



REDFISH INSPECTIONS HOUSTON

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TREC REI 7-6 2024

125 E Park Dr
Montgomery, TX 77356



Inspector

Keith Jeanes
TREC# 22817-PI
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Agent

Jessica Ohagan
eXp Realty LLC
(936) 777-2987

jessicagrace@ohaganrealty.com



PROPERTY INSPECTION REPORT FORM

Howard Thomas <i>Name of Client</i>	01/30/2026 1:00 pm <i>Date of Inspection</i>
125 E Park Dr, Montgomery, TX 77356 <i>Address of Inspected Property</i>	
Keith Jeanes <i>Name of Inspector</i>	TREC# 22817-PI <i>TREC License #</i>
<i>Name of Sponsor (if applicable)</i>	<i>TREC License #</i>

PURPOSE OF INSPECTION

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. *It is important* that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR

Type of Building: Single Family -

As with all buildings, ongoing maintenance is/will be required and improvements to the systems of the structure will be needed over time. The improvements that are recommended in this report are not considered unusual for a building of this age and location. Please remember that there is no such thing as a perfect construction. This inspection is NOT a pest inspection. We recommend consulting with a licensed pest inspector for the presence of, trapping, exclusions etc... of pests.

Occupancy: Vacant

In Attendance: Buyer, Buyer Agent

Temperature (approximate): 52 Fahrenheit (F)

Weather Conditions: Cloudy

Buyers Notice:

Keep in mind, as noted, this report will have many items in it and they will be marked "deficient."

This does not mean it is a "bad house" if some things are not correct. In these areas of the home, it may be a simple repair. If you have questions PLEASE GIVE US A CALL FOR CLARITY. We will be happy to answer any questions you might have.

Check Boxes:

Home Inspectors are regulated by the Texas Real Estate Commission Standards of Practice which dictate which systems must be inspected, the minimum standards of for the inspection, and allowable inspector limitations such as inspectors are not required to walk a roof if, in their opinion, it is not safe to do so.

In the report, each system or unit has four checkboxes. The following is an explanation of these checkboxes.

I - Inspected

NI - Not Inspected or partially inspected which may occur when full access to the system or unit is not available. For example, an inspector may not be able to inspect an entire roof because of a large amount of debris, snow, or height.

NP - System or unit is not present

D - system or unit has a deficiency. This does not necessarily mean the system or unit is deficient. For example, an AC unit may have a deficiency of dirty air filters. It does not mean the AC unit is deficient and needs to be replaced.

Every system or unit should be marked either I, NI, or NP.

I & D - system or unit was inspected and deficiencies found. If D is not checked, no deficiencies were found.

NI & NP - system or unit was not inspected because it was not present. NP by itself is also sufficient and means the same thing.

NI & D - system or unit was not inspected and deficiencies exist. For example, the inspector was able to inspect a portion of the roof and found deficiencies, but he was not able to inspect the entire roof.

NI & NP & D - system or unit was not inspected because it was not present and a deficiency exists. For example, the deficiency could be smoke detectors, which are required, are not installed.

New / Remodeled :

Homes that have been recently constructed, remodeled or painted may prevent the inspector from identifying preexisting issues. Some issues may not become apparent until routine operation.

Vacant :

Homes that have been vacant for an extended period of time may have new found issues that become noticed after move in and systems are routinely operated. Due to the lack of routine operations some issues may not be detectable at time of inspections.

Recent Utilities Turned On:

Utilities have recently been turned on, this may prevent identification of small plumbing/gas leaks.

Expert Evaluation:

Home inspectors are considered generalists. Often times, we recommend further evaluation by a specialist based on readily accessible conditions we observe. Specialists in many categories may discover additional deficiencies based on a more invasive, expert evaluation which is not restricted by the same limitations as a general inspection.

Location Descriptions:

When outside the structure, the terms "front," "left," "rear," and "right" were used to describe the structure as if viewed from in front of the structure facing the front door, even if the structure does not face the address street.

When inside the structure, the terms "front," "left," "rear," and "right" were used to describe the structure as viewed from the room entrance.

The interior was inspected in a clockwise fashion. The Primary Bedroom and Bathroom are identified as such. The first secondary bedroom and bathroom that comes up after starting at the front door will be Guest Bedroom/Bathroom 1, then Guest Bedroom/Bathroom 2, and so on. Half bathrooms will be identified separately from the full bathrooms.

If you have any questions about room descriptions or locations, please contact us. It's important that you be able to identify the rooms that we discuss in your report.

Videos :

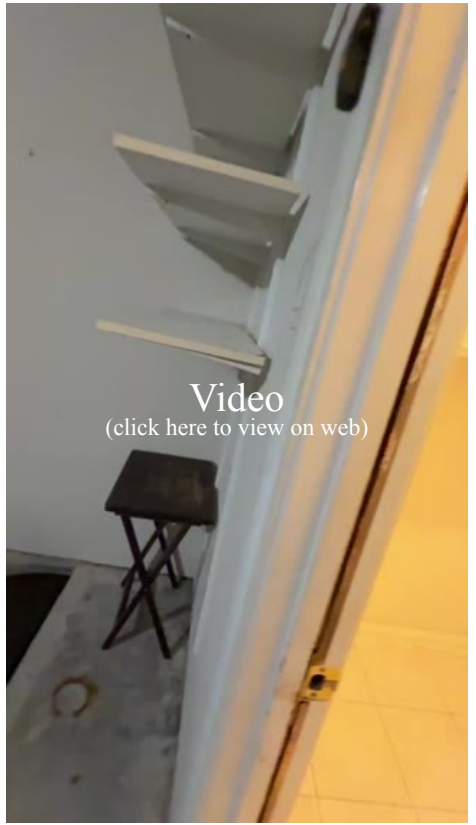
The Inspector will include multiple videos and pictures throughout the report. Not all of these will indicate a defect or problem. Many are included to inform the reader what was functional or provide general information about the property. Similarly, not all deficiencies will include a picture or video. Some defects are generally informational or may not be visible.



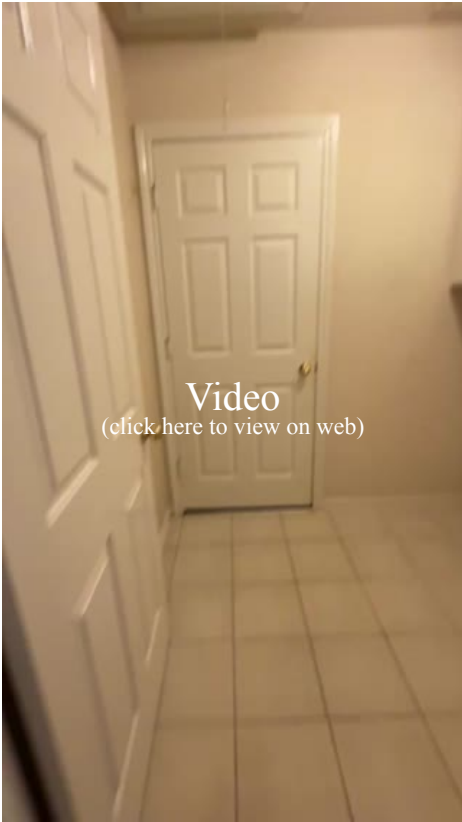
Video
(click here to view on web)



