page

- **FURTHER TESTING / INVESTIGATION:** Our policy is to rely on moisture meter readings as an indicator of relative moisture values between different test spots, not as an absolute value of water content in the substrate. It is difficult to determine if the structural wood of your home has been damaged in areas of high readings without 'probing' and/or removing a core sample of the stucco to allow for visual inspection. Should we feel that further investigation is needed this will be indicated in the summary section of the report.
- **REPAIR FOLLOW-UP AND ANNUAL INSPECTIONS:** A repair follow-up inspection should be conducted within three months after completion of the repairs to assess the effectiveness of the moisture modifications. This is extremely important. Annual inspections should also be scheduled to ensure that your stucco system remains dry. This way any sealant failures, stucco cracks, etc. can be caught and repaired promptly. Testing and maintaining your home on a regular basis is the best way to prevent costly repairs associated with moisture damage. Also, should you decide to sell your home, annual inspections and maintenance documentation will be a valuable selling tool, providing evidence to show that your home has been inspected and maintained on a regular basis by a reputable and qualified firm.
- **PLEASE NOTE:** Lone Star Stucco, LLC is not a home inspection company, and does not perform home inspections. This report's primary use is to show the areas that are likely to have moisture intrusion in an effort to help control mold. This report and all its contents are sanctioned by the Texas Department of State and Health Services in guidelines for mold prevention.

Thank you for your business,

James "Gregg" Morgan

2100 Welch St, C315
Houston, TX 77019

Texas Department of Licensing and Regulation
Mold Assessment Consultant
License Number: MAC 1299
Expiration: 8/2026
Exterior Design Institute
EDI# TX-205
Expiration: 1/31/27

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo4.1



Photo4.2



Proper Grade Termination with Plaster Stop / Positive Detail

Photo4.3



Proper Grade Termination with Plaster Stop / Positive Detail

Photo4.4



Proper Grade Termination with Plaster Stop / Positive Detail

Photo4.5



Proper Grade Termination with Plaster Stop / Positive Detail

Photo4.6



Proper Grade Termination with Plaster Stop / Positive Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Green Lines	Grade Termination			Stucco appears to be typically detailed at grade for the time of this construction. The inspector suggests that this is a positive detail and recommends no modification at this time but to always keep soil away from the structure. Please refer to photos #4.2, #4.3, #4.4, #4.5 and #4.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo5.1

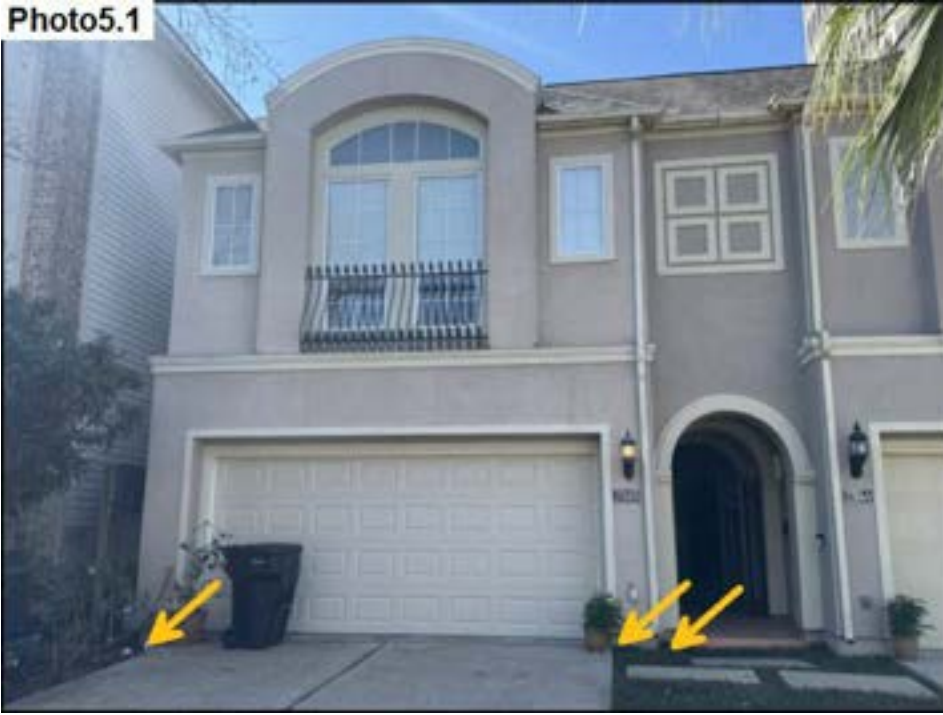


Photo5.2



Sprinklers / Redirect as Needed

Photo5.3



Sprinklers / Redirect as Needed

Photo5.4



Sprinklers / Redirect as Needed

Photo5.5



Sprinklers / Redirect as Needed

Photo5.6



Sprinklers / Redirect as Needed

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Orange Arrows	Sprinklers			Sprinklers have been noted on this home. The inspector suggests to always redirect sprinkler heads away from the system and windows as needed in an effort to prevent moisture intrusion. Please refer to photos #5.2, #5.3, #5.4, #5.5 and #5.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo6.1



Photo6.2



Penetration Sealants / Seal

Photo6.3



Penetration Sealants / Seal

Photo6.4



Penetration Sealants / Seal

Photo6.5



Penetration Sealants / Seal

Photo6.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Penetrations			The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #6.2, #6.3, #6.4, #6.5 and #6.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo7.1



Photo7.2



Garage Door Trim Sealant / Seal

Photo7.3



Garage Door Trim Sealant / Seal

Photo7.4



Garage Door Trim Sealant / Seal

Photo7.5



Garage Door Trim Sealant / Seal

Photo7.6



Garage Door Trim Sealant / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Lines	Garage Doors			The garage door trim sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #7.2, #7.3, #7.4, #7.5 and #7.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo8.1

