

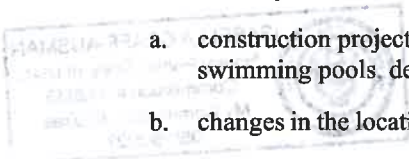
T-47 RESIDENTIAL REAL PROPERTY AFFIDAVIT

Date: June 6th 2025 GF No. _____
Name of Affiant(s): Helen Quimby
Address of Affiant: 8408 Grand Lake Estates
Description of Property: 8408 Grand Lake Estates Drive, Montgomery, TX 77316
County: Montgomery County, Texas
Date of Survey: 3/22/2017

"Title Company" as used herein is the Title Insurance Company whose policy of title insurance is issued in reliance upon the statements contained herein.

Before me, the undersigned notary for the State of Utah, personally appeared Affiant(s) who after by me being duly sworn, stated:

- 1. I am an owner of the Property. (Or state other basis for knowledge by Affiant of the Property, such as lease, management, neighbor, etc. For example, "Affiant is the manager of the Property for the record title owners.")
- 2. I am familiar with the property and the improvements located on the Property.
- 3. I am closing a transaction requiring title insurance and the proposed insured owner or lender has requested area and boundary coverage in the title insurance policy(ies) to be issued in this transaction. I understand that the Title Company may make exceptions to the coverage of the title insurance as Title Company may deem appropriate. I understand that the owner of the property, if the current transaction is a sale, may request a similar amendment to the area and boundary coverage in the Owner's Policy of Title Insurance upon payment of the promulgated premium.
- 4. To the best of my actual knowledge and belief, since Date of the Survey, there have been no:
 - a. construction projects such as new structures, additional buildings, rooms, garages, swimming pools, decks, or other permanent improvements or fixtures;
 - b. changes in the location of boundary fences or boundary walls;
 - c. construction projects on immediately adjoining property(ies) which construction occurred on or near the boundary of the Property;
 - d. conveyances, replattings, easement grants and/or easement dedications (such as a utility line) by any party affecting the Property.





EXCEPT for the following (If None, Insert "None" Below):

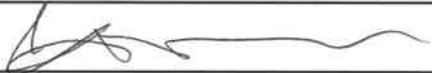
none

- 5. I understand that Title Company is relying on the truthfulness of the statements made in this Affidavit to provide the area and boundary coverage and upon the evidence of the existing real property survey of the Property. This Affidavit is not made for the benefit of any other parties and this Affidavit does not constitute a warranty or guarantee of the location of improvements.

6. I understand that I have no liability to Title Company should the information in this Affidavit be incorrect other than information that I personally know to be incorrect and which I do not disclose to the Title Company.

<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed:</p> <p></p> <p>Affiant</p>	<p>I declare under penalty of perjury that the foregoing is true and correct.</p> <p>Signed:</p> <p></p> <p>Affiant</p>
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SWORN AND SUBSCRIBED this 6th day of June, 2025.



Notary Public



CF NO. 36142-04186 GREAT AMERICAN TITLE
 ADDRESS: 8408 GRAND LAKE ESTATES DRIVE
 MONTGOMERY TEXAS 77316
 BORROWER: HELEN (ANNETTE) QUIMBY

**LOT 2, BLOCK 2
 GRAND LAKE ESTATES, SECTION 1**

SUBDIVISION IN MONTGOMERY COUNTY, TEXAS
 ACCORDING TO THE MAP OR PLAN THEREOF RECORDED
 IN CABINET M, SHEET 180 OF THE MAP AND/OR PLAN
 RECORDS OF MONTGOMERY COUNTY, TEXAS

NOTE: MICHELL ENERGY CORPORATION PER OF ACCT. 6589715 & 9691801



THIS PROPERTY DOES NOT LIE WITHIN THE
 DRAINAGE DISTRICT OF MONTGOMERY COUNTY,
 TEXAS. THE PROPERTY IS NOT SUBJECT TO
 ANY REVENUE OR TAXES PER FROM
 THE STATE OF TEXAS. THE PROPERTY IS
 BASED ONLY ON VISUAL EXAMINATION OF MAPS
 AND RECORDS OF FEASIBILITY REPORTS, EXACT
 DETERMINATION WITHOUT DETAILED FIELD STUDY.

A SUBSEQUENCE INVESTIGATION
 WAS BEYOND THE SCOPE OF THIS SURVEY.

D.C.L. = DIRECTIONAL CONTROL LINE
 RECORD BEARING CORNER II, SHEET 180, M.P.R.A.C.T.

DRAWN BY: VT



I HEREBY CERTIFY THAT THIS SURVEY WAS MADE
 IN ACCORDANCE WITH THE RULES AND REGULATIONS
 GOVERNING THE PRACTICE OF SURVEYING IN THE
 STATE OF TEXAS AND THAT THERE ARE NO
 UNDISCLOSED INTERESTS IN THIS SURVEY
 EXCEPT AS SHOWN HEREON. THIS SURVEY IS
 RESTRICTED TO THE SPECIFIC PURPOSE ONLY AND
 ANY OTHER USE OF THIS SURVEY WITHOUT THE
 REFERENCED TITLE COMMITMENT WAS HELD
 UPON IN PREPARATION OF THIS SURVEY.

GEORGE J. DALE
 LICENSE NO. 4678
 MARCH 22, 2017

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PRECISION
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RUTH STULTZ
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