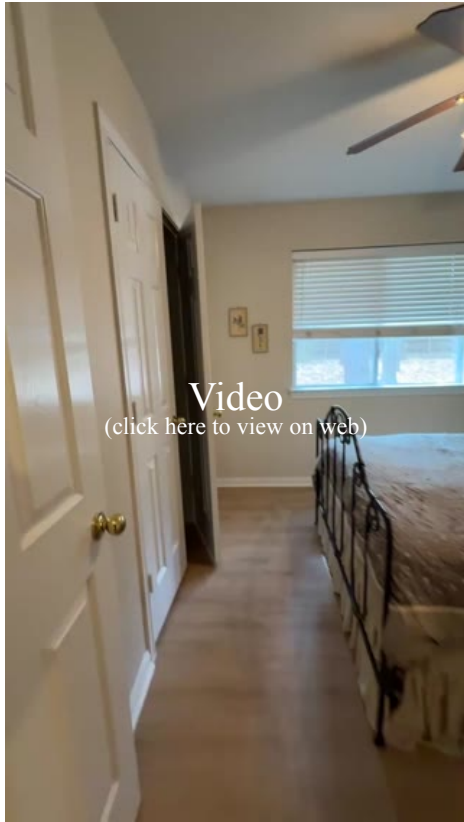
Video
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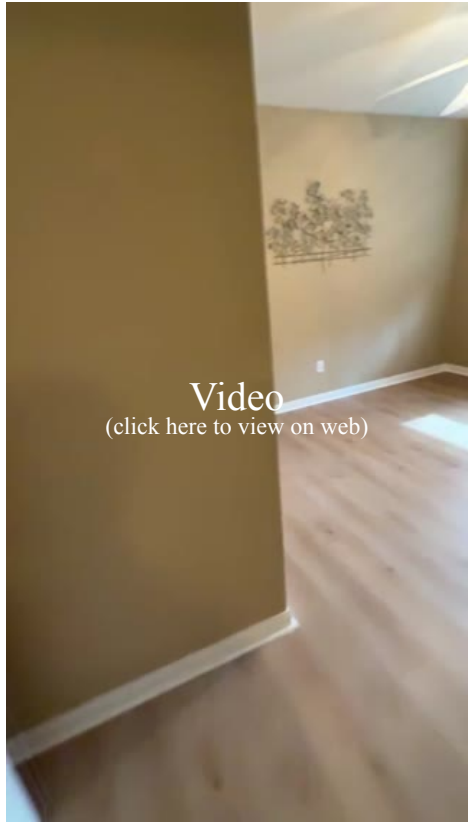
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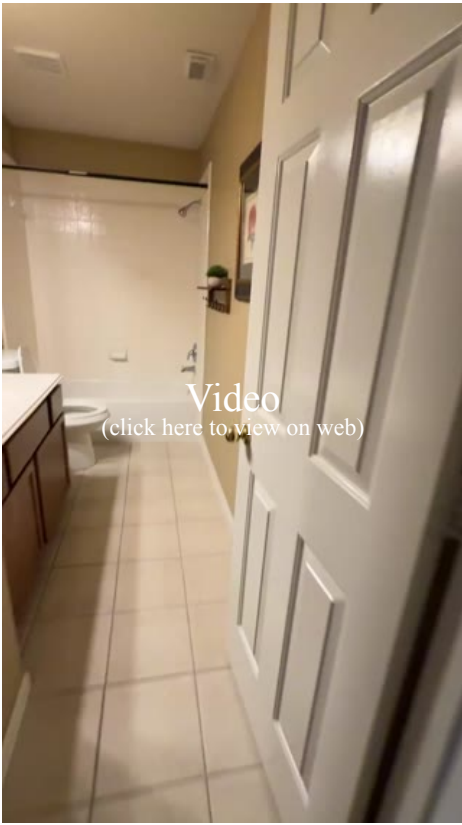
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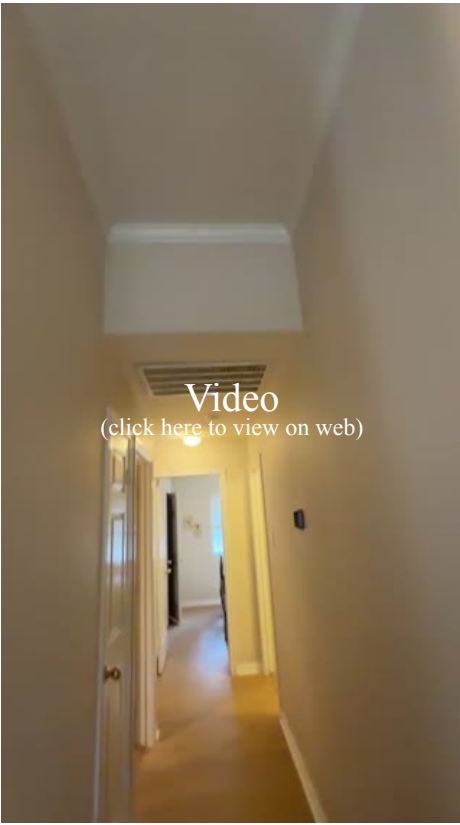
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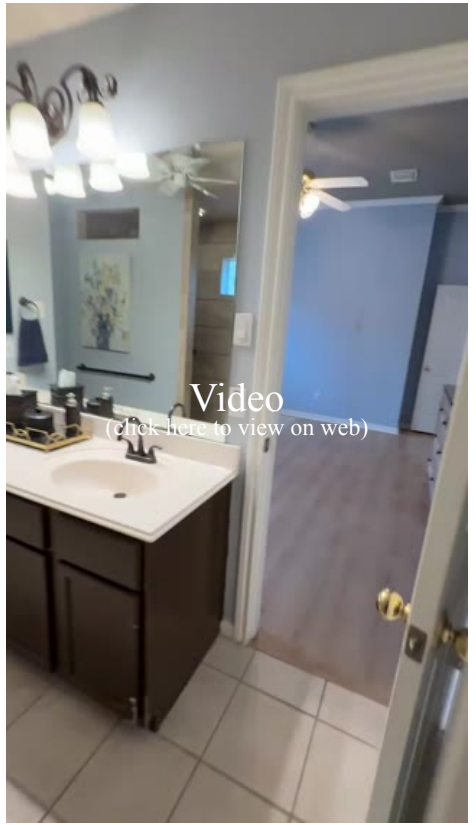
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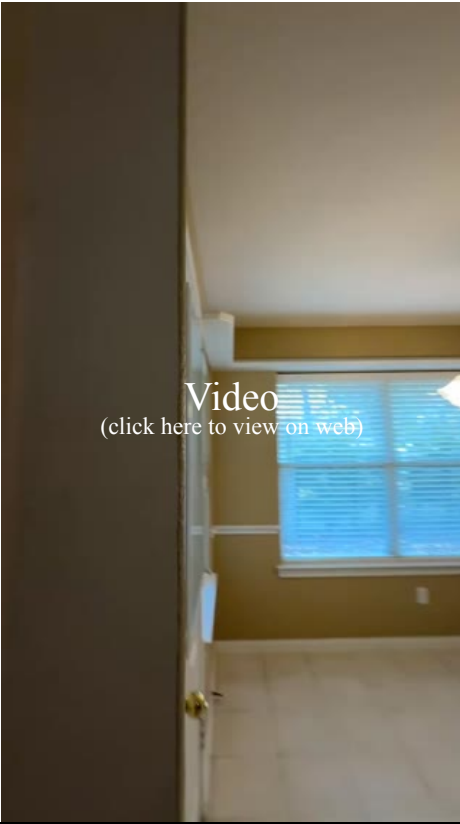
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I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

A. Foundations

Type of Foundation(s): Concrete, Slab on Grade

The Client Approved Elevation Plot:

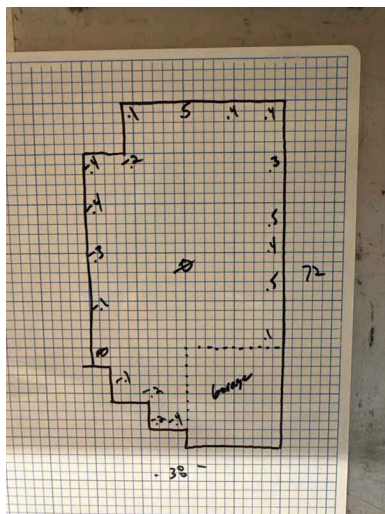
A precision pressurized hydrostatic altimeter was used to measure the level of the foundation. This data provided us with additional information to help us determine the performance of the foundation. Furthermore, this data included in the report will give the client a baseline for future movement.

The digital reader, which the unit is in inches, was "zeroed" near the center of the structure. A level/measurement was then taken approximately every 10-12 feet around the interior perimeter, and any other areas we considered necessary. Floor finishes such as carpet do affect the reading. About 0.3" to 0.5" is deducted from the reading to compensate for the carpet and padding thickness. These finishes are taken in consideration in our calculation of foundation level differential when possible, but poor or recent installation can have an undeterminable affect on the measurement in some circumstances.

We have not yet measured a perfectly flat foundation. Should you have any questions concerning this tool, process, or data, please ask the inspector or call our office.

Approaching Limits:

Foundation is approaching limits (deflection from middle is > .8 and less than 1.5 inches and deflect is no more than 1 inch over 30 feet or 1 1/2 inches from side to side. Recommend to monitor



Comments:

Foundation Limitation:

This inspection is one of first impression and the inspector was not provided with any historical information pertaining to the structural integrity of the inspected real property. This is a limited cursory and visual survey of the accessible general conditions and circumstances present at the time of this inspection. Opinions are based on general observations made without the use of specialized tools or procedures. Therefore, the opinions expressed are one of apparent conditions and not of absolute fact and are only good for the date and time of this inspection. Inspectors are not responsible for defects in areas that are not visible for inspection.

Soil in many areas of Texas is known to be unstable and unpredictable. Due to the expansive nature of the soil in this area, no warranty against future movement can be made. The inspection of the foundation may show it

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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to be providing adequate support for the structure, or having movement typical to this region, at the time of the inspection. This does not guarantee the future life or failure of the foundation.

The Inspector is not a structural engineer. The inspector does not perform any engineering studies or measurements such as geological, and hydrological stability test, soils conditions reports; wave action reporting; any form of engineering analysis. Only licensed engineers can conduct such evaluations. This inspection is not an engineering report or evaluation and should not be considered one, either expressed or implied. If any cause of concern is noted on this report, or if you want further evaluation, you should consider an evaluation by an engineer of your choice.

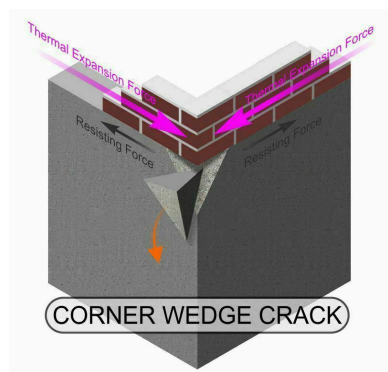
Should you have present or future concerns regarding the foundation's condition, you are strongly advised to consult with a licensed Professional Structural Engineer for further evaluation.

1: Corner Pop(s) / Crack(s)

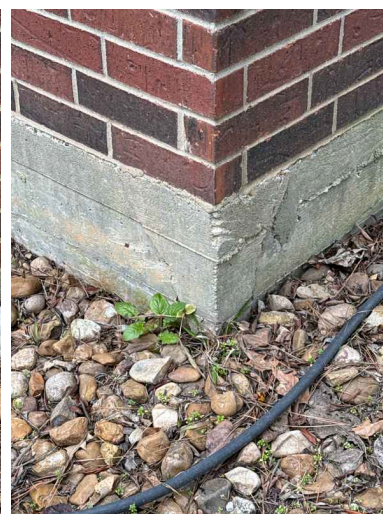
🔴Repair/Replace

Corner pops/cracks were noted on one or more corners of the foundation. Corner pops/cracks are generally caused by the early removal of form boards and/or improper flashing installation between the slab and the brick veneer/stone veneer. This has or can lead to the foundation no longer providing the proper support for the brick cladding, and/or can be a conducive condition for wood destroying insects. We recommend having these areas patched/sealed/repared.

Recommendation: Contact a handyman or DIY project



Example Front Exterior



Example Right Rear Exterior

B. Grading and Drainage

GRADING and DRAINAGE:

It is advisable to maintain at least 6 inches minimum of clear area between the ground and siding. Proper drainage is critical to the performance of the foundation. All grades should drop away from the structure at a rate of 6 inches for every 10 feet where possible. We recommend that you monitor areas around the structure(s) when it rains and make sure that water is channeling away from structure(s) as intended. If it is not, there will be upgrades needed and you may consider adding a form of sub surface drainage.

Comments:

The following limitations and/or deficiencies (if any) with the **grading and drainage** were observed on the day of the inspection of this structure and are noted below.