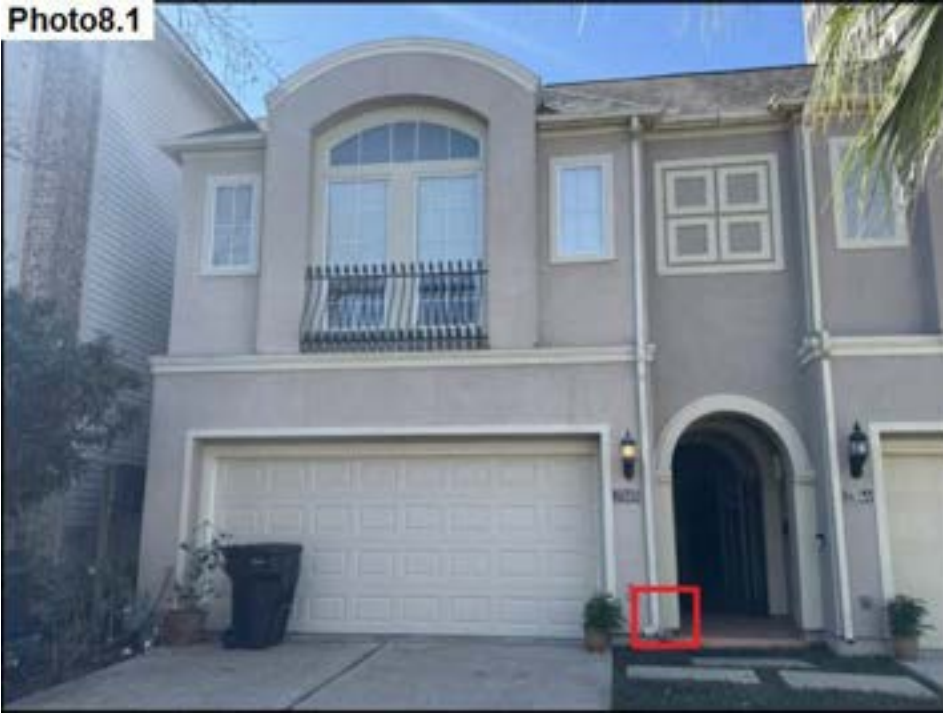


Photo8.2



Impact Damage / Repair

Photo8.3



Impact Damage / Repair

Photo8.4



Impact Damage / Repair

Photo8.5



Impact Damage / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Impact Damage			Impact damage noted on foam accent with exposed mesh at these locations. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage and repair as needed in an effort to prevent moisture intrusion. All impact damage was not necessarily identified in this report. Please refer to photos #8.2, #8.3, #8.4 and #8.5 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo9.1

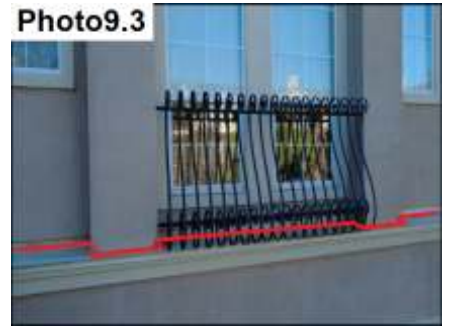


Photo9.2



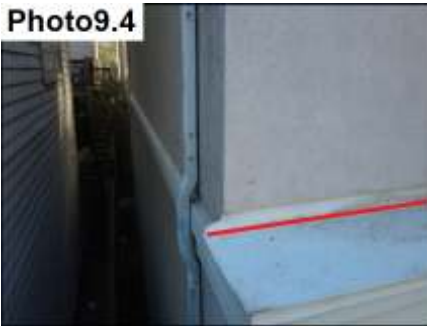
Metal Cap Termination / Seal

Photo9.3



Metal Cap Termination / Seal

Photo9.4



Metal Cap Termination / Seal

Photo9.5



Metal Cap Termination / Seal

Photo9.6



Metal Cap Termination / Seal

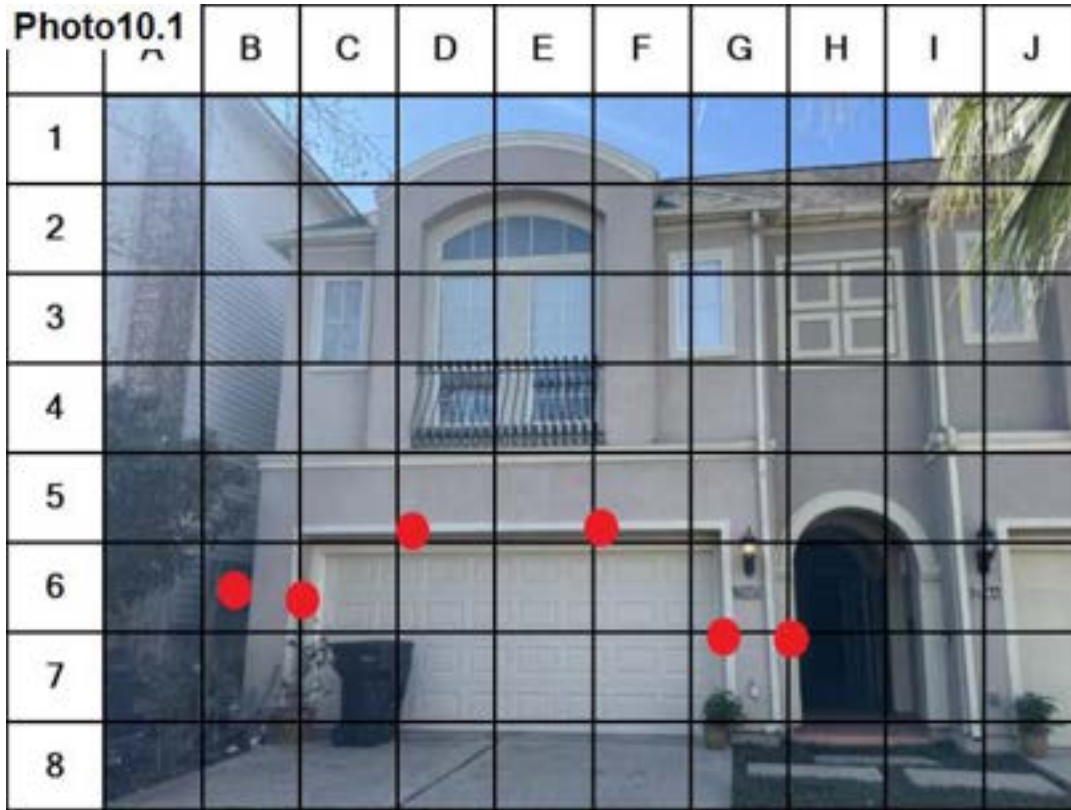
Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Line	Metal Cap			The metal cap sealants are aged or separated at this location allowing excess moisture into the system below. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #9.2, #9.3, #9.4, #9.5 and #9.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
B6	Corner Wall	20%	Firm	A moisture probe was taken at corner wall. An elevated moisture reading was noted with a firm substrate.
C6	Corner Wall	21%	Firm	A moisture probe was taken at corner wall. An elevated moisture reading was noted with a firm substrate.
D5	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
F5	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
G7	Corner Wall		None	A moisture probe was taken at corner wall. No substrate was noted at this time, modify as needed.
H7	Corner Wall		None	A moisture probe was taken at corner wall. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

