

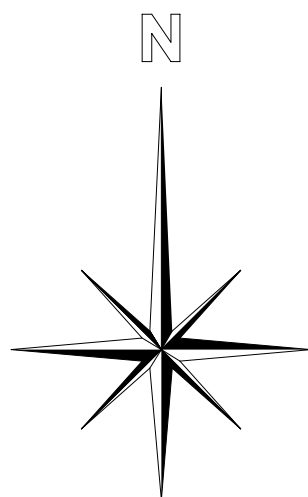


Farshad Residence

GRADING NOTE:

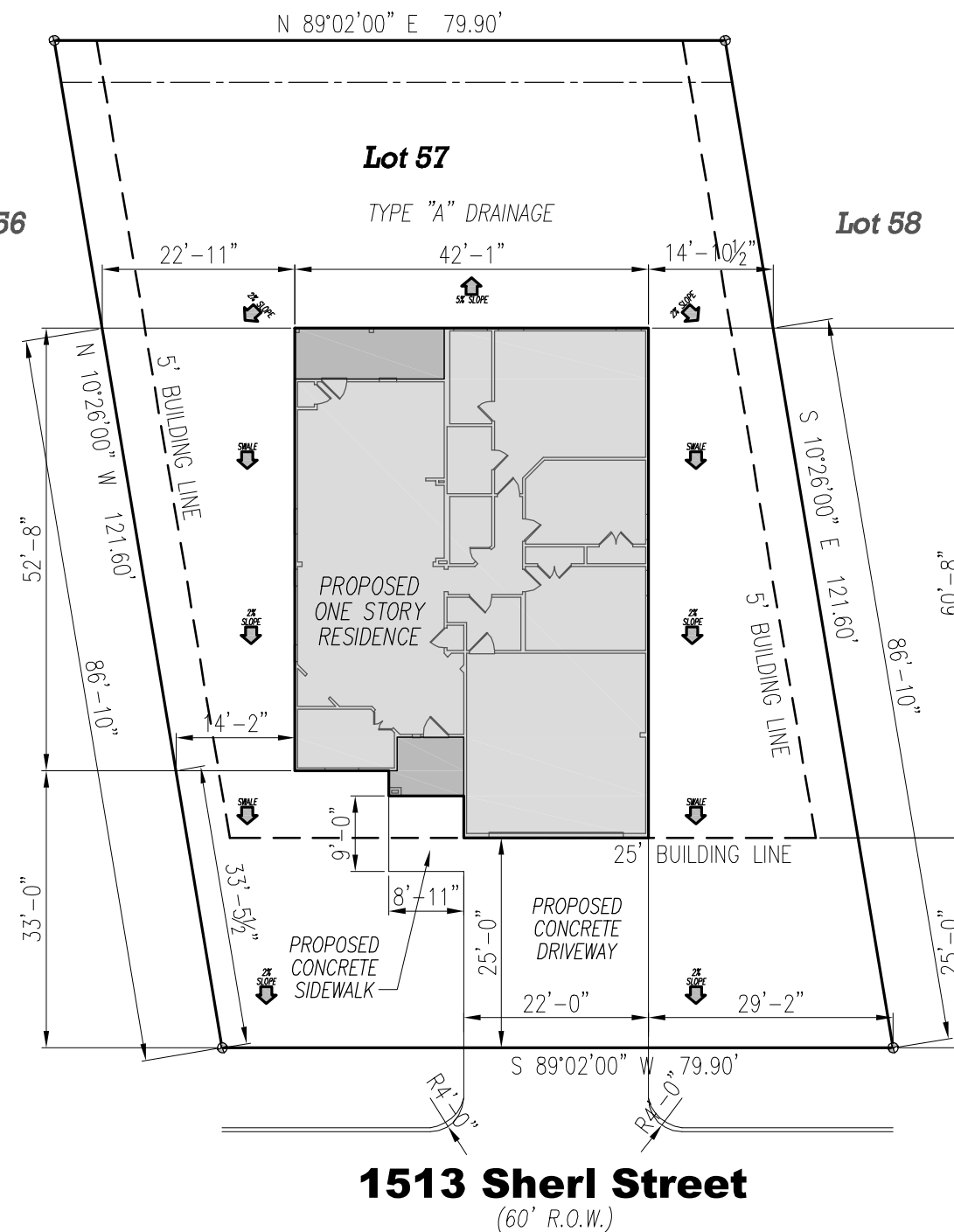
Owner and/or contractor will provide additional fill dirt towards rear of property so as to raise rear of property and lower in front so as to drain water towards front of property.

**Legal Description:
Lot 57, Golden Acres
Subdivision
Galveston County**



***NOTE:
Top of finished floor slab to be a minimum of 12" above the center of the street (and/or per City of League City requirements.)**

***** Contractor shall provide positive drain flow to front of property towards street by providing swales from behind new structure and between properties.**



Site Plan Scale : 1" = 20'0"

Project Scope:

Total Living Area = 1,774 Sq. Ft.
Covered Porch Areas = 165 Sq. Ft.
Total Garage Area = 481 Sq. Ft.
Total Slab Area = 2,420 Sq. Ft.

Drawn by - A.Marin
Drawn - 06/12/22



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aarongmarin@gmail.com

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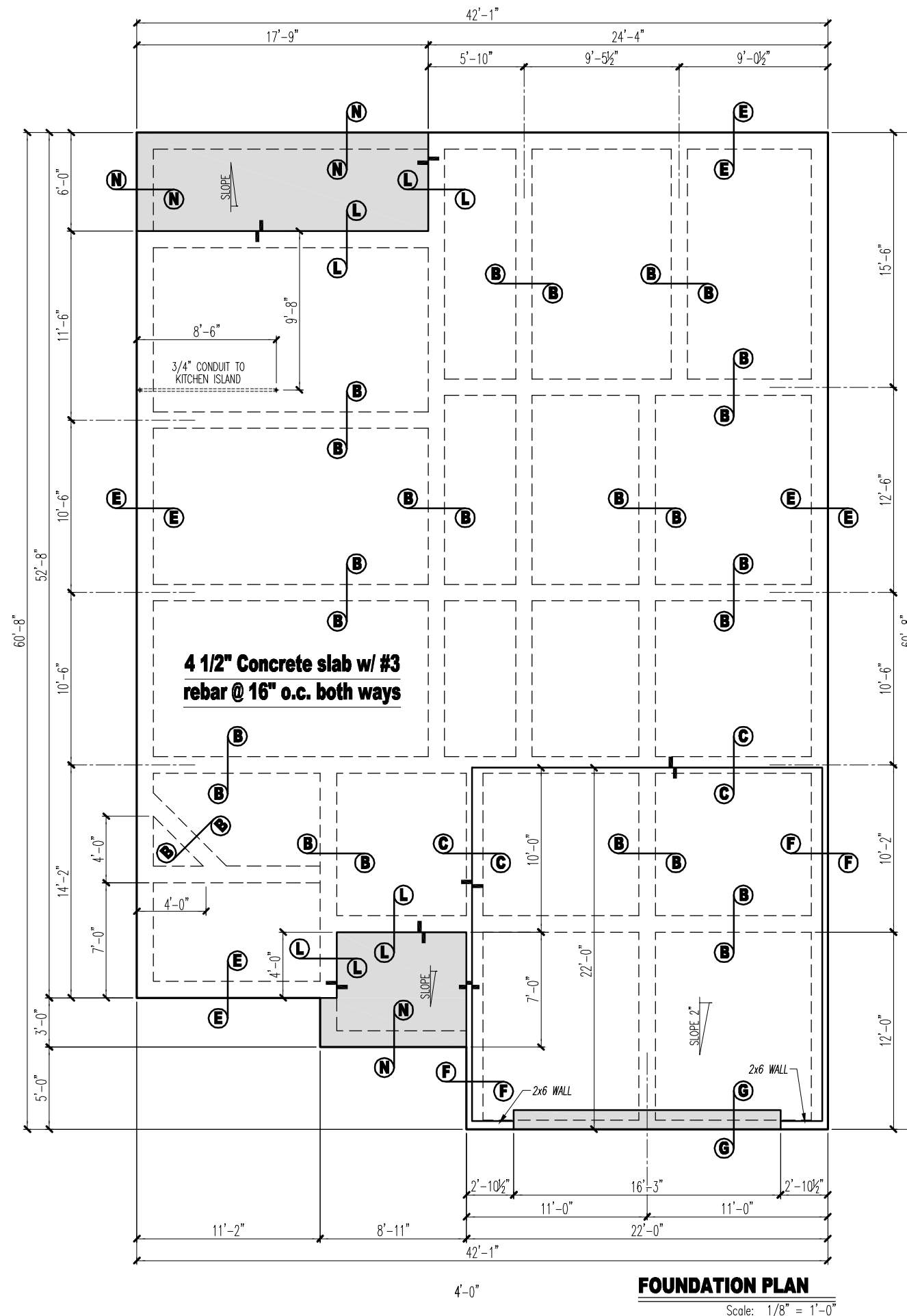
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Office: (281) 286-2000
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Owner Info:

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WINDSTORM INLAND II



07-15-2022



07-15-2022

***FOUNDATION NOTES:**

A. STANDARDS AND CODES.

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE DETAILING AND ACI 318-89.