I	NI	NP	D
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1: Incomplete Gutter System

🔴Repair/Replace

This structure had an incomplete gutter system. We recommend gutters to be used under all roof sides to redirect water from the roof to the downspouts and extensions 5 feet away from the foundation.

Recommendation: Contact a qualified professional.

2: Gutter / Downspout Discharge Near Foundation

🔴Repair/Replace

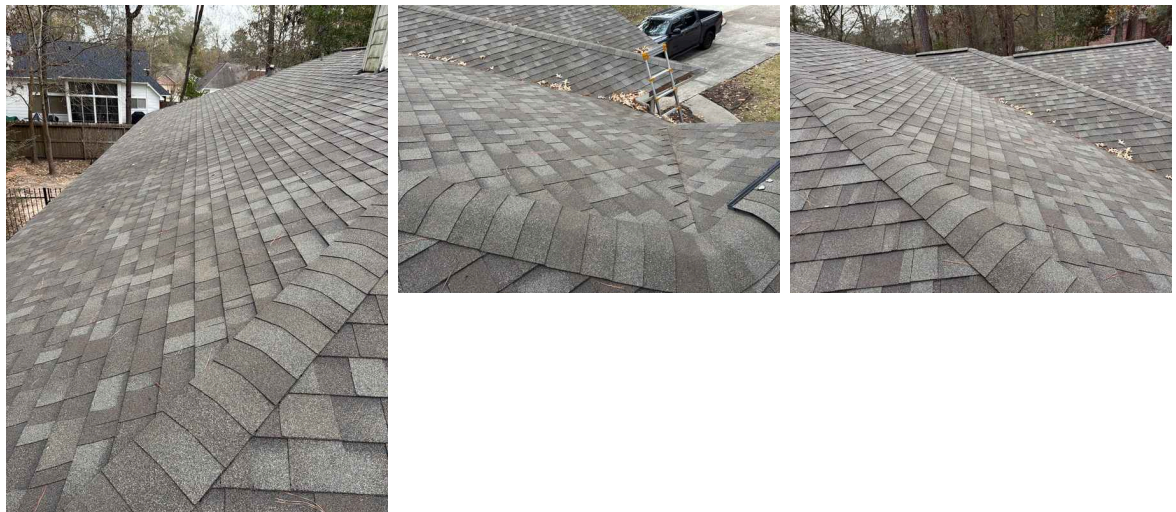
One or more downspouts were discharging too close to the foundation. We recommend having downspouts discharge water at least five (5) feet from the structure. Storm water should be encouraged to flow away from the building at the point of discharge.

Recommendation: Contact a handyman or DIY project



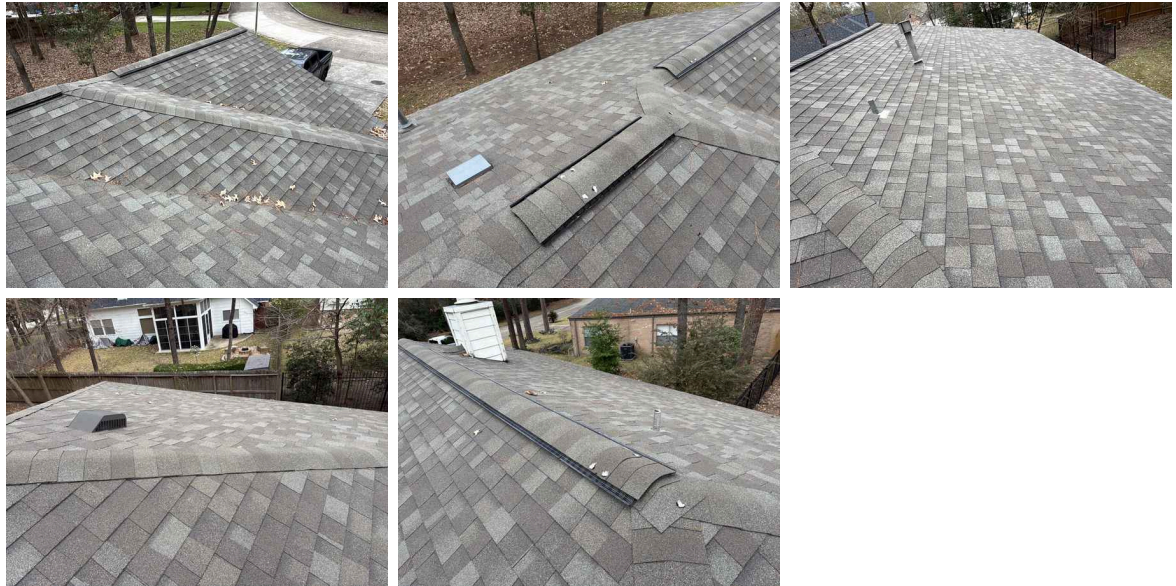
C. Roof Covering Materials

Photos of Roof Slopes :



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Types of Roof Covering: Asphalt
Viewed From: Ground, Roof, Ladder

Comments:

The following limitations and/or deficiencies (if any) with the **Roof Covering Materials** were observed on the day of the inspection of this structure and are noted below.

Roof:

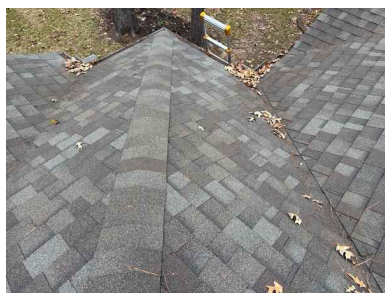
Inspectors do not speculate on the remaining life expectancy of the roof covering. Inspection of the fastening system at shingle tabs are not inspected as lifting shingles or tiles could damage the covering. Inspection of the roof surface, attic and interior spaces should not be interpreted as a certification that the roof is or will be free of leaks or of it's insurability.

1: Leaf / Debris

🔴Repair/Replace

Leaf /debris requires regular cleaning. maintenance is suggested to keep the roof free of such debris in order to prevent premature deterioration of the roof covering.

Recommendation: Contact a qualified handyman.



2: Gap / Penetration Point Soffit/Roof

🔴Repair/Replace

A gap/penetration point was observed between the roof shingles and the soffit. We recommend having this patched/blocked to prevent intrusion into the attic space.

I	NI	NP	D
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Recommendation: Contact a qualified professional.



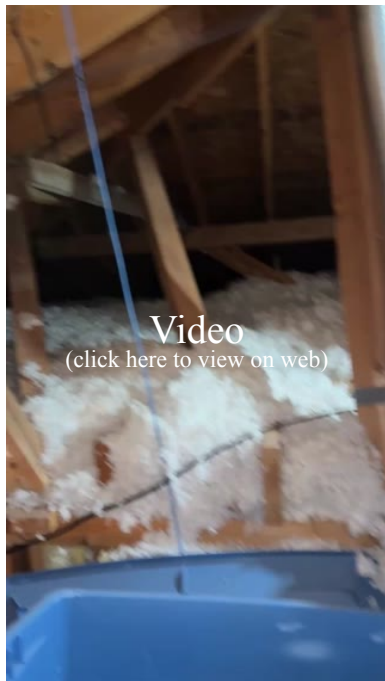
Example Front Exterior

D. Roof Structures and Attics

Viewed From: Ground, Roof, Ladder

Approximate Average Depth of Insulation.: 0 to 12 inches

Video of Attic Access from Walkway:



Comments:

The following limitations and/or deficiencies (if any) with the **roof structure and attic** were observed on the day of the inspection of this structure and are noted below.

I	NI	NP	D
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Limited access:

Portions of the roof structure had no accessible attic space, were inaccessible due to insulation levels, roof design, mechanical equipment, duct work, and/or owners belongings. We were unable to perform a visual inspection of those areas.

1: Attic Hatch / Door Not Insulated

🔴Repair/Replace

To improve air conditioning efficiency and to prevent loss of conditioned air to the attic, the attic hatches and doors should be insulated.

Today's standards typically require access doors from conditioned spaces to unconditioned spaces (e.g., attics and crawl spaces) to be weatherstripped and insulated to a level equivalent to the insulation on the surrounding surfaces. We recommend repair to improve the energy efficiency of the home.

Recommendation: Contact a handyman or DIY project



2: Attic Access / Hatch Weather Stripping Missing / Damaged

🔴Repair/Replace

One or more attic accesses lacked weather stripping. We recommend having this detail added for improved energy efficiency.

Recommendation: Contact a handyman or DIY project

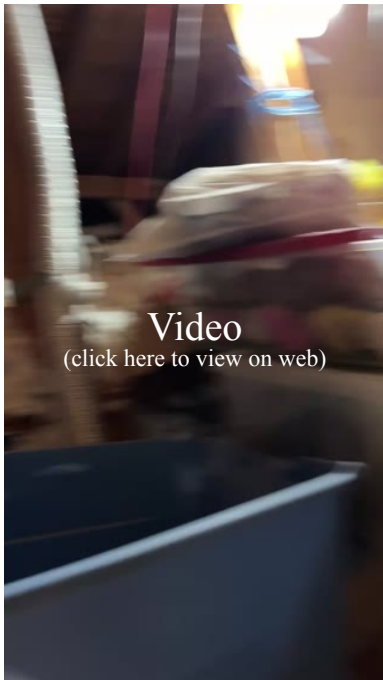


3: Storage Items in Attic - Safety Issue

▲ Safety Hazard

Found items stored in an area not design to carry live loads. This is a safety issue due to items potentially falling through the ceiling into the living space. We recommend having storage and debris removed or relocated.

Recommendation: Contact a handyman or DIY project



4: Compressed / Uneven Insulation

🔴 Repair/Replace

Compressed/uneven insulation should be rearranged and added to as needed for improved energy efficiency.