Photo11.1

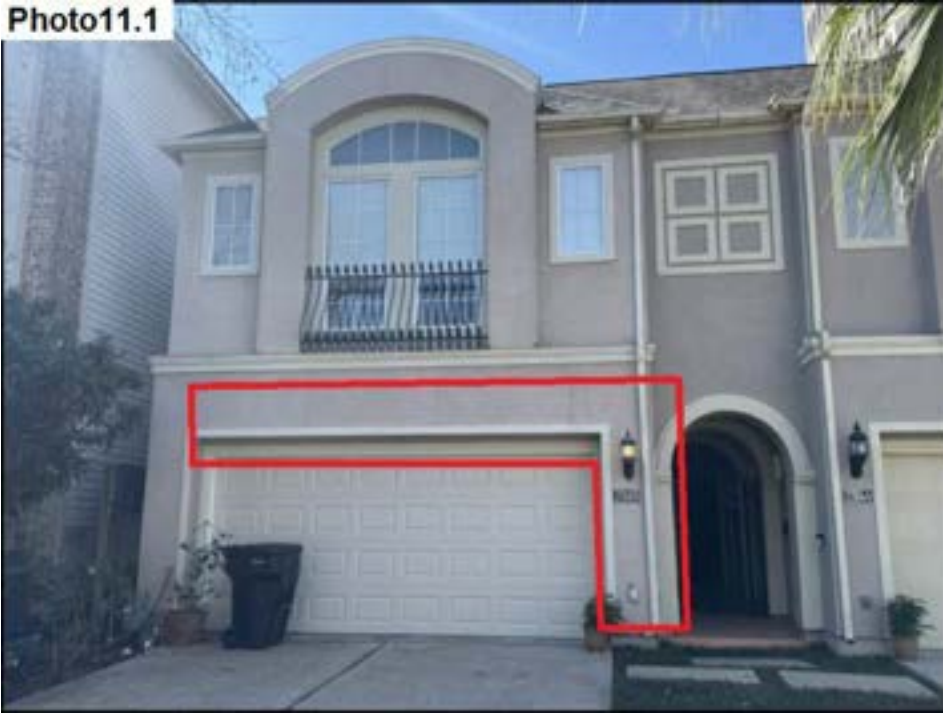


Photo11.2



Substrate Damage / Assess, Repair and Install Proper Relief

Photo11.3



Substrate Damage / Assess, Repair and Install Proper Relief

Photo11.4



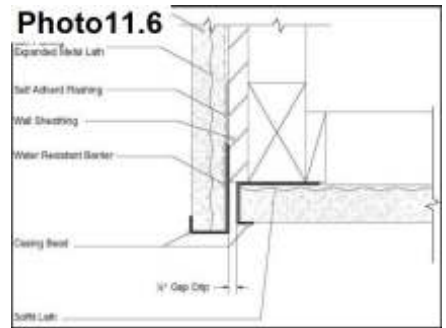
Substrate Damage / Assess, Repair and Install Proper Relief

Photo11.5



Substrate Damage / Assess, Repair and Install Proper Relief

Photo11.6



Proper Relief Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Damage			Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #11.2, #11.3, #11.4, #11.5 and #11.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo12.1