B. MATERIALS.

1. PORTLAND CEMENT - A.S.T.M. SPEC C150, LATEST EDITION, TYPE 1.
2. AGGREGATES SHALL CONFORM TO A.S.T.M. SPEC C33-46 AND C40.
3. VAPOR BARRIER 6 MIL. POLY.
4. REINFORCING BARS DEFORMED NEW BILLET STEEL A.S.T.M. A615, GRADE 60, WIRE MESH A.S.T.M. A185.
5. AIR ENTAINING ADMIXTURE A.S.T.M. C-260.
6. CEMENT FOR WALKS TO BE AIR ENTAINING A.S.T.M. C-175, TYPE I-A.
7. CONCRETE MIX - CONCRETE STRENGTH SHALL BE 3,000psi A.S.T.M. AND ACI613, 28 DAY CYLINDER TEST.

C. PLACING.

1. PROVIDE MESH OR BARS IN ALL CONCRETE SLABS AS NOTED ON DRAWINGS.
2. INTERIOR SLABS, SMOOTH STEEL TROWEL FINISH.
3. EXTERIOR WALKS AND PAVING, BROOM FINISH.
4. PLACE CONCRETE FLOORS OF THICKNESS SHOWN, SLOPE AND PITCH TO LEVELS SHOWN ON FLOOR DRAINS.
5. MAINTAIN TEMPERATURE ABOVE 32 DEGREES FOR 72 HOURS AFTER PLACEMENT.
6. LAP REINFORCING BARS 42 DIA. MIN., LAP MESH 6", LAP VAPOR BARRIER 6" MIN.
7. REINFORCING STEEL COVERAGE SHALL BE AS FOLLOWS: FOOTINGS 2 1/2" SLABS ON GRADE 2 1/2" FROM BOTTOM, GRADE BEAMS 3" BOTTOM AND 2" TOP AND SIDES, FORMED BEAMS 1 1/2" SLABS ABOVE GRADE 3/4".
8. NO HORIZONTAL CONSTRUCTION JOINTS ALLOWED.
9. PROVIDE CORNER BARS IN THE OUTSIDE FACE OF EXTERIOR GRADE BEAMS TO MATCH THE HORIZONTAL STEEL TOP AND BOTTOM. AT ALL RE-ENTRANT CORNERS PLACE TWO #4 BARS X 4'-0" IN THE SLAB.

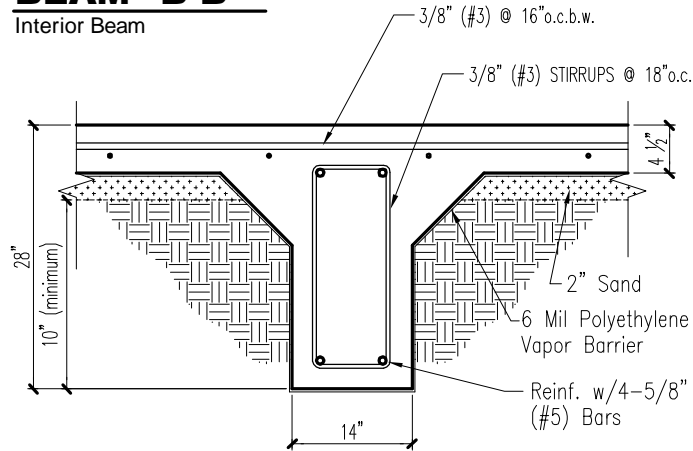
D. SOIL.

1. ALL SURFACE VEGETATION SHOULD BE STRIPPED FROM THE AREAS TO BE DEVELOPED.
2. COMPACTED FILL FOR SLABS ON GRADE SHALL BE SELECT EARTH FILL WITH A PLASTICITY INDEX BETWEEN 7 AND 20.
3. THE FILL SHOULD BE PLACED IN MAXIMUM LIFTS OF EIGHT INCHES AND COMPACTED TO 95% AS OBTAINED BY THE STANDARD PROCTOR COMPACTION TEST, A.S.T.M. D-698.
4. THE SLAB SHOULD BE BEDDED ON A LAYER OF SAND APPROX. 2" THICK.
5. FOOTING EXCAVATION SHALL BE PLUMB AND CLEAN, AND CONCRETE SHALL BE PLACED IMMEDIATELY AFTER EXCAVATION AND INSPECTION.

NOTES: FOUNDATION DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 1,500 P.S.F. AT DEPTH OF APPROXIMATELY 2'-0" BELOW NATURAL GRADE. CONTRACTOR OR OWNER IS TO FIELD VERIFY EXISTING SOIL BEARING CAPACITY AND DEPTH OF FOOTING REQUIREMENTS BY CONSULTING AN APPROVED QUALIFIED SOILS ENGINEER. ANY DISCREPANCIES THAT WOULD AFFECT THE FOUNDATION DESIGN SHOULD BE REPORTED TO FOUNDATION DESIGNER / ENGINEER.

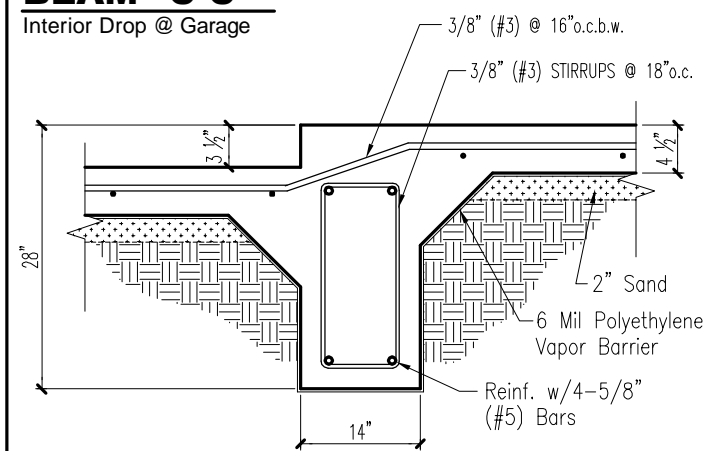
BEAM "B-B"

Interior Beam



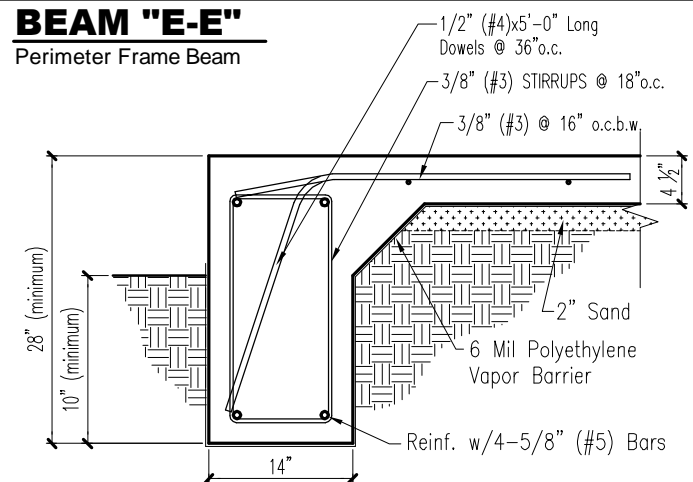
BEAM "C-C"

Interior Drop @ Garage



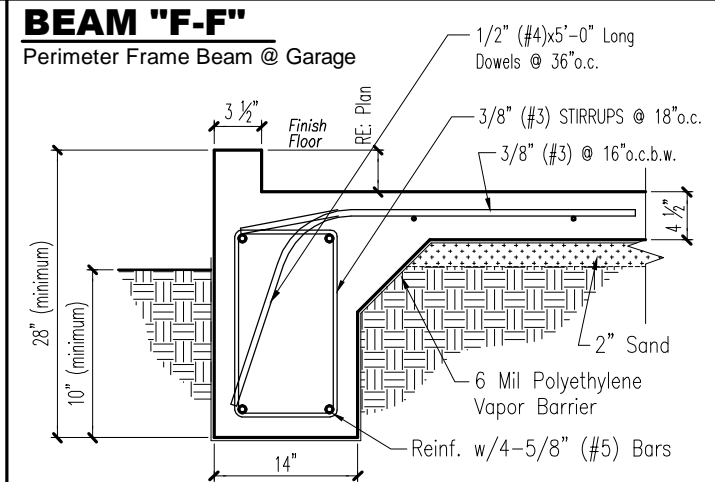
BEAM "E-E"

Perimeter Frame Beam



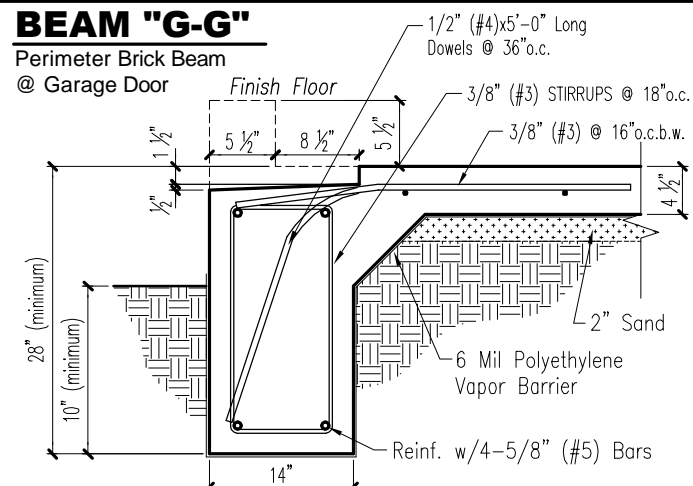
BEAM "F-F"