I	NI	NP	D
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Recommendation: Contact a handyman or DIY project



E. Walls (Interior and Exterior)

Comments:

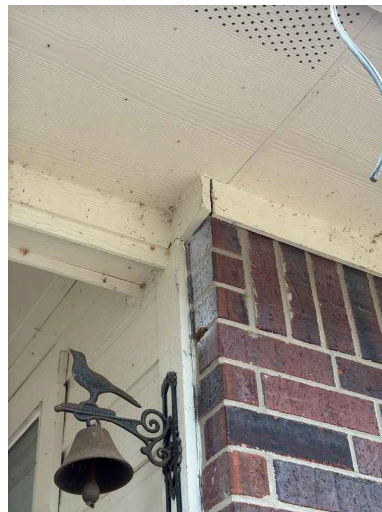
The following limitations and/or deficiencies (if any) with the **walls (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

1: Exterior Caulking Deteriorated / Insufficient

🔴Repair/Replace

The exterior caulking in multiple areas around the house at various siding transitions, expansion joints, wall protrusions, doors, windows and other areas, was deteriorated or insufficient. Exterior caulking is the first energy efficient measure to install. This helps minimize air flow and moisture through cracks, seams, utility penetrations and openings. Controlling air infiltration is one of the most cost effective measure in modern construction practice. Good caulking and sealing will reduce dust, dirt, and prevent damage to structural elements. We recommend updating regularly.

Recommendation: Contact a qualified professional.



Example Front Exterior

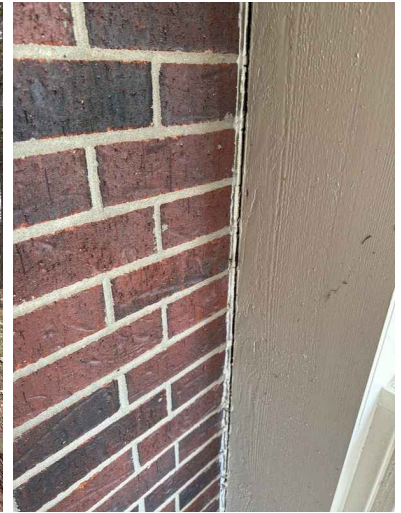
I	NI	NP	D
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Example Garage



Example Garage



2: Rusted Lintels

[Maintenance Required](#)

The lintels over the openings (windows/doors) were found to be rusted. These elements support the brick veneer above the openings. We recommend having them (re)ainted to prevent deterioration.

Recommendation: Contact a handyman or DIY project

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Example Front Exterior



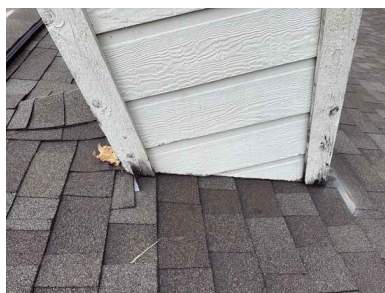
Example Garage

3: Siding / Trim General Damage

🔧Repair/Replace

General damage was found to the exterior siding and/or trim. We recommend to repair as needed.

Recommendation: Contact a qualified handyman.



4: Organic Growth on Exterior

🔧Maintenance Required

Organic growth was noted on the exterior of the home. This can be the result of multiple conditions such as roof run-off, insufficient grading, amount of sun exposure, and proximity to bodies of water or other structures, among others. While the presence of this growth is typically harmless, it can allow excess moisture into the wall cavity or other parts of the structure. We recommend regular cleaning to help keep the area dry.

Recommendation: Contact a handyman or DIY project

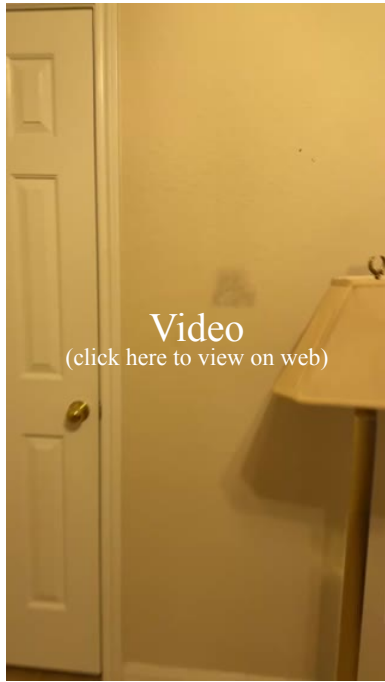


5: Dry Moisture Staining / Damage

🔴Repair/Replace

Moisture staining/damage was noted and the area was confirmed with a moisture meter and infrared thermal imager to be dry at the time of inspection. We recommend monitoring and having any active water sources identified and repaired.

Recommendation: Contact a qualified professional.



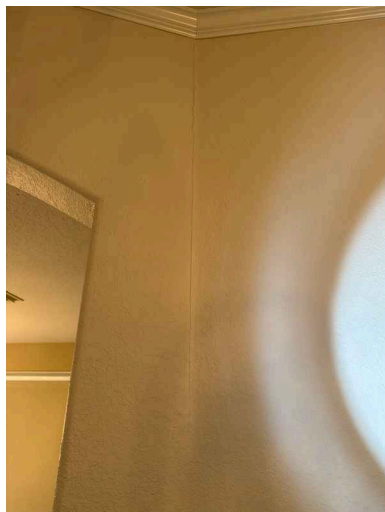
6: Sheetrock General Damage

🔴Repair/Replace

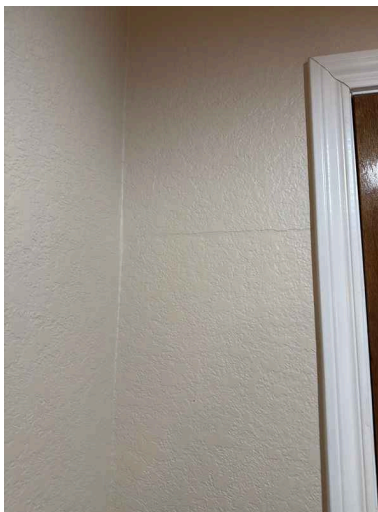
General damage noted on the interior surface. Recommended repair and monitoring.

Recommendation: Contact a qualified professional.

I	NI	NP	D
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Example Living Room



Example Entry

F. Ceilings and Floors

Comments:

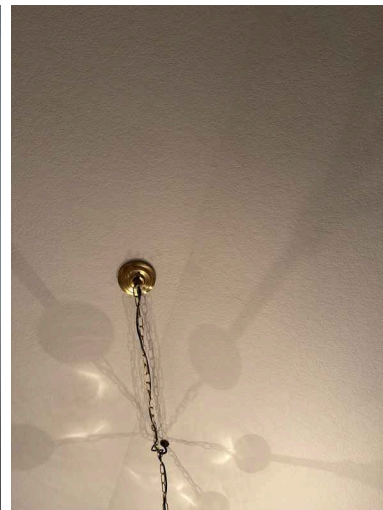
The following deficiencies (if any) with the **ceilings and floors** were observed on the day of the inspection of this structure and are noted below.

1: General Ceiling Damage

Maintenance Required

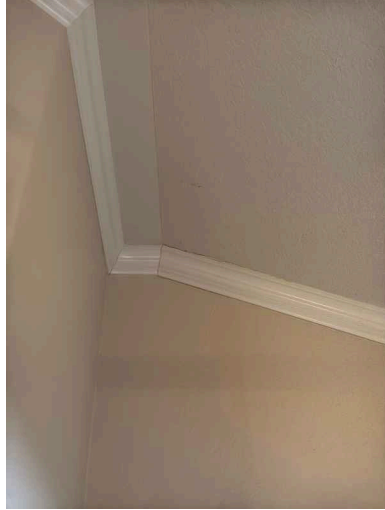
General damage or deterioration was visible at the ceiling finishes. The damage appeared to be cosmetic in nature. We recommend to repair as needed.

Recommendation: Contact a handyman or DIY project



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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2: Nailpops

Maintenance Required

Nailpops, which are typically cosmetic in nature, were noted. We recommend these be re-secured, caulked and painted.

Recommendation: Contact a qualified drywall contractor.



G. Doors (Interior and Exterior)

Comments:

The following deficiencies (if any) with the **doors (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

When reading this section of the inspection if there are no comments below, the doors were operating as intended at the time of inspections and may have had minor paint and caulking blemishes that are cosmetic in nature and can be repaired as a maintenance item. In this report, there may also be references to doors not operating properly.

I	NI	NP	D
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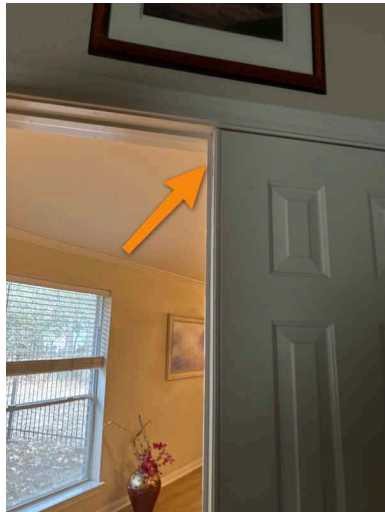
Replacing or rekeying exterior locks before moving in is generally recommended. After new locks have been installed, ensure that jambs at striker plates are cut deep enough to allow new deadbolt locks to fully engage and lock. Deadbolt locks are not locked unless the bolt is fully extended.

1: Door Would Not Latch

🔴Repair/Replace

A door would not latch when shut. We recommend having the door and/or hardware adjusted.

Recommendation: Contact a qualified professional.



Example Office

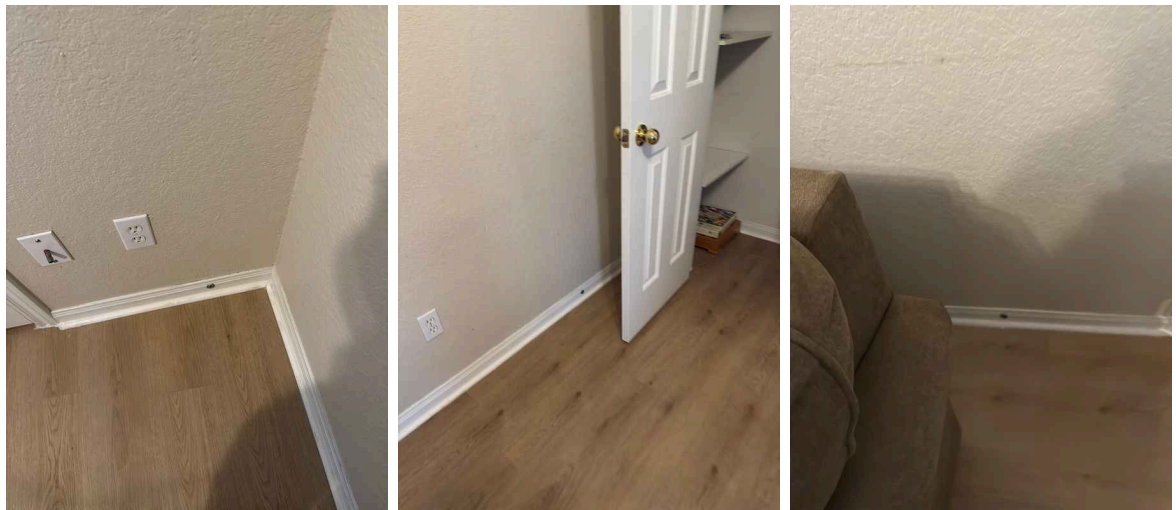
2: Damaged / Missing / Improperly Aligned Door Stop

🔴Repair/Replace

Around Structure

Damaged/missing/improperly aligned door stops were noted. We recommend repair/replacement as needed to prevent cosmetic damage.