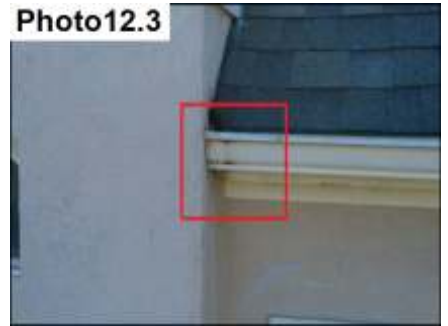


Photo12.2



Wood Rot on Fascia / Repair

Photo12.3



Wood Rot on Fascia / Repair

Photo12.4



Wood Rot on Fascia / Repair

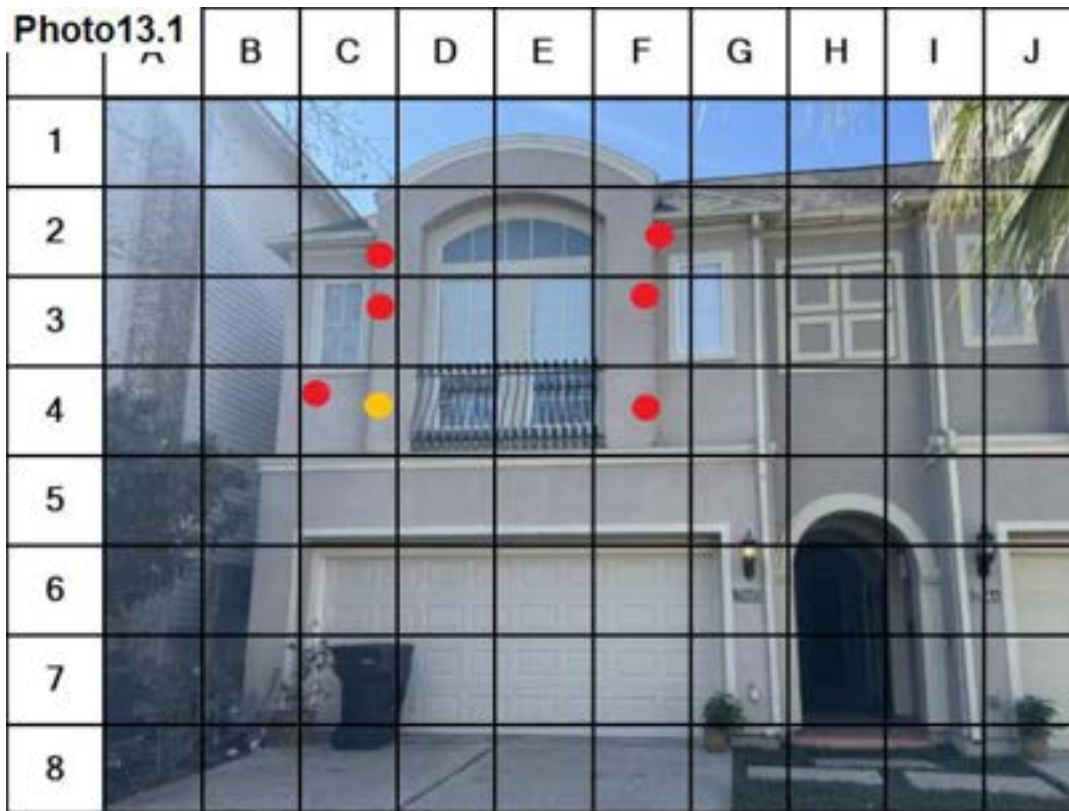
Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #12.2, #12.3 and #12.4 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
C4 (Red)	Window Lower Left	23%	Firm	A moisture probe was taken at the window lower left. An elevated moisture reading was noted with a firm substrate.
C4 (Orange)	Corner Wall Below Failing Kickout	22%	Semi-Firm	A moisture probe was taken at corner wall below failing kickout flashing . An elevated moisture reading was noted with a semi-firm substrate.
C3	Corner Wall Below Failing Kickout	21%	Semi-Firm	A moisture probe was taken at corner wall below failing kickout flashing. An elevated moisture reading was noted with a semi-firm substrate.
F4	Corner Wall Below Failing Kickout	20%	Firm	A moisture probe was taken at corner wall below failing kickout flashing. An elevated moisture reading was noted with a firm substrate.
F3	Corner Wall Below Failing Kickout	22%	Firm	A moisture probe was taken at corner wall below failing kickout flashing. An elevated moisture reading was noted with a firm substrate.
C2	Corner Wall Below Failing Kickout		None	A moisture probe was taken at corner wall below failing kickout flashing. No substrate was noted at this time, modify as needed.
F2	Corner Wall Below Failing Kickout		None	A moisture probe was taken below the kickout flashing. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo14.1



Photo14.2



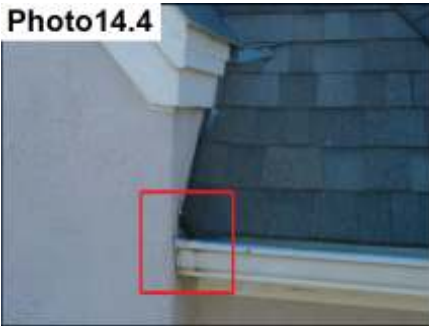
Kickout Flashing Failing/ Modify

Photo14.3



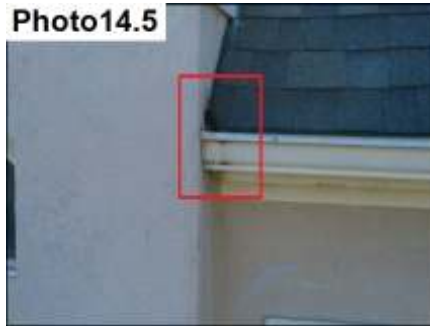
Kickout Flashing Failing/ Modify

Photo14.4



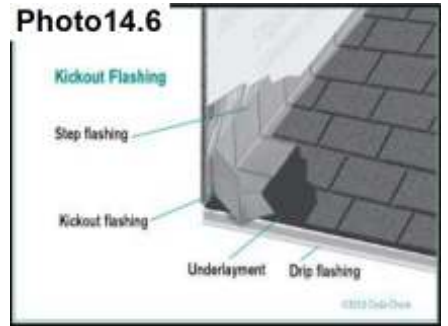
Kickout Flashing Failing/ Modify

Photo14.5



Kickout Flashing Failing/ Modify

Photo14.6



Kickout Flashing Failing/ Modify

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Kickout			The kickout flashing is failing at this location allowing moisture to penetrate the system causing substrate damage below. The inspector suggests to have a qualified waterproofing contractor further assess and modify this area in an effort to prevent moisture intrusion. Please refer to photos #14.2, #14.3, #14.4, #14.5 and #14.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"

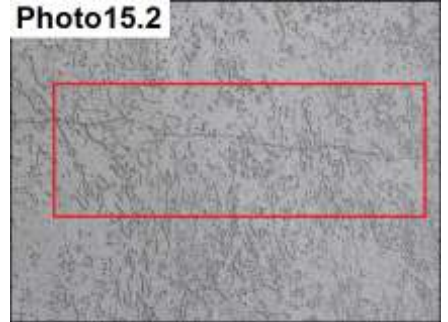


Lone Star Stucco, LLC

Photo15.1



Photo15.2



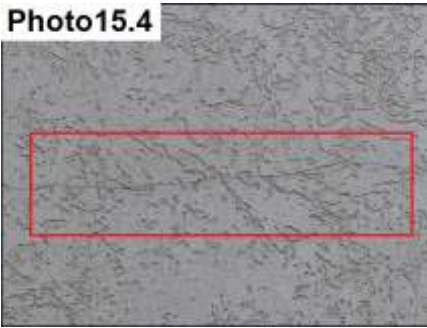
Cracks / Paint (Aesthetic)