Perimeter Frame Beam @ Garage



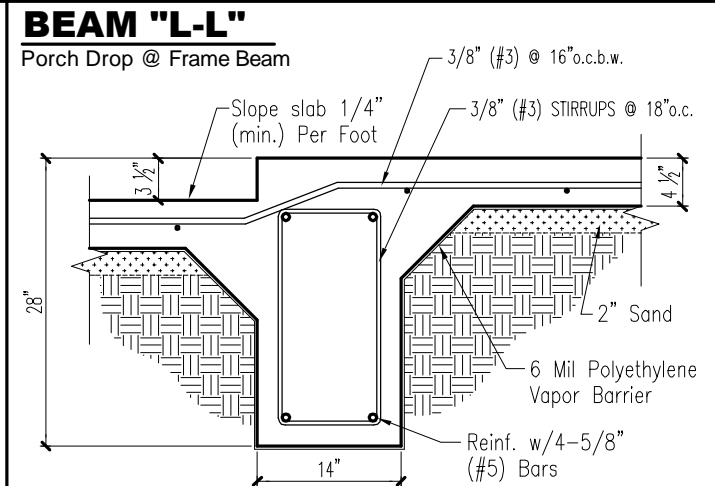
BEAM "G-G"

Perimeter Brick Beam @ Garage Door



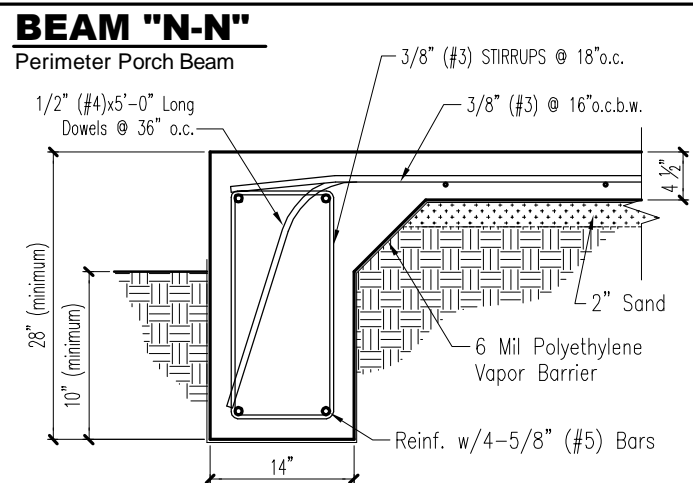
BEAM "L-L"

Porch Drop @ Frame Beam



BEAM "N-N"

Perimeter Porch Beam



BAR SIZE	MIN. LAP INCHES	MIN. RADIUS OF BENDS
#3	12"	15/16"
#4	12"	1 1/4"
#5	15"	1 9/16"
#6	20"	2 1/4"
#7	26"	2 5/8"
#8	35"	3"

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Drawn by - A.Marin
 Drawn - 06/12/22



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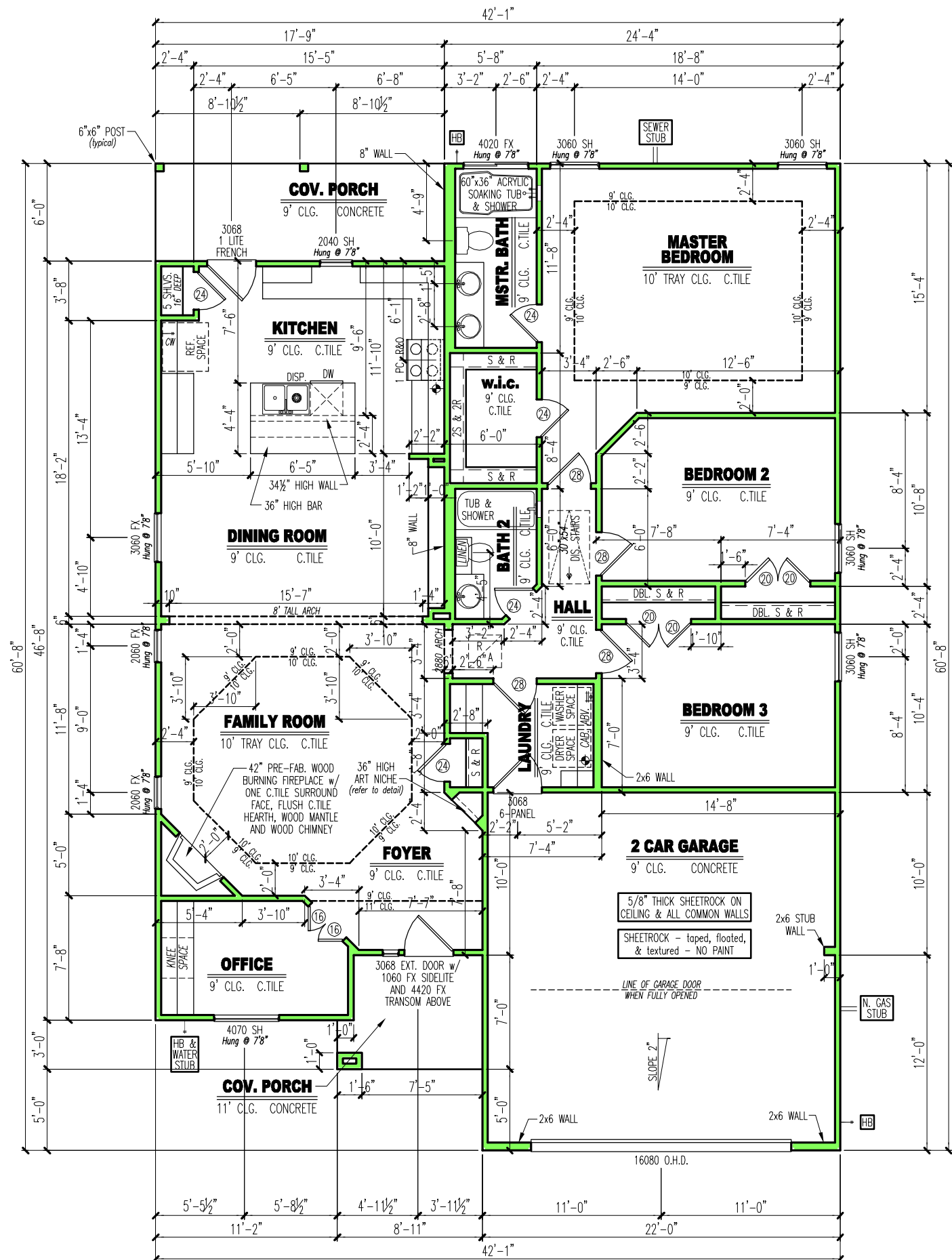
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 Galveston County

GENERAL NOTES:

UNLESS NOTED OTHERWISE

- ALL FRAMING LUMBER SHALL BE #2 K.D. S.Y.P.
- ALL TOE PLATES (DOWNSTAIRS ONLY ON MULTI-STORY HOME) SHALL BE WOLMANIZED.
- ALL VALLEYS, HIPS AND RIDGE MEMBERS SHALL BE MINIMUM 2x8
- ALL 2x4 STUD WALLS SHALL BE 16" ON CENTER AS PER IRC TABLE R602.3(5)
- DISAPPEARING STAIRS SHALL HAVE A MINIMUM OPENING OF 22"x30" AND A 350 lb. LADDER, 30" MINIMUM UNOBSTRUCTED HEADROOM SHALL BE PROVIDED IN THE ATTIC SPACE AT SOME POINT ABOVE THE ACCESS OPENING AS PER R807.1. ROUGH FRAME OPENING SHALL BE 30 1/2"x54 1/2"
- GYPSON BACKER AT ALL TUB AND SHOWERS LOCATIONS SHALL BE NONABSORBENT FINISH MATERIAL AND SHALL CONFORM WITH ASTM C 630 OR C 1178 AS PER IRC R702.4.2
- ELECTRIC SMOKE DETECTORS SHALL BE INSTALLED AT EACH SLEEPING ROOM AND OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AS PER IRC R317.1 AND EACH SMOKE DETECTOR SHALL BE INTERCONNECTED AND HARDWIRED WITH BATTERY BACKUP
- ALL EXTERIOR, GARAGE AND BATH RECEPTACLES TO HAVE GROUND-FAULT CIRCUIT-INTERRUPTOR
- INSULATION - SEE SPECIFICATIONS FOR TYPE. ALL INSULATION TO HAVE FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 AS PER IRC R320.1
- ALL FIRESTOPPING REQUIRED AS PER IRC R602.8 AND TO BE OF APPROVED MATERIALS PER IRC R602.8.1
- MASONRY VENEER SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION-RESISTANT METAL TIES. ANCHOR TIES OF STRAND WIRE SHALL NOT BE LESS IN THICKNESS THAN NO. 9 U.S. GAGE WIRE AND SHALL HAVE A HOOD EMBEDDED IN THE MORTAR JOINT. ANCHOR TIES OF SHEET METAL SHALL NOT BE LESS THAN NO. 22 U.S. GAGE BY 7/8" CORRUGATED. AS PER IRC R703.7.4.1
- ALL GLAZING IN HAZARDOUS LOCATIONS, SPECIFIED IN IRC R308.4 AND R308.4.1, SHALL PASS THE TEST REQUIREMENTS OF CPSC 16 CFR, PART 1201
- FOUNDATION ELEVATION IS TO BE 12" ABOVE THE NEAREST MANHOLE OR 4" ABOVE THE CROWN OF THE STREET, WHICHEVER IS HIGHER
- ALL BEDROOM (EGRESS) WINDOWS SHALL HAVE THE FOLLOWING PER IRC R310.1:
 - MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET
 - MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24"
 - MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20"



NOTE:
ALL ANGLED WALLS ARE AT 45° INCREMENTS.