Recommendation: Recommended DIY Project

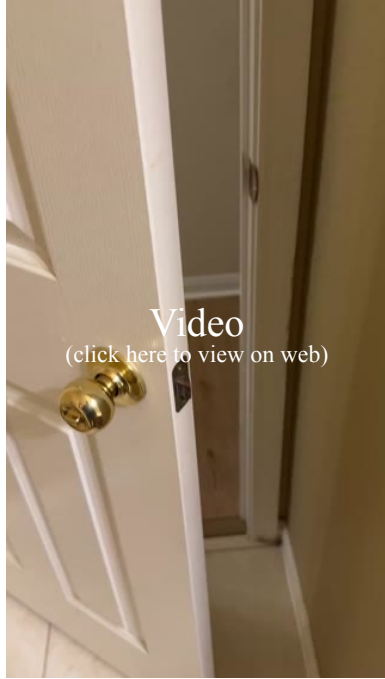


3: Damaged / Inoperative Hardware

🔧Repair/Replace

Damaged/inoperative door hardware was noted. We recommend having this repaired or replaced.

Recommendation: Contact a handyman or DIY project



4: Door Lacked Self-Closing Device

⚠️Safety Hazard

Today's standards typically require doors leading from living spaces into attached garages or areas containing gas-fired appliances be equipped with self-closing hinges, or a similar device, that prevents the door from being left open which could allow harmful exhaust, or other chemical fumes to enter the living areas, as well as avoid a breach in the fire barrier of the structure. We recommend having this detail added.

Recommendation: Contact a handyman or DIY project

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Example Garage

H. Windows

Comments:

The following deficiencies (if any) with the **windows** were observed on the day of the inspection of this structure and are noted below.

No reportable deficiencies were present unless otherwise noted in this report.

1: Deteriorated / Insufficient Caulking

🔴Repair/Replace

The exterior and interior caulk around the windows was deteriorated and/or insufficient. We recommend repair. Exterior caulking is the first energy efficient measure to install. The purpose of exterior caulking is to minimize air flow and moisture through cracks, seams, utility penetrations and openings. Controlling air infiltration is one of the most cost effective measures in modern construction practices, a home that is not sealed will be uncomfortable due to drafts and will use about 30% more heating and cooling energy than a relatively air-tight home. In addition, good caulking and sealing will reduce dust and dirt in the home and prevent damage to structural elements.

Recommendation: Contact a handyman or DIY project



Example Primary Bedroom

2: Failed / Lost Seal

🔴Repair/Replace

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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One or more windows had lost its seal and/or experienced low-E failure. This had resulted in condensation/discoloration developing between the panes of glass. This is primarily a cosmetic deficiency, but can cause the window to lose some of its insulating properties. We recommend having the glass replaced as needed.

Recommendation: Contact a qualified window repair/installation contractor.



Example Left Exterior

3: Dry Moisture Stains Window Sill(s)

🔴Repair/Replace

Moisture staining/damage was noted near or at the sills however they were dry at the time of inspection. This appeared to be the result of build up condensation between the windows and closed blinds. We recommend opening/lifting the blinds on a daily basis to allow proper ventilation and drying.

Recommendation: Contact a qualified professional.



Example Primary Bedroom

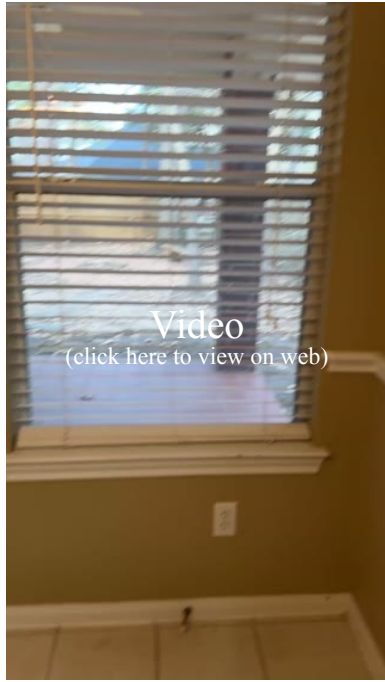
4: Window Binding or Stuck / Difficult to Operate

🔴Repair/Replace

One or more windows were binding and/or difficult to operate. We recommend adjustment/repair.

Recommendation: Contact a qualified window repair/installation contractor.

I	NI	NP	D
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I. Stairways (Interior and Exterior)

Comments:

The following deficiencies (if any) with the **stairways (interior and exterior)** were observed on the day of the inspection of this structure and are noted below.

J. Fireplaces and Chimneys

Photo of Fireplace :

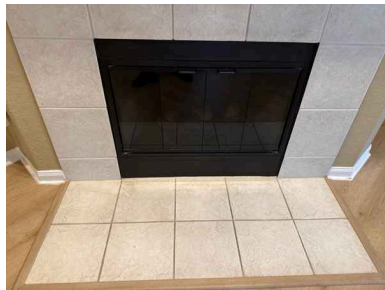


Photo of Fireplace Ignited:



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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Annual Service :

Fireplaces and stoves should be serviced and inspected every year for proper operation by a qualified repair man. We perform a Level 1 Inspection. This inspection is typically suitable for the following conditions. No Changes or Problems Have Occurred to the Fireplace, for chimneys under continued service that operate under the same conditions, with the continued use of the same appliance. In these instances, we'll check the readily visible portions of the fireplace, chimney ,and flue for basic structural soundness and examine the appliance installation and connections.

If you feel like you need to go further with an inspection you may want to consider a level 2 or level 3 inspection.

- Level 2 – System Has Changes or Suspected Issues. These types of inspections are typically warranted if you suspect an issue with your system, if there has been an event that may have caused damage, or if you have made any changes to the system since your last inspection. In these situations, a technician thoroughly checks all accessible parts of the chimney system, and will examine the internal surfaces and joints of all flue liners within the chimney for issues using a camera.
- Level 3 – Hidden Hazards That Require Special Tools
Whenever there is a suspected safety issue in a part of your system that cannot be viewed during a Level 1 or 2 inspection, a Level 3 inspection is recommended. These can be much more invasive and could require removing certain system components (chimney crown, interior chimney wall, etc.) where necessary. The contractor will work closely with the client during these inspections to discuss all work thoroughly before beginning, so there are no surprises.

Comments:

Note: Anytime the fireplace is repaired, the entire fireplace and chimney should be evaluated.

Flue Interior:

By nature, the design and height can limit or prevent the examination of the interior of the flue pipe. The inspector is only able to report on the condition of the flue for areas that are visible at time of inspection. This can be limited to the firebox and the cap, if the cap was accessible.

K. Porches, Balconies, Decks, and Carports

Comments:

The following deficiencies (if any) with the **porches, balconies, decks, and carports** were observed on the day of the inspection of this structure and are noted below.

M. Cabinets

Comments :

N. Fences

Comments :

O. Driveway, Sidewalks

Comments :

1: Driveway / Sidewalk Hairline / Minor Cracks

[Maintenance Required](#)

Hairline cracking was observed in the driveway. These cracks are not uncommon where under 1/4 inch wide and should be monitored for signs of additional movement.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Recommendation: Recommend monitoring.



2: Driveway / Walkway Cracks With Displacement

▲Safety Hazard

The driveway and/or walkways had one or more cracks with displacement. These presented a trip hazard. We recommend having them repaired.

Recommendation: Contact a qualified concrete contractor.



P. Pests

Comments :

Pest Inspection:

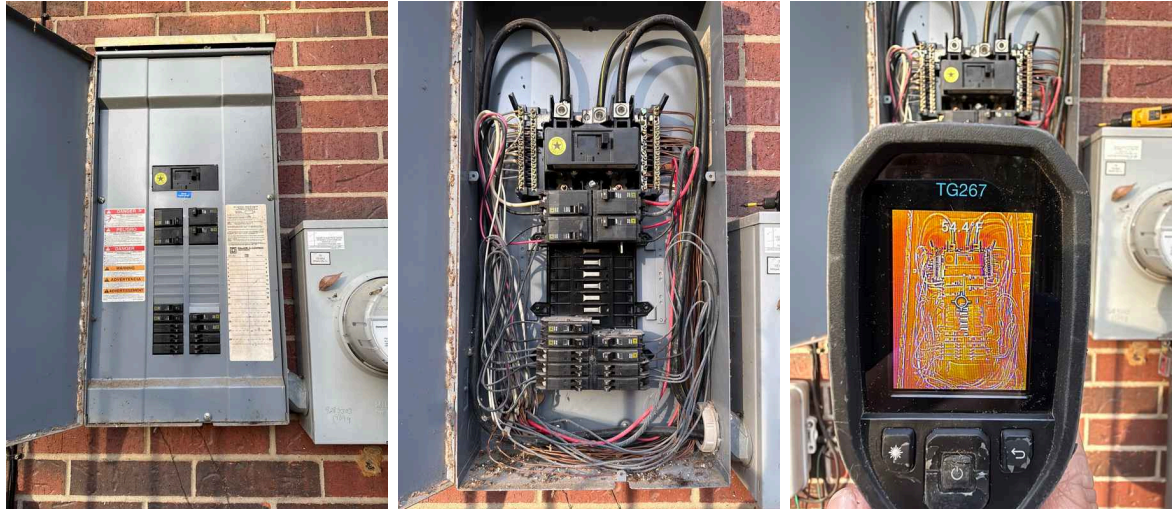
A typical home inspection does not include pest activity within the scope. While the inspector may have conducted and wood-destroying-insect inspection or made courtesy observations in this report about other pests, this is not a full pest evaluation. Should there be specific concerns related to pest control or activity, we recommend consulting with a qualified professional for a specialized evaluation.