Photo15.3



Cracks / Paint (Aesthetic)

Photo15.4



Cracks / Paint (Aesthetic)

Photo15.5



Cracks / Paint (Aesthetic)

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Cracks			Cracks are noted at this location. The inspector suggests to have a qualified waterproofing contractor paint for aesthetic concerns only. All cracking was not necessarily identified in this report. Please refer to photos #15.2, #15.3, #15.4 and #15.5 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Boxes	Damage			Confirmed substrate and potential frame damage is noted in the column. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair and modify as needed in an effort to prevent moisture intrusion. Please refer to photos #16.2, #16.3, #16.4, #16.5 and #16.6 for more detail.
D6	Columns		None	A moisture probe was taken at column. No substrate was noted at this time, modify as needed.
F6	Columns		None	A moisture probe was taken at column. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo17.1



Photo17.2



Door Trim and Miter Sealant / Seal

Photo17.3



Door Trim and Miter Sealant / Seal

Photo17.4



Door Trim and Miter Sealant / Seal

Photo17.5



Door Trim and Miter Sealant / Seal

Photo17.6



Door Trim and Miter Sealant / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Doors			The door trim and miter sealants are separated or aged at this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #17.2, #17.3, #17.4, #17.5 and #17.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

Photo18.1



Photo18.2



Penetration Sealants / Seal

Photo18.3



Penetration Sealants / Seal

Photo18.4



Penetration Sealants / Seal

Photo18.5



Penetration Sealants / Seal

Photo18.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Penetrations			The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #18.2, #18.3, #18.4, #18.5 and #18.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo19.1



Photo19.2



Window Sealants / Seal

Photo19.3



Window Sealants / Seal

Photo19.4



Window Sealants / Seal

Photo19.5



Window Sealants / Seal

Photo19.6



Window Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged or separated. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #19.2, #19.3, #19.4, #19.5 and #19.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
F5	Bottom Wall	15%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
G6	Bottom Wall	16%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
H6	Bottom Wall	15%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
I6	Bottom Wall	14%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
I5	Bottom Wall	13%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED



Lone Star Stucco, LLC

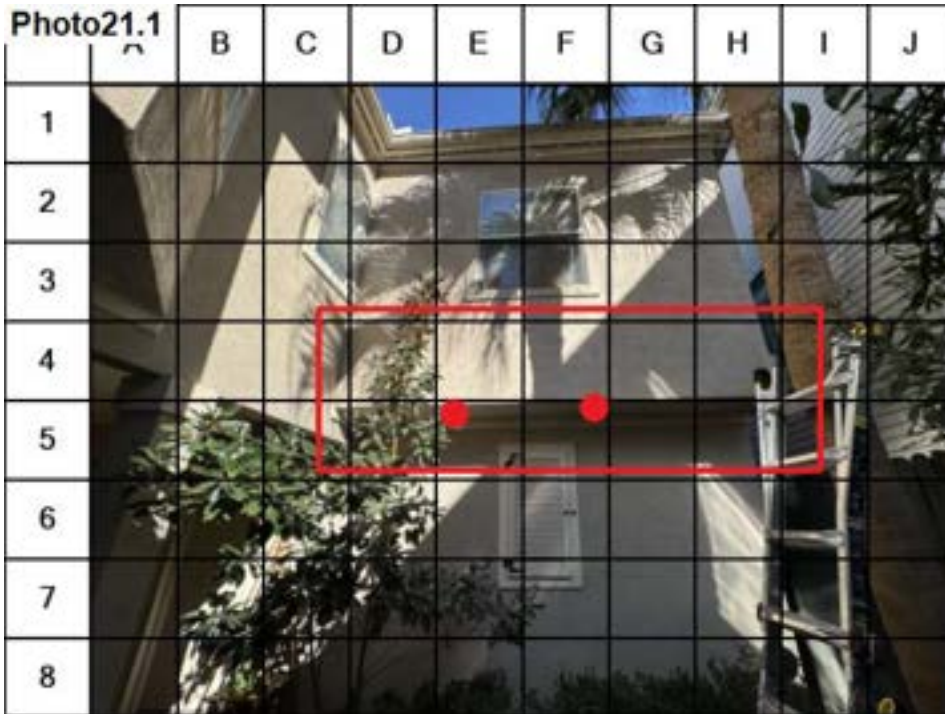


Photo21.2
Substrate Damage / Assess, Repair and Install Proper Relief



Photo21.3
Substrate Damage / Assess, Repair and Install Proper Relief



Photo21.4
Substrate Damage / Assess, Repair and Install Proper Relief

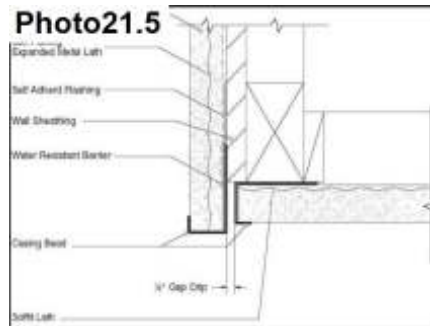


Photo21.5
Proper Relief Detail

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential beam damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #21.2, #21.3, #21.4 and #21.5 for more detail.
E5	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
F5	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo22.1



Photo22.2



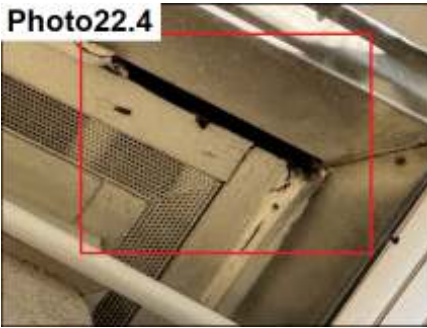
Wood Rot on Fascia / Repair

Photo22.3



Wood Rot on Fascia / Repair

Photo22.4



Wood Rot on Fascia / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #22.2, #22.3 and #22.4 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Photo23.2
Substrate Damage / Assess, Repair and Install Proper Relief