FLOOR PLAN

Scale: 1/8" = 1'-0"

WINDSTORM INLAND II

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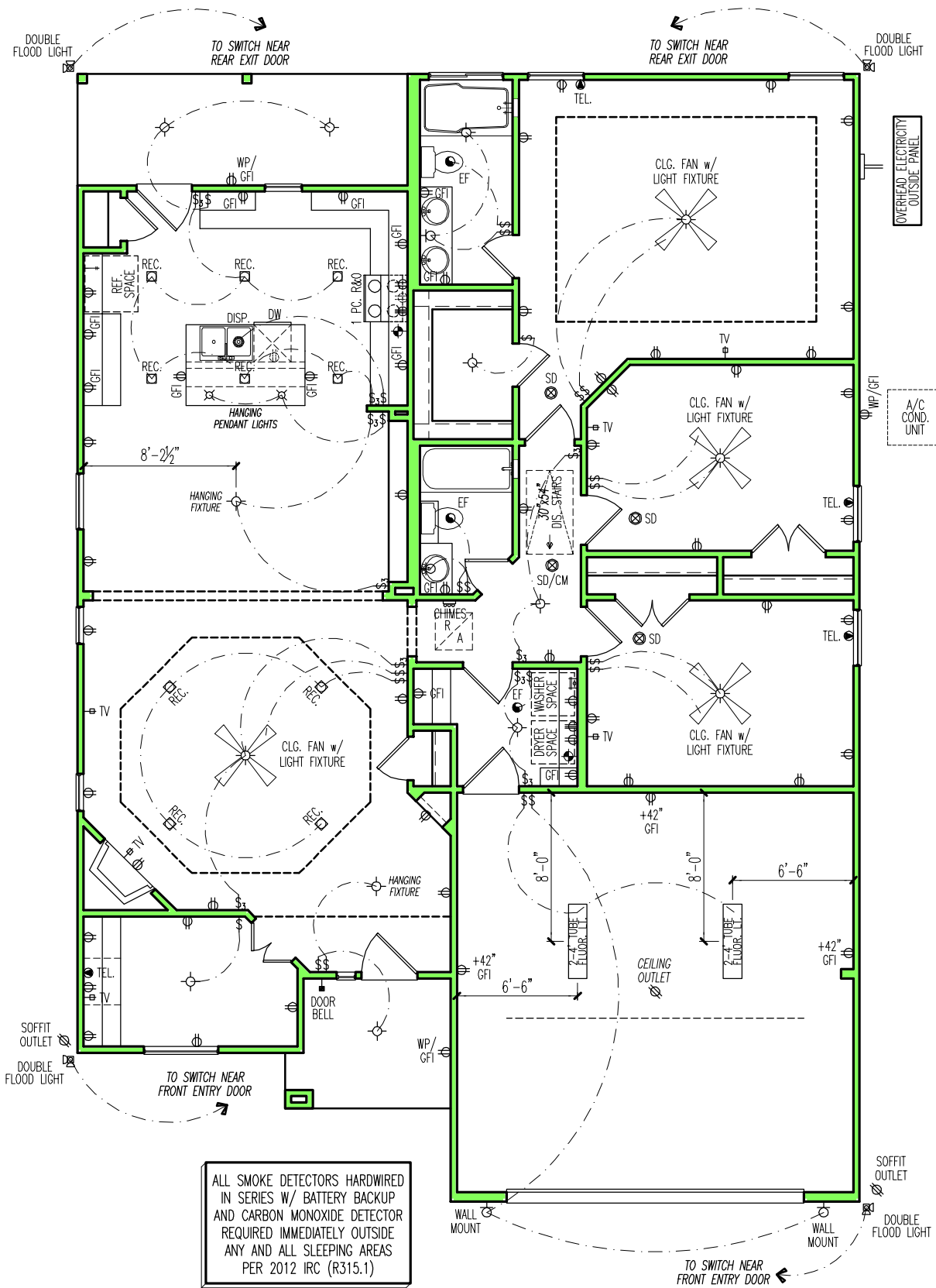


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ELECTRICAL PLAN

Scale: 1/8" = 1'-0"

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FRONT ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT ELEVATION

SCALE: 1/8" = 1'-0"

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Drawn - 06/12/22

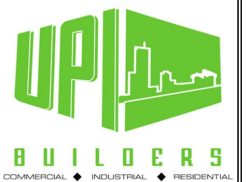


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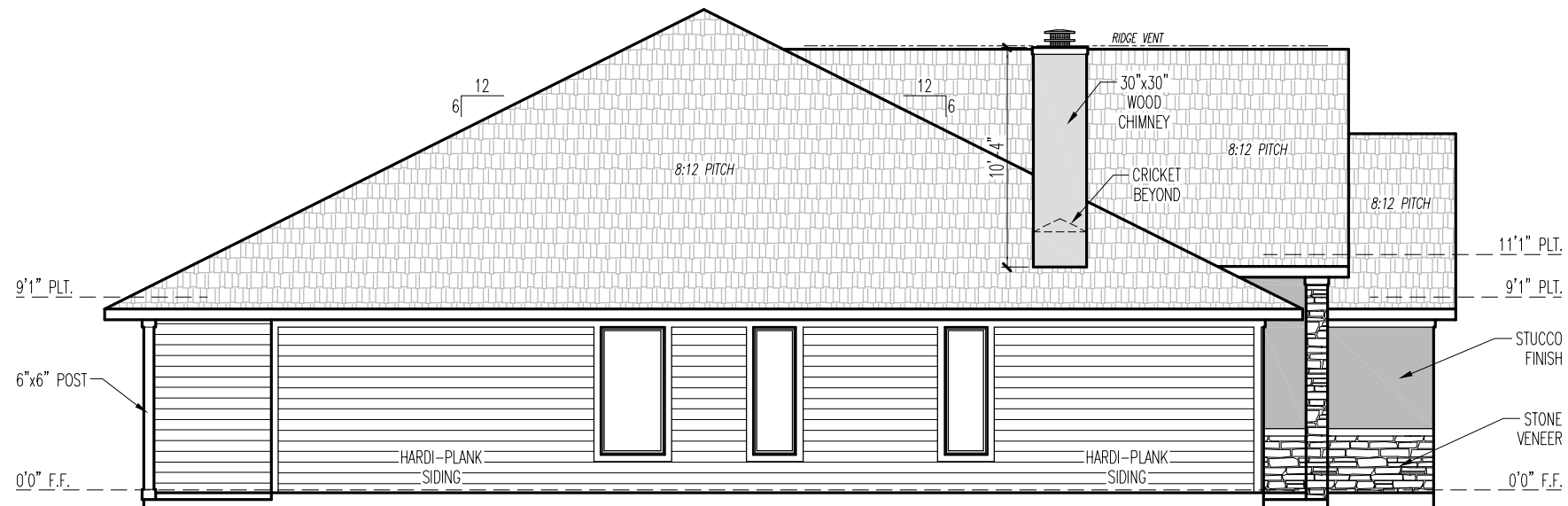
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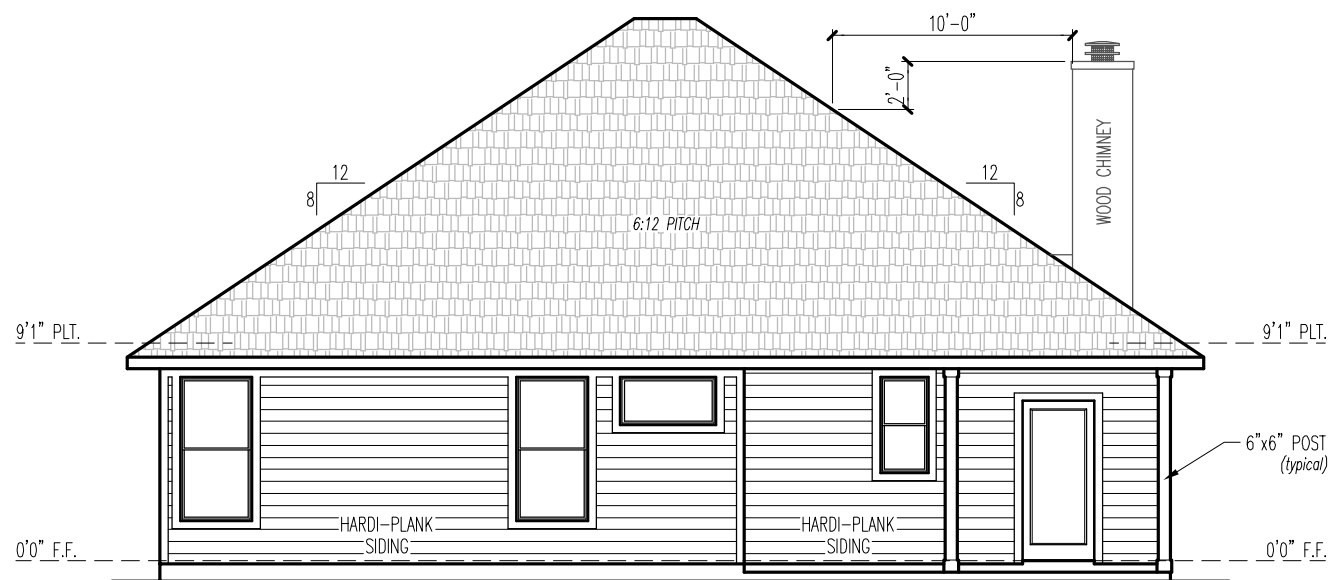
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LEFT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"