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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Main Panel : Photo With Cover On, Thermal Imaging Photo, Photo With Cover Off



Location of Main Panel: Right exterior

Comments:

All electrical repairs listed should be performed by a licensed electrician. Inspectors are not licensed electricians and additional deficiencies may be identified by licensed professionals that are beyond our scope and qualifications.

1: Label(s) Missing / Illegible

🔴Repair/Replace

The Circuit Directory label identifying individual electrical circuits was at least partially missing from an electrical panel. Or the existing labels were illegible. The panel should contain a clearly-marked label identifying individual circuits so that in an emergency, individual circuits can be quickly shut off. We recommend that a properly marked Circuit Directory label be installed by a licensed, professional, competent and qualified electrical contractor.

Recommendation: Contact a qualified professional.

I	NI	NP	D
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2: Missing Anti-oxidant Paste

🔴Repair/Replace

Anti-oxidant was missing. Conductor termination compounds are for use on splice and termination connections of aluminum, copper-clad aluminum, and copper conductors and are intended to retard oxidation at the conductor/connector interface. These compounds do not have a deleterious effect on the conductor metal, insulation or equipment when used in accordance with the manufacturer’s installation instructions. Reference should be made to the product label located on the smallest unit container for specific instructions as to the proper use of the compound. We recommend having anti-oxidant paste added to prevent corrosion. Although neither the National Electrical Code nor the panel manufacturer may require this, our State Licensing Board obligates us to note this as a deficiency.

Recommendation: Contact a qualified professional.



3: White Lead(s) / Conductor(s) Improperly Color Coded

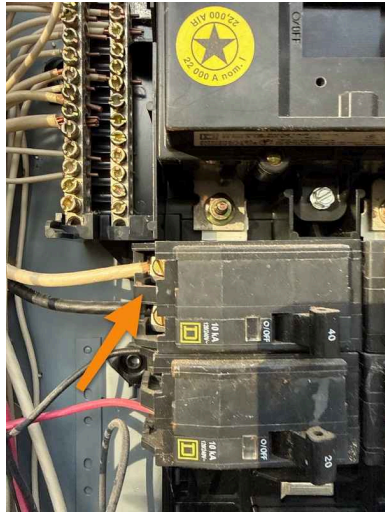
🔴Repair/Replace

One or more electrical conductors were improperly identified. Wires are typically color coded with white sheathing indicating neutral, green or bare wires indicating grounds, and black or red indicating hot. It is most common to see white wire leads providing power to appliances and HVAC system. We recommend having conductors appropriately marked. This can usually be accomplished with a piece of electrical tape or partially marking the wire with a marker.

Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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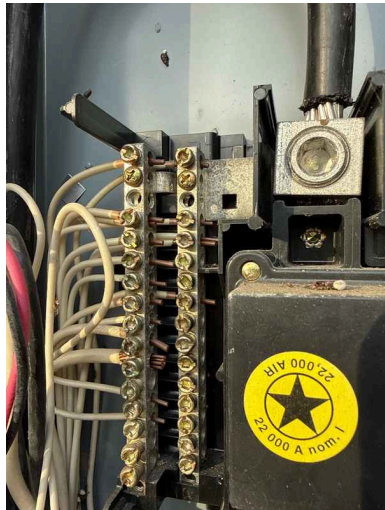


4: Double Tapping on Neutral Bus Bar

🔧 Repair/Replace

Double-tapping, a condition commonly used to describe multiple conductors being installed under the same terminal, was found at a neutral bus bar. In 2002, the National Electrical Code changed the standards to discontinue this practice. Houses built prior to 2002 were not required to change their panels; however, if any electrical work is done on the panel, it will typically be required for the electrician to bring this condition into compliance.

Recommendation: Contact a qualified professional.



B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring: Romex, Copper

Comments:

1: Closet /Garage Globe Missing

⚠️ Safety Hazard

I	NI	NP	D
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Today's standards require having a globe cover protecting closet light fixtures. We recommend making the upgrade for improved safety.

Recommendation: Contact a qualified professional.



2: Exterior Outlet / Switch Needs Weatherproof Housing

🔧Repair/Replace

Today's standards typically require exterior outlets/switches exposed to the elements to be housed in a bubble - style cover. We recommend to upgrade or repair covers as needed.

Recommendation: Contact a qualified electrical contractor.



Example Rear Exterior

D. Smoke/ Carbon Monoxide Detectors

Informational :

The following deficiencies (if any) with the **smoke, fire, and carbon monoxide detectors** were observed on the day of the inspection of this structure and are noted below.

I	NI	NP	D
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We recommend checking the alarms quarterly and replacing the batteries at least every six months to make sure they operate properly. We recommend replacing the some/ carbon monoxide system every 10 years.

Smoke Alarm Information:

Smoke Alarms Information:

Smoke alarms are required for each sleeping room and (1) outside of each sleeping room(s), and one per level including habitable attics and basements. It is recommended to test the smoke alarms before spending your first night in the home, and monthly thereafter. Several other recommendations relating to smoke alarms and fire safety are recommended by the NFPA, and can be found here:

<http://www.nfpa.org/public-education/by-topic/smoke-alarms/installing-and-maintaining-smoke-alarms>

Carbon Monoxide Detectors :

Carbon Monoxide Alarm Required

If the structure has an attached garage and/or gas appliances, the installation of Carbon Monoxide (CO) detectors are required outside of each sleeping area. More information about CO detectors and their requirements can be found here: [Info about CO](#)

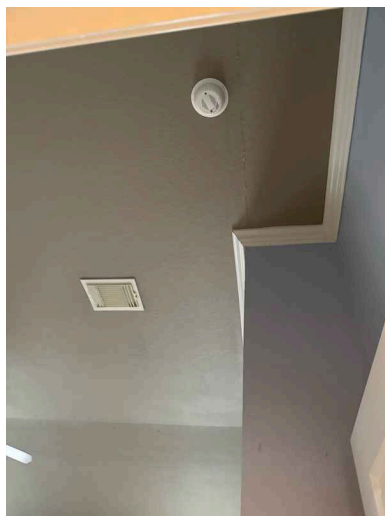
Comments :

1: Smoke Detector Failed Test

▲Safety Hazard

Smoke detectors failed to sound when tested. Recommend to replace batteries and retest.. further repairs may be required.

Recommendation: Contact a qualified professional.



Example Primary Bedroom



Example Guest Bedrooms

E. Doorbell

Comments :

The following deficiencies (if any) with the **doorbell** were observed on the day of the inspection of this structure and are noted below.

Ring Door Bell Not Tested :

Testing functions of these devices is beyond the scope of a typical home inspection and requires access to special software applications. Often times.

I=Inspected **NI=Not Inspected** **NP=Not Present** **D=Deficient**

I	NI	NP	D
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I	NI	NP	D
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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

A. Heating Equipment

Type of Systems: Gas-Fired Heat, Central Air, Forced Air

Energy Sources: Natural Gas

Unit 1: Photo of hot air temperature, Photo Manufactures Label



Comments:

All repairs listed in this section should be performed by a licensed HVAC technician. Inspectors are not licensed HVAC technicians and additional deficiencies may be identified by licensed professionals that are beyond our scope and qualifications.

1: Improper installation of the sediment trap

➔Repair/Replace

The set of that trap for the furnace was installed in properly recommend repair by a licensed professional

Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



B. Cooling Equipment

Type of Systems: Central Air Conditioner, Electric

Unit 1: Photo of condenser data plate, Photos of thermostat upon arrival and departure, Photo of evaporator data plate, Photo of condenser

Delta T Result: Degrees F



Start



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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End

Comments:

All repairs listed in this section should be performed by a licensed HVAC technician. Inspectors are not licensed HVAC technicians and additional deficiencies may be identified by licensed professionals that are beyond our scope and qualifications.

Low Temperature:

The air-conditioning system was not turned on due to the outside temperature being below the safe operating temperature of 60 degrees F. Operating the system would risk damage.

We recommend having this further evaluated by a licensed HVAC tech.

Testing Delta T : Testing the differential temperature of the supply (vent) air and the return (ambient) air is the best test available (without releasing gasses into the environment) for diagnosing the present condition of the air conditioning equipment. The normal range is between 15.° f. & 22.° f. For a complete evaluation of the system, we recommend having the entire system inspected by a licensed, professional, competent and qualified HVAC technician.

1: Organic growth on drain line

🔴Repair/Replace

Organic growth was noted on the primary condensate drain line. We recommend having this cleaned and adding insulation to prevent excess condensation on the exterior of the pipe and future mold growth.

Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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2: Rusted evaporative drain pan.

🔴Repair/Replace

Rusted drain pans can be an indication of the primary line being clogged or a system not operating efficiently. Recommend to have evaluated and repaired by a licence HVAC technician. Replacement of the drain pan and flushing of the lines may be required.

Recommendation: Contact a qualified HVAC professional.



C. Duct Systems, Chases, and Vents

Comments:

All repairs listed in this section should be performed by a licensed HVAC technician. Inspectors are not licensed HVAC technicians and additional deficiencies may be identified by licensed professionals that are beyond our scope and qualifications.

1: Duct Work Not Supported

🔴Repair/Replace

The ducts are not supported. The ducts should be suspended from the rafters/trusses. Recommend to repair.