Photo23.3
Substrate Damage / Assess, Repair and Install Proper Relief



Photo23.4
Substrate Damage / Assess, Repair and Install Proper Relief



Photo23.5
Substrate Damage / Assess, Repair and Install Proper Relief

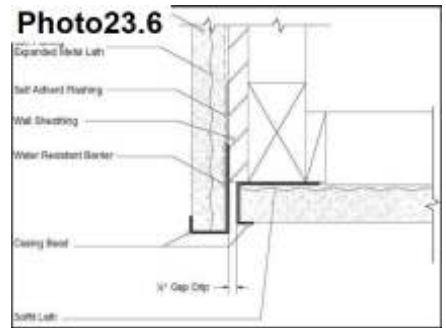


Photo23.6
Substrate Damage / Assess, Repair and Install Proper Relief

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #23.2, #23.3, #23.4, #23.5 and #23.6 for more detail.
G4	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
H4	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Photo24.2
Substrate Damage / Assess, Repair and Install Proper Relief



Photo24.3
Substrate Damage / Assess, Repair and Install Proper Relief



Photo24.4
Substrate Damage / Assess, Repair and Install Proper Relief



Photo24.5
Substrate Damage / Assess, Repair and Install Proper Relief

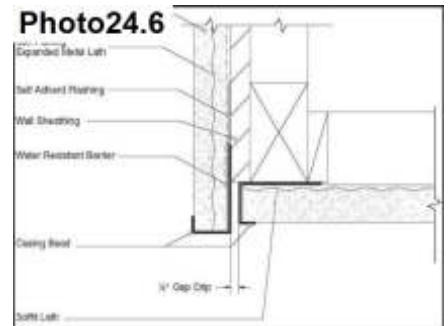


Photo24.6
Substrate Damage / Assess, Repair and Install Proper Relief

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #24.2, #24.3, #24.4, #24.5 and #24.6 for more detail.
F4	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
E4	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo25.1



Photo25.2



Wood Rot at Bottom Wall/ Repair

Photo25.3



Wood Rot at Bottom Wall/ Repair

Photo25.4



Wood Rot at Bottom Wall/ Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			The bottom of the wall in this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #25.2, #25.3 and #25.4 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo26.1



Photo26.2



Roof Diverter Flashing Sealants / Seal

Photo26.3



Roof Diverter Flashing Sealants / Seal

Photo26.4



Roof Diverter Flashing Sealants / Seal

Photo26.5



Roof Diverter Flashing Sealants / Seal

Photo26.6



Roof Diverter Flashing Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Circle	Flashing			The roof diverter flashing sealants are aged at this location. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #26.2, #26.3, #26.4, #26.5 and #26.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair



Substrate Damage / Assess & Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential window header damage noted at this location. The inspector suggests to have a qualified waterproofing contractor further assess the extent of damage, modify this area and install a relief in an effort to prevent moisture intrusion. Please refer to photos #27.2, #27.3, #27.4 and #27.5 for more detail.
B4 (Red)	Window Header		None	A moisture probe was taken at the window header. No substrate was noted at this time, modify as needed.
B4 (Orange)	Window Header		None	A moisture probe was taken at the window header. No substrate was noted at this time, modify as needed.
C4	Window Header	20%	Firm	A moisture probe was taken at window header. An elevated moisture reading was noted with a firm substrate.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo28.1



Photo28.2



Wood Rot on Fascia / Repair

Photo28.3



Wood Rot on Fascia / Repair

Photo28.4



Wood Rot on Fascia / Repair

Photo28.5



Wood Rot on Fascia / Repair

Photo28.6



Wood Rot on Fascia / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			The fascia at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #28.2, #28.3, #28.4, #28.5 and #28.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo29.1

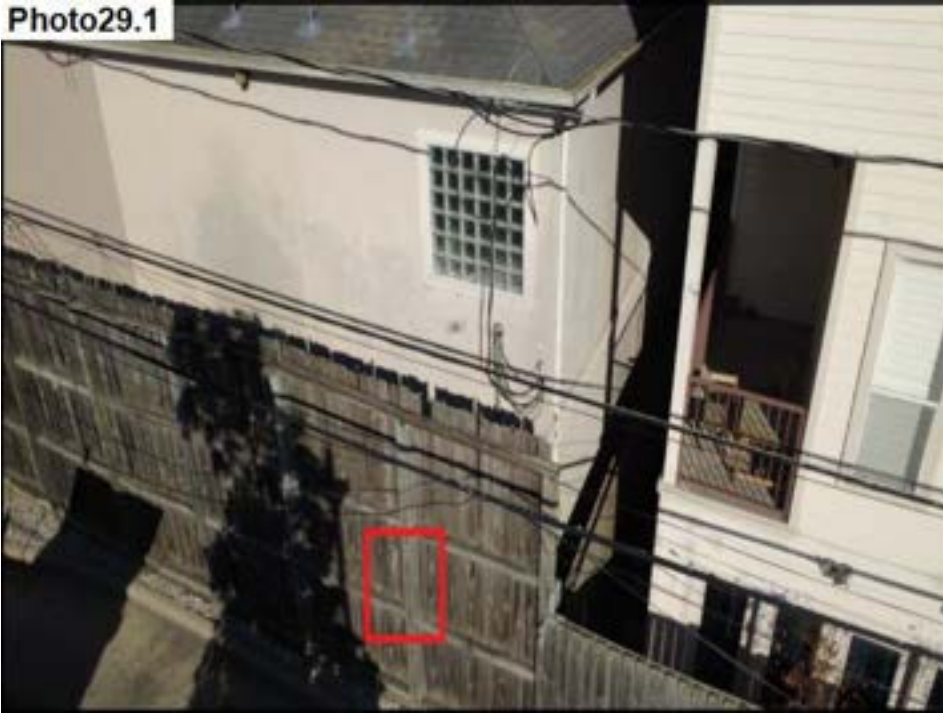


Photo29.2



Wood Rot on Door Trim / Repair

Photo29.3



Wood Rot on Door Trim / Repair

Photo29.4



Wood Rot on Door Trim / Repair

Photo29.5



Wood Rot on Door Trim / Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Wood Rot			The door trim at this area has wood rot. The inspector suggests to have a qualified contractor further assess and repair this area as needed in an effort to prevent moisture intrusion. All wood rot was not necessarily identified in this report. Please refer to photos #29.2, #29.3, #29.4 and #29.5 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo30.1