WINDSTORM INLAND II

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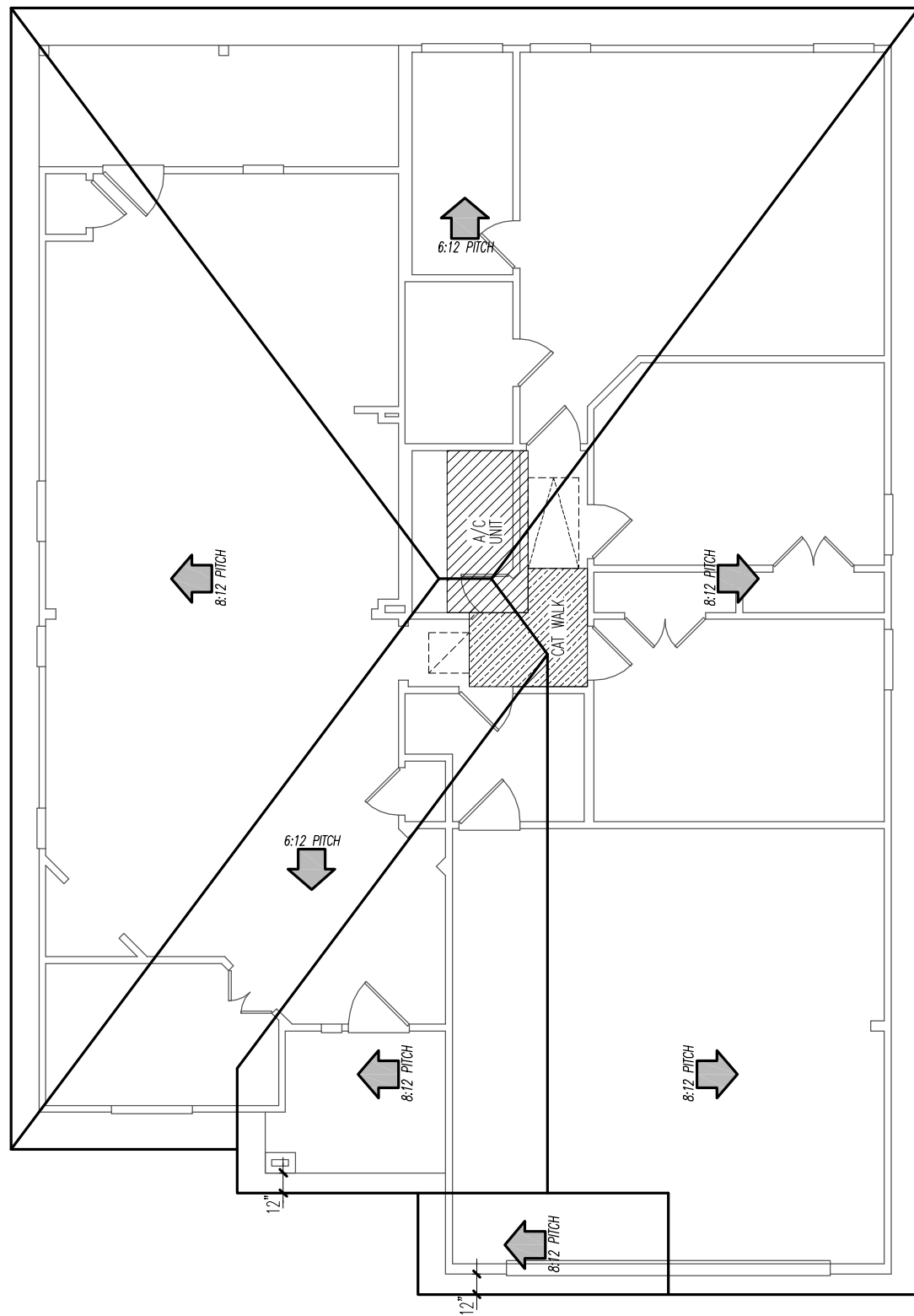
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ROOF PLAN

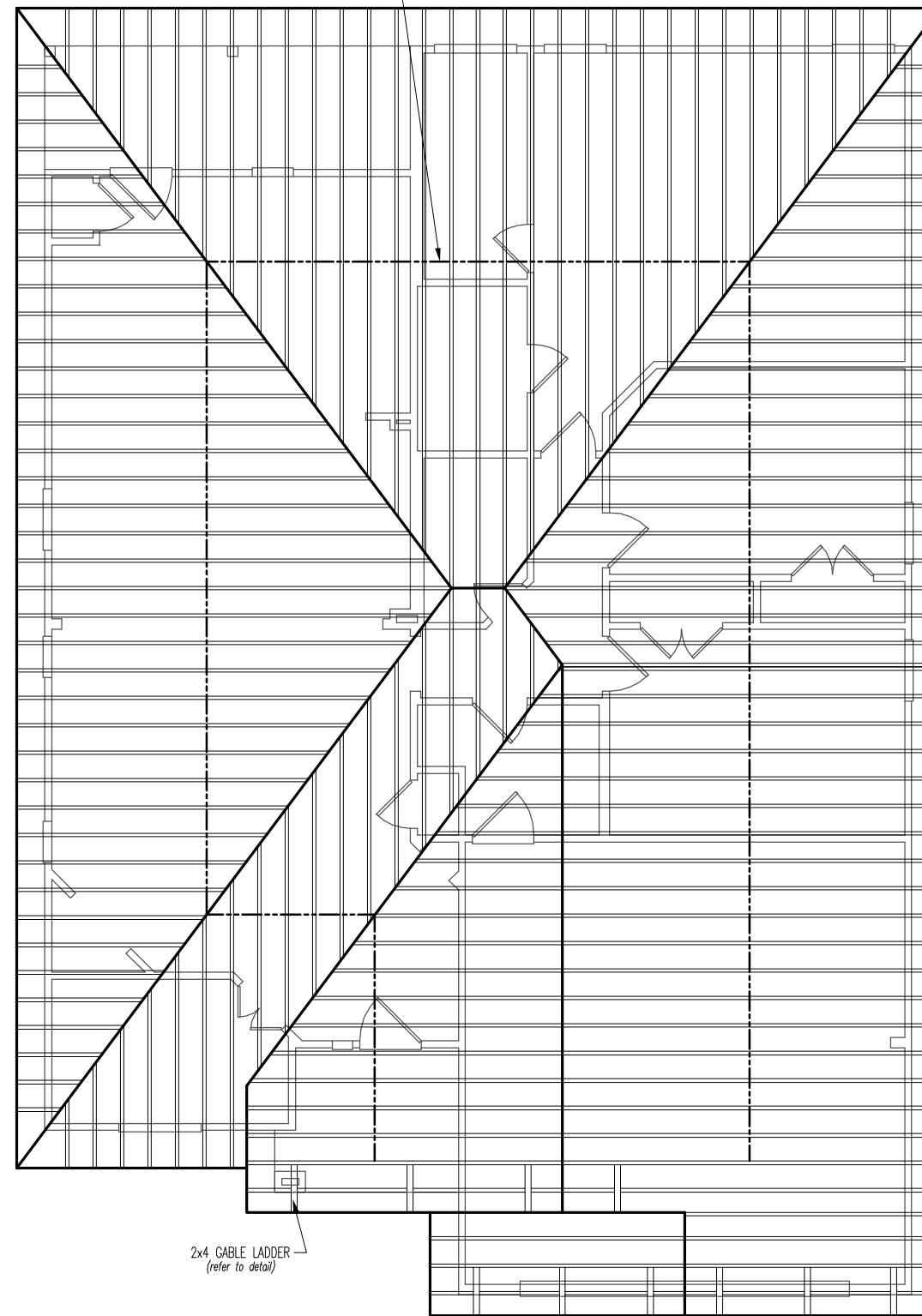
Scale: 1/8" = 1'-0"