Recommendation: Contact a qualified HVAC professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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I	NI	NP	D
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IV. PLUMBING SYSTEMS

- A. Plumbing Supply, Distribution Systems, and Fixtures**

Photo of Location of Water Meter: Front Yard



Photo of Location of Main Water Supply Valve : Garage interior wall



Photo of Type of Supply Piping Material: PVC, CPVC



Photo of Static Water Pressure Reading: 50 PSI



Comments:

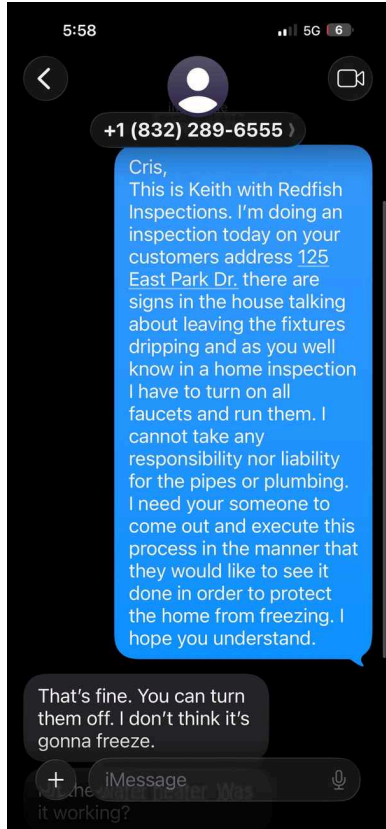
Inspectors are not licensed plumbers and additional deficiencies may be identified by qualified specialists that are beyond our scope and qualifications.

Signs in the home indicating dripping pipes for freezing:

When I arrived at the home, there were signs indicating that the water was dripping at the faucets to help eliminate freezing. I texted the listing agent informing him that I was not going to drip the faucets and someone needed to come out and do that if they were worried about freezing. Please find the realtors response in the photos below.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I NI NP D



1: Caulk around toilet

🔴Repair/Replace

Recommend sealing toilet to the floor.

Recommendation: Contact a qualified professional.



Example Guest Bathroom

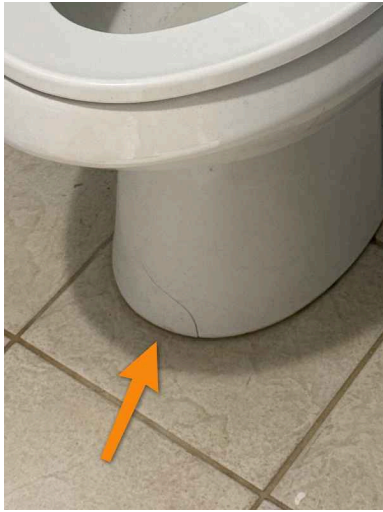
2: Toilet Cracked

🔴Repair/Replace

I	NI	NP	D
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The toilet is cracked and should, ideally, be replaced.

Recommendation: Contact a handyman or DIY project



Example Primary Bathroom

B. Drains, Wastes, and Vents

Material Type: PVC

Photo of the Location of sewer drain cleanout: Front



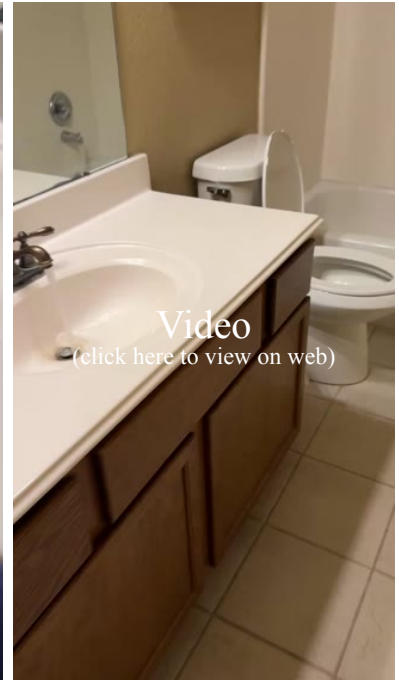
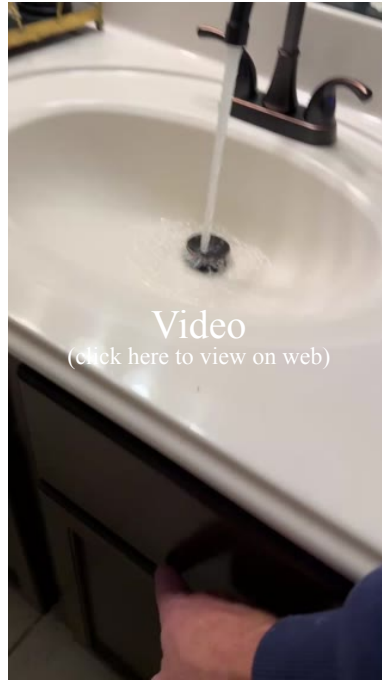
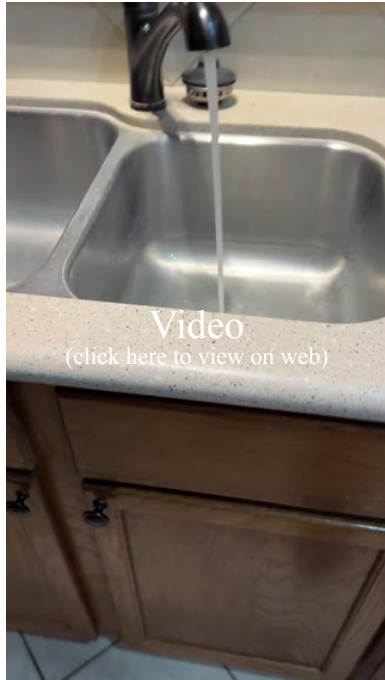
Every 18 to 22 months:

A good general rule is to have the sewer lines cleaned out every 18 to 22 months.

Functional Flow Videos: Videos

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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Comments:

C. Water Heating Equipment

Water Heater Drain Pan Debris:

It is not uncommon for insulation or other debris to enter into the drain pan. We recommend to clean drain pan upon move in and then reinspect annually.

Energy Source: Gas

Location: Garage

Photos Unit 1: Hot water temperature, Manufacture Label, Top of Unit Capacity



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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Comments:

Inspectors are not licensed plumbers and additional deficiencies may be identified by licensed specialists that are beyond our scope and qualifications.

TPRV Valve:

Due to the age of the unit or other conditions which could damage the water heater or surrounding structure, the temperature pressure relief valve was not operated. These valves should be reinspected at least once every 3 years by a licensed plumbing contractor or authorized inspection agency, to ensure that the product has not been affected by corrosive water conditions and to ensure that the valve and discharge line have not been altered or tampered with illegally. Certain naturally occurring conditions may corrode the valve or its components over time, rendering the valve inoperative. Such conditions are not detectable unless the valve and its components are physically removed and inspected. Do not attempt to conduct this inspection on your own. Contact your plumbing contractor for a reinspection to assure continuing safety. **FAILURE TO REINSPECT THIS VALVE AS DIRECTED COULD RESULT IN UNSAFE TEMPERATURE OR PRESSURE BUILD-UP WHICH CAN RESULT IN SERIOUS INJURY OR DEATH AND/OR SEVERE PROPERTY DAMAGE.**

TPRV Testing

1: Drain Pan - Missing Drain Line

🔴Repair/Replace

The water heater safety pan terminated in the room and did not have a drain line to the exterior. We recommend having a drain line installed to prevent damage to the structure in the event of a leak.

Recommendation: Contact a qualified professional.

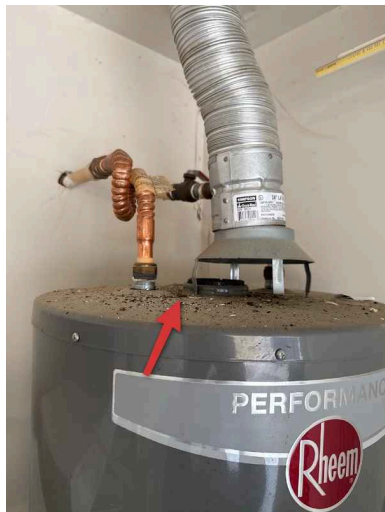


2: Exhaust Flue - Improper

▲ Safety Hazard

The gas-fired water heater exhaust flue was improper and needed correction at the time of the inspection. We recommend having this repaired.

Recommendation: Contact a qualified professional.



3: Rotten egg smell (water heater)

⊖ Repair/Replace

The source of rotten egg smell appeared to be the water heater as the odor was apparent when hot water was run. We recommend inspection and any necessary disinfection of the water heater be performed.

Recommendation: Contact a qualified professional.

4: Water heater gurgling at the time of the inspection

⊖ Repair/Replace

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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During the inspection while water testing, the water heater was gurgling. this can be an indication of sediment buildup. Recommend draining the water heater and reevaluating by license professional.

Recommendation: Contact a qualified professional.



F. Gas Distribution Systems and Gas Appliances
Location of Gas Meter: Right Exterior Wall



Type of Gas Distribution Piping Material: Black Steel
Comments:

G. Sewer Scope

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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Client Approved Sewer Scope: The main sewer line from the point of entry toward the public connection was inspected. We recommend having regular maintenance/inspection performed every three to five years and cleaned as needed.

Photo of Sewer Scope Point of Entry: Main Cleanout



Material Type: PVC -

The main drain line appeared to be made of the following material(s).

Photos of Sewer Scope: Photos of sewer scope



Comments:

Sewer Scope Inspection:

The main lateral line sewer scope will be conducted only when a readily accessible cleanout can be located and opened. Cleanouts located in crawlspaces will require necessary clearance to safely transport and operate the equipment without damaging the property, equipment, or operator.

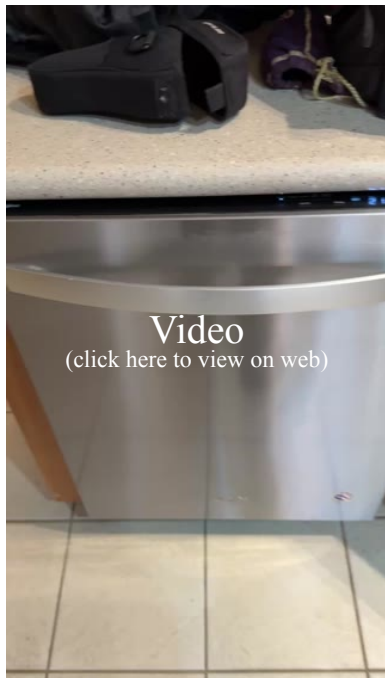
The Main Line Sewer Scope Inspection is limited to the main drain line between the building and the city sewer line when readily accessible. The inspector will attempt to traverse as far as possible beneath the structure through the main sewer line but this can often be limited by design/layout of the drain system. This inspection does not include scoping all drain lines under the building. The camera equipment may not reach the public connection depending on condition and design of the pipe.