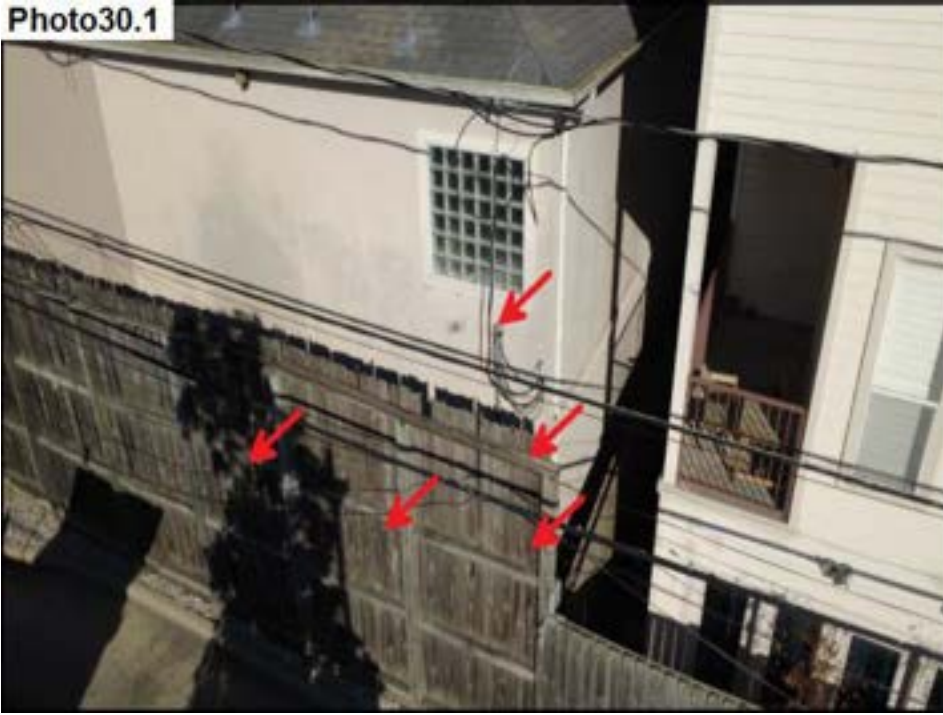


Photo30.2



Penetration Sealants / Seal

Photo30.3



Penetration Sealants / Seal

Photo30.4



Penetration Sealants / Seal

Photo30.5



Penetration Sealants / Seal

Photo30.6



Penetration Sealants / Seal

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Penetrations			The penetration sealants are aged in this location. The inspector suggests to have a qualified waterproofing contractor seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #30.2, #30.3, #30.4, #30.5 and #30.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo31.1