FRAMING NOTES:

- ALL DOOR AND WINDOW HEADERS UP TO 4'-0" WIDE SHALL BE 2-2x6 #2 S.Y.P. (unless noted otherwise)
- ALL BEAMS TO BE #2 S.Y.P. (unless noted otherwise)
- ALL JOISTS TO BE 2x6 #2 S.Y.P. @ 16"o.c. (unless noted otherwise)
- ALL GARAGE JOISTS TO BE 2x12 #2 S.Y.P. @ 16"o.c. (unless noted otherwise)
- ALL RAFTERS TO BE 2x6 #2 S.Y.P. @ 16"o.c. (unless noted otherwise)
- ALL RIDGES, HIPS, & VALLEYS TO BE ONE SIZE LARGER THAN CONNECTING RAFTERS.
- PURLIN BRACING TO BE NO LONGER THAN 8'-0" MAXIMUM HORIZONTAL SPAN OF RAFTERS.
- NO ATTIC STORAGE
- 20 p.s.f. LIVE LOAD - 10 p.s.f. DEAD LOAD
- LAMINATED BEAM REFERS TO ENGINEERED ANTHONY'S POWER BEAMS (wherever noted).



07-15-2022



RAFTER LAYOUT

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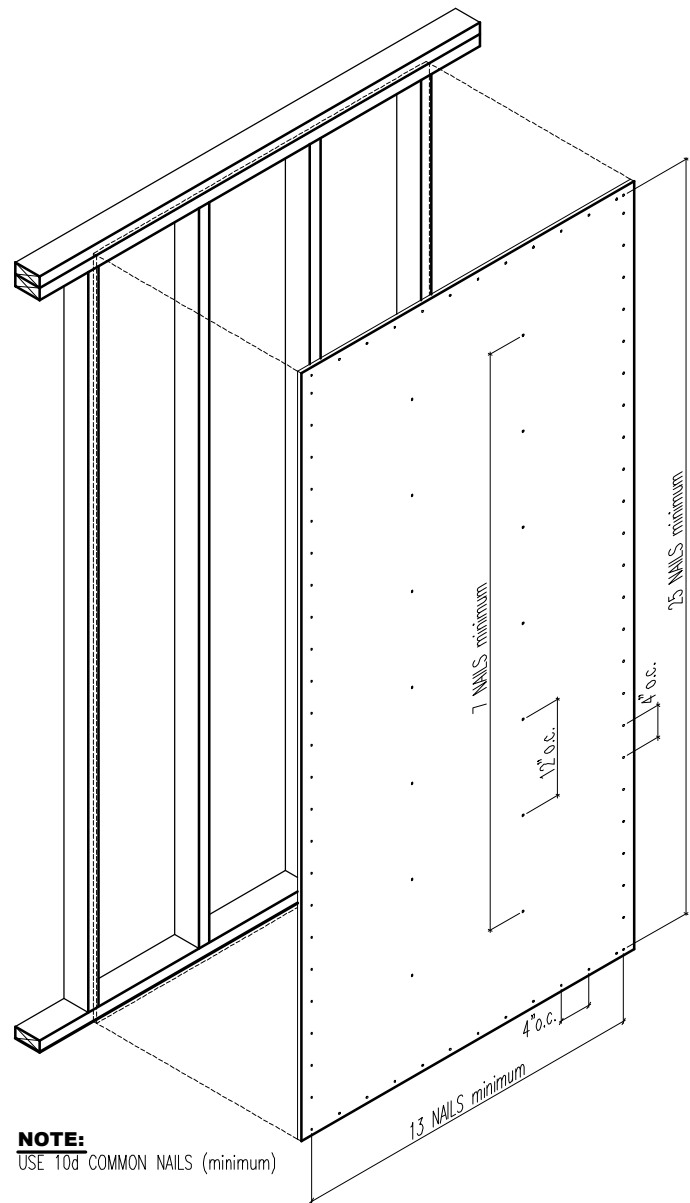
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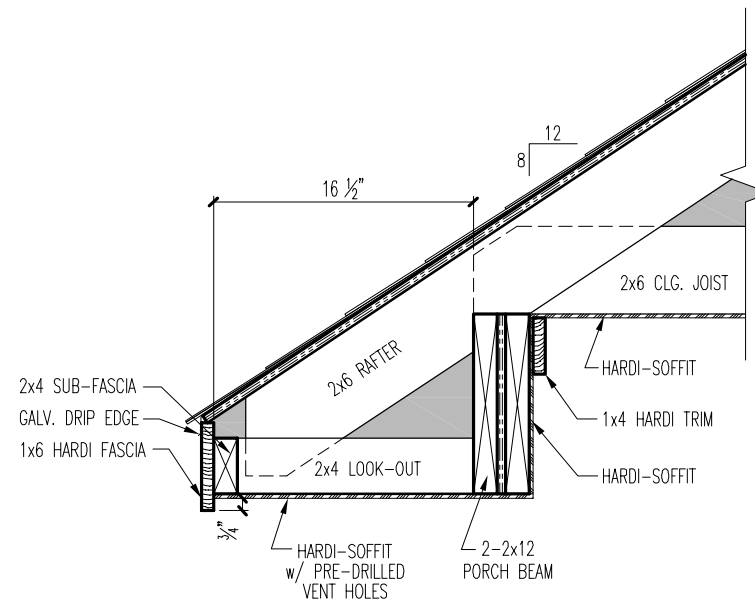
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WINDSTORM INLAND II

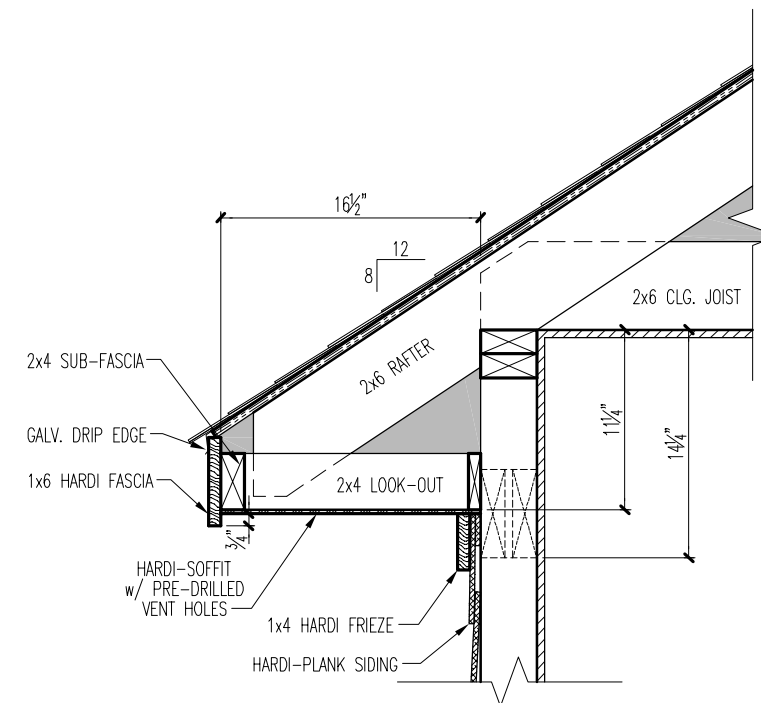


NOTE:
USE 10d COMMON NAILS (minimum)

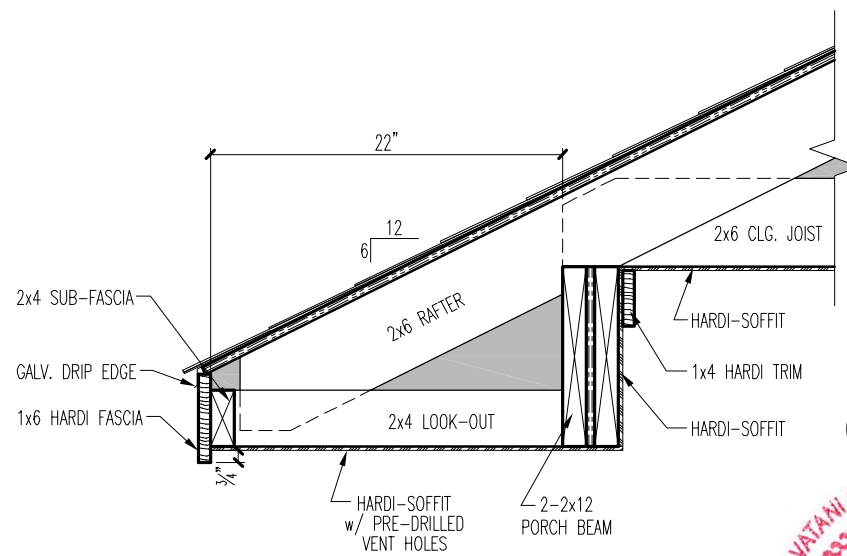
SHEARWALL DETAIL - NAILING 4"o.c.