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V. APPLIANCES

A. Dishwashers

Video of Unit Operating: Video



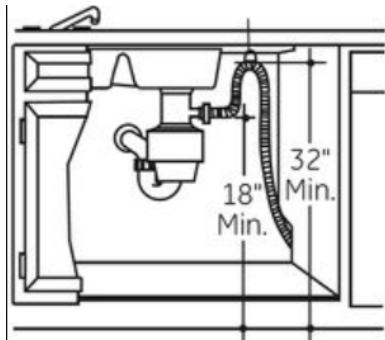
Comments:

1: High Loop / Air Gap - Missing or Improperly Installed

🔴Repair/Replace

The dishwasher drain line (discharge hose) did not have a properly installed air gap or a high loop. The dishwasher drain line usually attaches to the garbage disposal. The drain line should either arch above the level of the sink drain, have an anti-siphon valve, or have a vacuum break. This keeps debris in the disposal from siphoning back to the clean dishes. We recommend the drain line be elevated or a back flow device installed.

Recommendation: Contact a qualified plumbing contractor.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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B. Food Waste Disposers

Videos:

Videos of each unit being operated



Comments:

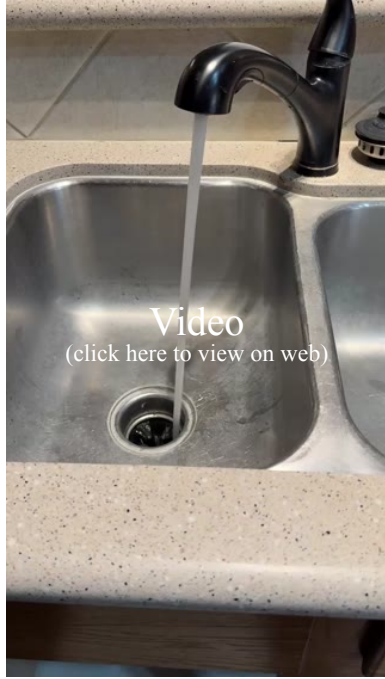
1: Excessive Noise

🔴Repair/Replace

The garbage disposal was excessively noisy, may have worn components and may need to be replaced soon.

Recommendation: Contact a qualified professional.

I	NI	NP	D
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C. Range Hood and Exhaust Systems
Video Operating:



Recirculating Vent:
The range top had a re-circulating vent. The air is filtered through, and then re-deposited into the kitchen. While typically not required, it is generally considered more beneficial for these appliances, especially ones

I NI NP D

that use gas, to have a flue which is terminated outside of the house to remove combustion products, moisture, grease, and heat. The installation of a flue will also lower your electric bill during the hot months.
Comments:

1: Installation Incomplete

🔴Repair/Replace

Installation of the range hood vent was incomplete at the time of the inspection. We recommend having this further evaluated for functionality once installation has been completed.

Recommendation: Contact a qualified professional.



D. Ranges, Cooktops, and Ovens

Photo of Oven Temperatures :



Overview of Cooktop Burners on High:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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Comments:

1: Anti-tip Device Missing

▲ Safety Hazard

The range was not properly secured to the surrounding cabinet or wall. Children can tip the oven over if the door is used as a stepping stool. All ovens are now required to be secured in some fashion. An anti-tip device should be installed.

Recommendation: Contact a qualified professional.

2: Bad Digital Display

🔴 Repair/Replace

The digital display at the oven was not operating as designed and made it difficult to read. We recommend repair.

Recommendation: Contact a qualified professional.

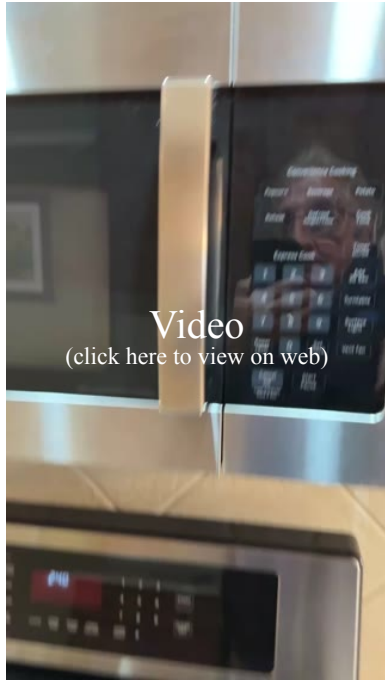


E. Microwave Ovens

Video of Operation and Turntable Spinning:

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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Comments:

F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

1: Bath Fan Vented in Attic

🔴Repair/Replace

One or more bathroom exhaust vents terminated in the attic space. This condition is improper and will introduce excessive amounts of moisture to the attic space. Excessive moisture deposited into the attic may result in damage to home materials from decay or lead to organic growth. Exhaust vents should terminate at the home exterior. We recommend correction by a qualified contractor.

Recommendation: Contact a qualified professional.

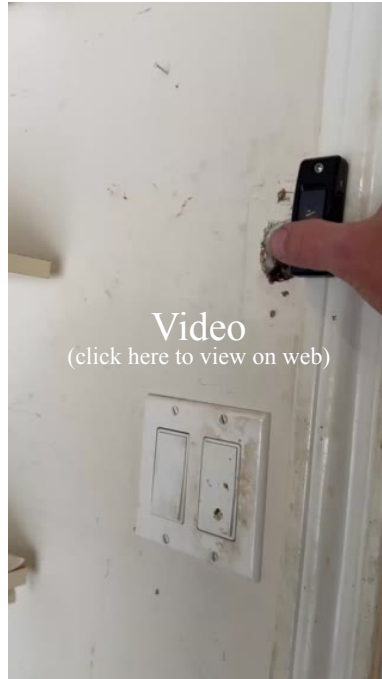
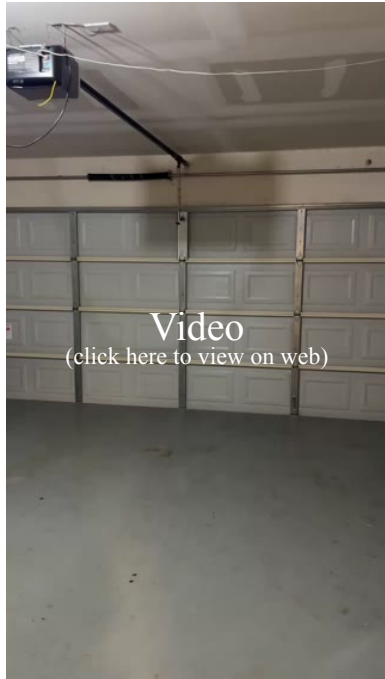


I=Inspected NI=Not Inspected NP=Not Present D=Deficient

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G. Garage Door Operators

Video of Units Being Operated:



Comments:

1: Auto Reverse Sensor Not Working

▲Safety Hazard

The auto reverse sensor was not responding at time of inspection. This is a safety hazard to children and pets. Recommend a qualified garage door contractor evaluate and repair/replace.

Recommendation: Contact a handyman or DIY project

2: Photo Sensor Not Working

▲Safety Hazard

The electronic sensor for the garage door opener did not automatically reverse the closing of the garage door when tested. There is a serious risk of injury, particularly to children, under this condition. This should be repaired immediately.

Recommendation: Contact a handyman or DIY project

H. Dryer Exhaust Systems

Clean vent Annually:

Experts say dryer exhaust vents should be inspected and cleaned at least once a year. Depending on the size of the household and dryer usage more frequent cleaning may be required. We recommend to clean and remove any debris from vents before move in.

Photo of Dryer Vent:

I	NI	NP	D
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Comments:

1: Dryer Vent Dirty

▲ Safety Hazard

The dryer vent had lint build up on the interior of the exhaust duct. This in turn could lead to clogging of the dryer vent, preventing proper drying of the clothes and overheating of the dryer, which are potential fire hazards. We recommend having the dry vent cleaned.

Recommendation: Contact a qualified professional.



2: Improper Vent Connector Material

🔴 Repair/Replace

Dryer vent installed using improper vent connector material.

Recommendation: Contact a qualified professional.



I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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J. Refrigerators

Unit 1 Refrigerator/Freezer : Thermal Temperature readings, Photo of Refrigerator Cool Temperature, Photo of Ice Maker, Video of Water/Ice Dispenser, Photo of Freezer Cool Temperature



Comments:

Refrigerator Not Present:

Inspectors do not test water shut off valves to the refrigerator.

1: Water filter needs replacing

🔴Repair/Replace

Recommendation: Contact a qualified professional.

I=Inspected NI=Not Inspected NP=Not Present D=Deficient

I	NI	NP	D
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I	NI	NP	D
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VI. OPTIONAL SYSTEMS

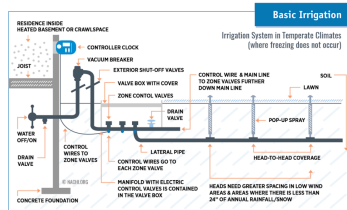
A. Landscape Irrigation (Sprinkler) Systems

Photo of Control Panel:



Comments:

All Repairs Listed should be performed by a qualified irrigation company.



1: Absence of Rain or Moisture Sensor

🔴Repair/Replace

Unable to locate or determine if rain or moisture sensor has been installed. Recommend further assessment by a lawn irrigation company.

Recommendation: Contact a qualified professional.

2: Back Flow Device Missing

⚠️Safety Hazard

The sprinkler is missing the back flow device. Recommend to repair.

Recommendation: Contact a qualified landscaping contractor

3: System Inoperable

🔴Repair/Replace

Could not get lawn sprinklers to work. Contact manufacturer or lawn sprinkler company.

Recommendation: Contact a qualified landscaping contractor