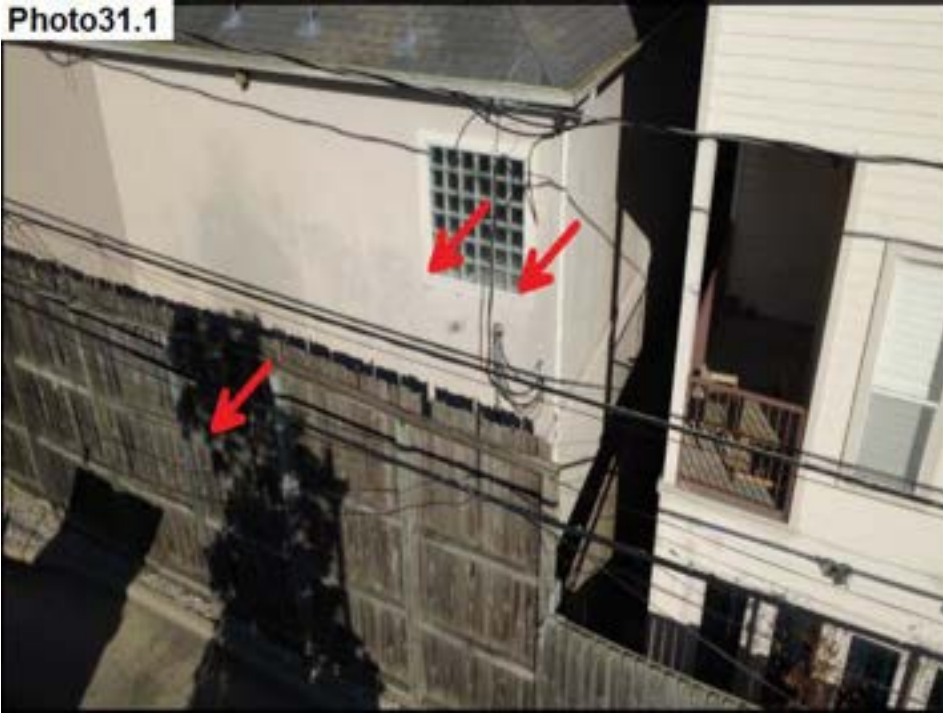


Photo31.2



Window Sealants / Seal

Photo31.3



Window Sealants / Seal

Photo31.4



Window Sealants / Seal

Photo31.5



Window Sealants / Seal

Photo31.6



Window Sealants / Seal

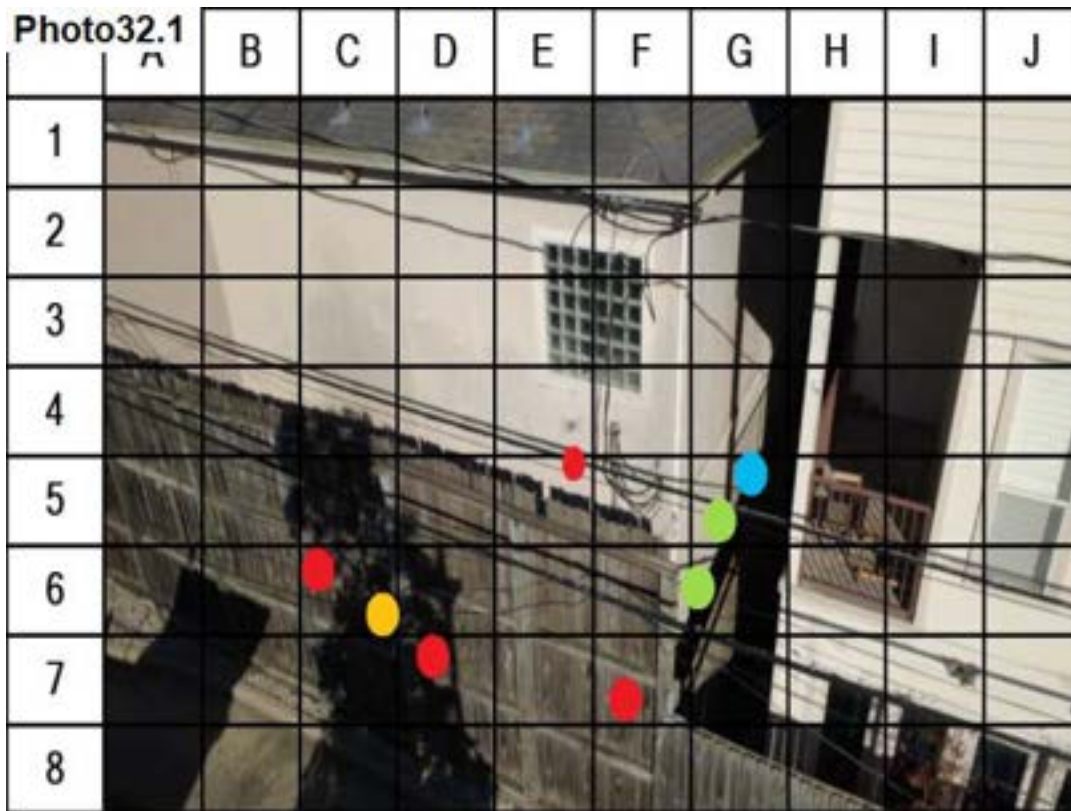
Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Arrows	Windows			The window sealants are aged. The inspector suggests to have a qualified waterproofing contractor further assess and seal this area with a low modulus sealant in an effort to prevent moisture intrusion. These types of sealants are of high quality and compatible with stucco and other termination points. Please refer to photos #31.2, #31.3, #31.4, #31.5 and #31.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC



Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
C6 (Red)	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
C6 (Orange)	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
D7	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
F7	Bottom Wall		None	A moisture probe was taken at bottom wall. No substrate was noted at this time, modify as needed.
G6	Bottom Wall	14%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
G5 (Green)	Bottom Wall	16%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
G5 (Blue)	Bottom Wall	16%	Firm	A moisture probe was taken at bottom wall. The substrate was firm with no damage noted at this time.
E5	Door Header	20%	Firm	A moisture probe was taken at door header. An elevated moisture reading was noted with a firm substrate.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"



Lone Star Stucco, LLC

Photo33.1

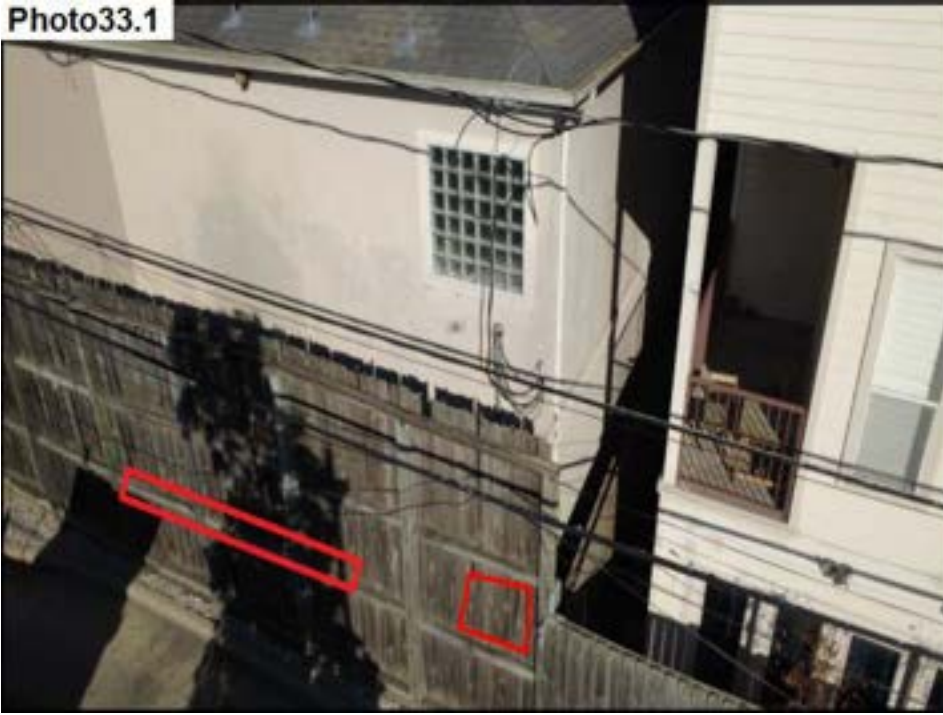


Photo33.2



Substrate Damage / Assess & Repair

Photo33.3



Substrate Damage / Assess & Repair

Photo33.4



Substrate Damage / Assess & Repair

Photo33.5



Substrate Damage / Assess & Repair

Photo33.6



Substrate Damage / Assess & Repair

Grid Location	Item Description	Moisture Readings	Substrate Condition	Observations
Red Box	Damage			Confirmed substrate and potential frame damage is noted at the bottom of the wall. The inspector recommends having a qualified waterproofing contractor further assess the extent of damage, repair as needed and install a proper relief in an effort to prevent moisture intrusion. Please refer to photos #33.2, #33.3, #33.4, #33.5 and #33.6 for more detail.

2314 HULDY STREET #B HAS BEEN CAULKED/SEALED

"Your Local Moisture & Mold Consultant Specialist"