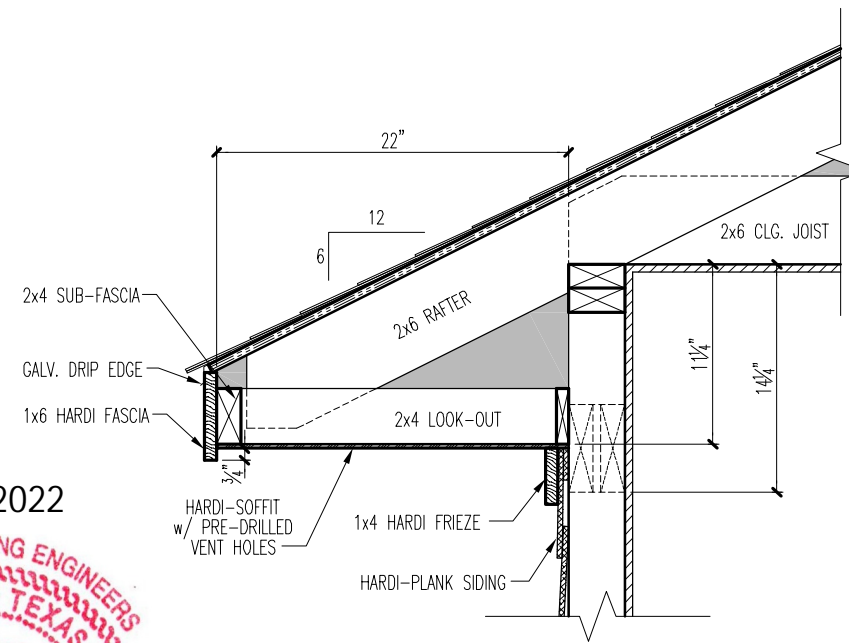
8/12 PORCH CORNICE SECTION



8/12 CORNICE SECTION



6/12 PORCH CORNICE SECTION



6/12 CORNICE SECTION

07-15-2022



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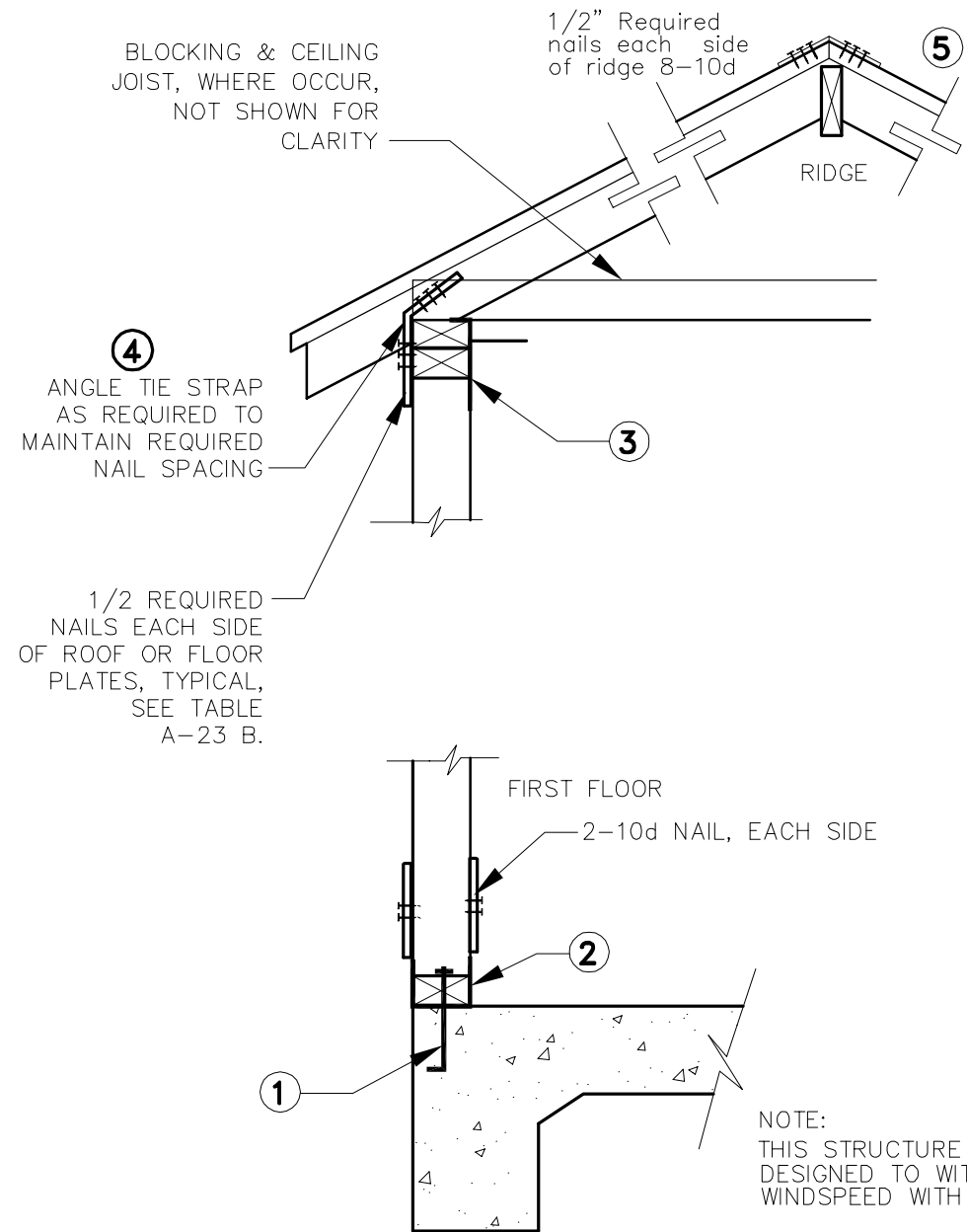
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WINDSTORM INLAND II



SLAB ON GRADE

Typical Section

STRAPPING DETAIL
N.T.S.

TIE-DOWN NOTE (THE RESIDENCE SHALL MEET IRC 2015 OR EXCEED THE CITY OF LEAGUE CITY SPECIFICATIONS.)

NOTE: THE TIE-DOWN PATH MUST BE CONTINUOUS FROM THE RAFTER TO THE FOUNDATION.

1. FOUNDATION TO SILL PLATE FOR EXTERIOR WALLS: 1/2" BOLTS @ 16" O.C. 10" MINIMUM EMBEDMENT.
2. STUD TO SILL PLATE CONNECTIONS: SIMPSON H4 @ 16" O.C.
3. TOP PLATE TO STUD CONNECTIONS: SIMPSON H2.5 @ 16" O.C.
4. RAFTER TO TOP PLATE CONNECTIONS: SIMPSON H2.5 @ 16" O.C.
5. RAFTER RIDGE STRAP CONNECTIONS: SIMPSON LSTA15 @ 16" O.C.

HEADER CONNECTIONS:

-HEADER TO JACK STUD:

DOOR AND WINDOW: SIMPSON LSTA9.
GARAGE: SIMPSON 2-LSTA12.

-JACK STUD TO SILL PLATE:

DOOR AND WINDOW: SIMPSON LSTA9.
GARAGE: SIMPSON 2-LSTA12.

**Typ. Windstrapping
Details**



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CONVENTIONAL LIGHT-FRAME WOOD CONSTRUCTION FOR HIGH-WIND AREAS (Reference IRC 2015 APPENDIX L)

AL101.1 Scope. This chapter applies to regular-shaped building that are not more than three stories in height and are of conventional light-frame construction.

Exception: Detached carports and garages not exceeding 700 square feet (65 m²) and accessory to Group R, Division 3 Occupancies need only comply with the roof-member to wall-tie requirements of Section AL103.8.

SECTION AL102

DEFINITION

CORROSION RESISTING or NONCORROSTIVE is material having a corrosion resisting equal to or greater than a hot-dipped galvanized coating of 1.5 ounces of zinc per square foot of surface area. When an element is required to corrosion resistant or noncorrosive, all of its parts, such as screws, nails, wire, dowels, bolts, nuts, washers, shims, anchors, ties and attachments, shall also be corrosion resistant or noncorrosive.

SECTION AL103

COMPLETE LOAD PATH AND UPLIFT TIES

AL103.1 General. Blocking, bridging, straps approve framing anchors or mechanical fasteners shall be installed to provide continues ties from the roof to the foundation system.

Tie straps shall be 1 1/8-inch (28.6 mm) by 0.036-inch (0.91 mm) (No. 20 gage) sheet steel and shall be corrosion resistant as herein specified. All metal connectors and fasteners used in exposed locations or in areas otherwise subject to corrosion shall be of corrosion-resistant or noncorrosive material.

The number of common nails specified is the total required and shall be equally divided on each side of the connection. Nails shall be spaced to avoid splitting of the wood.

Exception: Pre-manufactured connectors that provided equal or greater tie-down capacity may be used provided that they comply with all the manufacture's specifications.

AL103.2 Wall-to foundation tie. Exterior walls shall be tie to a continues foundation system, or an elevated foundation system in accordance with section AL105.

AL103.3 Sills and foundation tie. foundation plates resting on concrete or masonry foundation shall be bolted to foundation with no less than 1/2-inch-diameter (13 mm) anchors bolts with 7-inch-minimum (178 mm) embedment into the foundation and spaced not more than 6 feet (1829 mm) on center.

AL103.4 Floor to foundation tie. The lowest-level exterior wall studs shall be connected to the foundation sill plate or an approved elevated foundation system with bent tie straps spaced not more than 48 inches (1219 mm) on center. Tie straps shall be nailed with a minimum of 4 ten penny nails.

AL103.5 Wall framing details. The spacing of studs in exterior or wall shall be in accordance with Chapter 6.

Mechanical fasteners complying with this chapter shall be installed at a maximum of 48 inches (1219 mm) on centers as required to connect studs to the sole plates, foundation sill plate and top plates of the wall. The fastener shall be nailed with a minimum of 8 eight penny nails.

Where opening exceed 4 feet (1219 mm) in with the required tie straps shall be at each edge of the opening and connected to a double full height wall stud. When opening exceed 12 feet (3658 mm) in width, two ties at each connection or a manufacture fastener designed to prevent uplift shall be provided.

AL103.6 Wall sheathing. All exterior wall and required interior main cross-stud partitions shall be sheathed in accordance with Chapter 7.

AL103.7 Floor-to-floor tied. Upper level exterior wall studs shall be aligned and connected to the wall stud below with tie straps placed a minimum of 48 inches (1219) on centers and connected with a minimum of 6 eight penny nails per strap.

AL103.8 Roo-member-to-wall tied. Tie strap shall be provided from the side of the roof-framing member to supporting member below the roof. Tie straps shall be placed not further apart than every other roof-framing member and connected with a minimum of 8 eight penny nails.

AL103.9 Ridge ties. Opposing common rafters shall be aligned at ridge end be connected at the rafters with tie straps spaced a maximum of 4 feet (1219 mm) on center and connected with 8 eight penny nails.

AL103.10 Gable-end walls. Gable-end wall shall be continuous between points of lateral support which are perpendicular to the plane of the wall. Gable-ends wall studs shall be attached with approved mechanical fasteners at the top and bottom. Eight 8 penny nails shall be require for each fastener. Fasteners shall be spaced at a maximum of 48 inches (1219 mm) on center.

SECTION AL104 ROOFS

AL104.1 Roof sheathing. Solid roof sheathing shall be applied and shall consist of a minimum 1-inch thick (25.4 mm) nominal lumber applied diagonal or a minimal 1/2 inch thick (119 mm) wood structural panel or particle board or other approved sheathing applied with the long d--- perpendicular to supporting rafters. Sheathing shall be nail to roof framing in an approved manner. The end joints of wood structure pannels or particle board shall be staggered and shall occur over blocking, rafters or other supports.

AL104.2 Roof covering. Roof covering shall be approved and shall be installed and fastened in accordance with Chapter 9 and with the manufacture instructions.

AL104.3 Roof overhang. The roof eave overhang shall not exceed 3 feet (914 mm) unless an analysis is provided showing that the require resistance is provided to prevent uplift.

The roof overhang at gable end shall not exceed 2 feet (610 mm) unless an analysis showing that the require resistance to prevent uplift is provided.

SECTION AL105 ELEVATED FOUNDATION

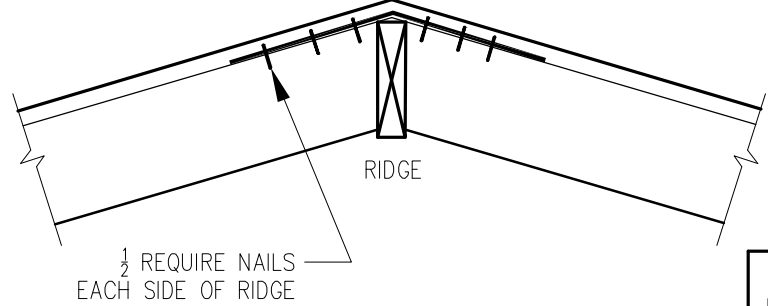
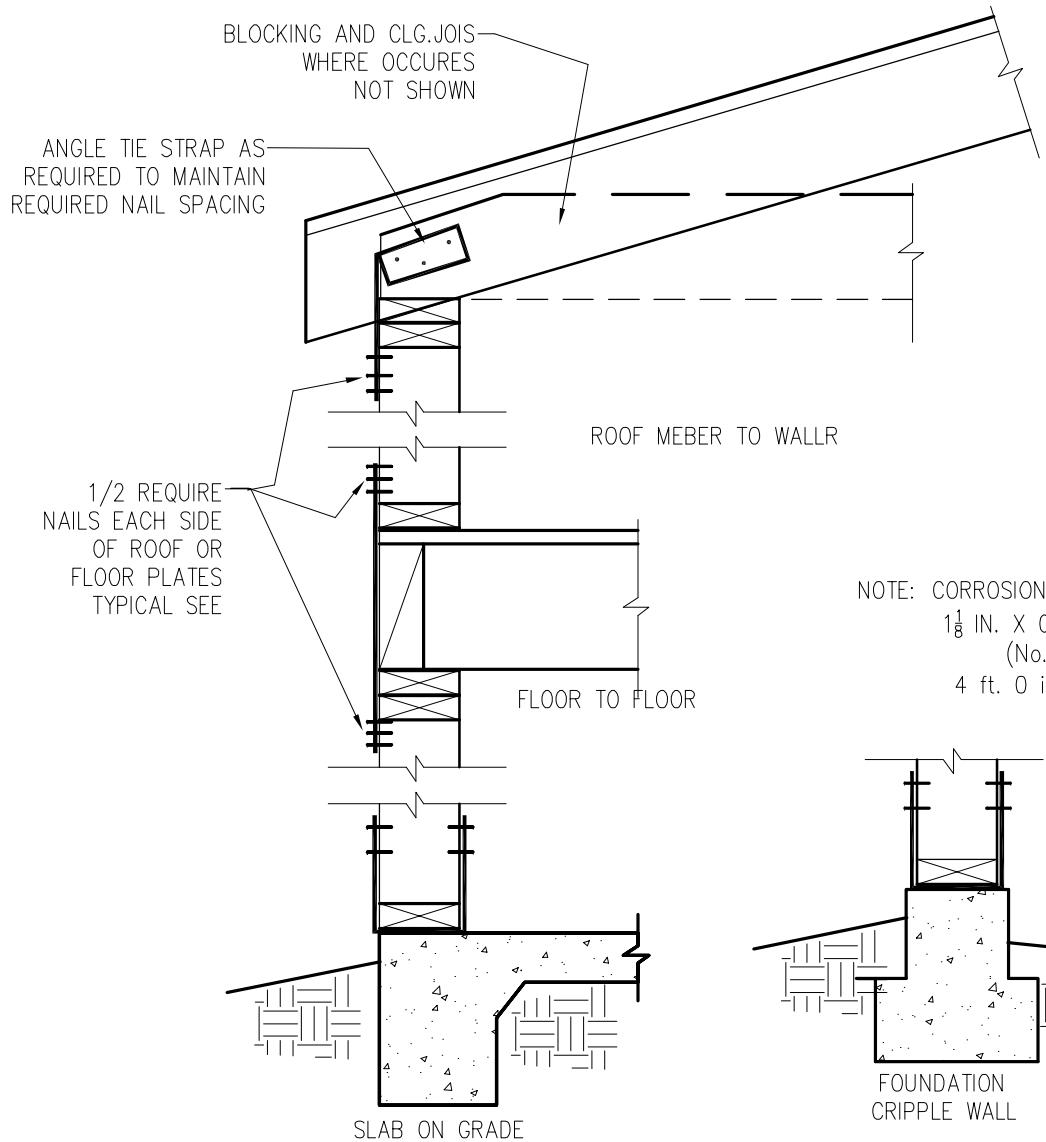
AL105.1 General. When approved elevated foundation supporting not more than one story and meeting the provision of this section may be used. A foundation investigation may be required by the building official.

AL105.2 Material. All exposed wood-framing members shall be treated wood. all metal connectors and fastener used in exposed location shall be corrosion-resistant or noncorrosive steel.

AL105.3 Wood piles. The spacing of wood piles shall not exceed 8 feet (2438 mm) on center. Square piles shall not be less than 10 inches (254 mm) and tapered piles shall have a tip not less than 8 inches (203 mm). Eight-inch square (51613 mm²) piles shall have a minimum embedment length of 5 feet (1524 mm) and shall project not more than 8 feet (2438 mm) above undisturbed ground surface. Eight-inch (203 mm) taper piles shall a minimum embedment length of 6 feet (1828 mm) and shall project not more than 7 feet (2134 mm) above undisturbed ground surface.

AL105.4 Girders. Floor girder shall be solid sawn timber build-up 2 inch-thick (51 mm) lumber or trusses. Splices shall occur over wood piles. The Floor girders shall span in direction parallel to the potention floodwater and wave action.

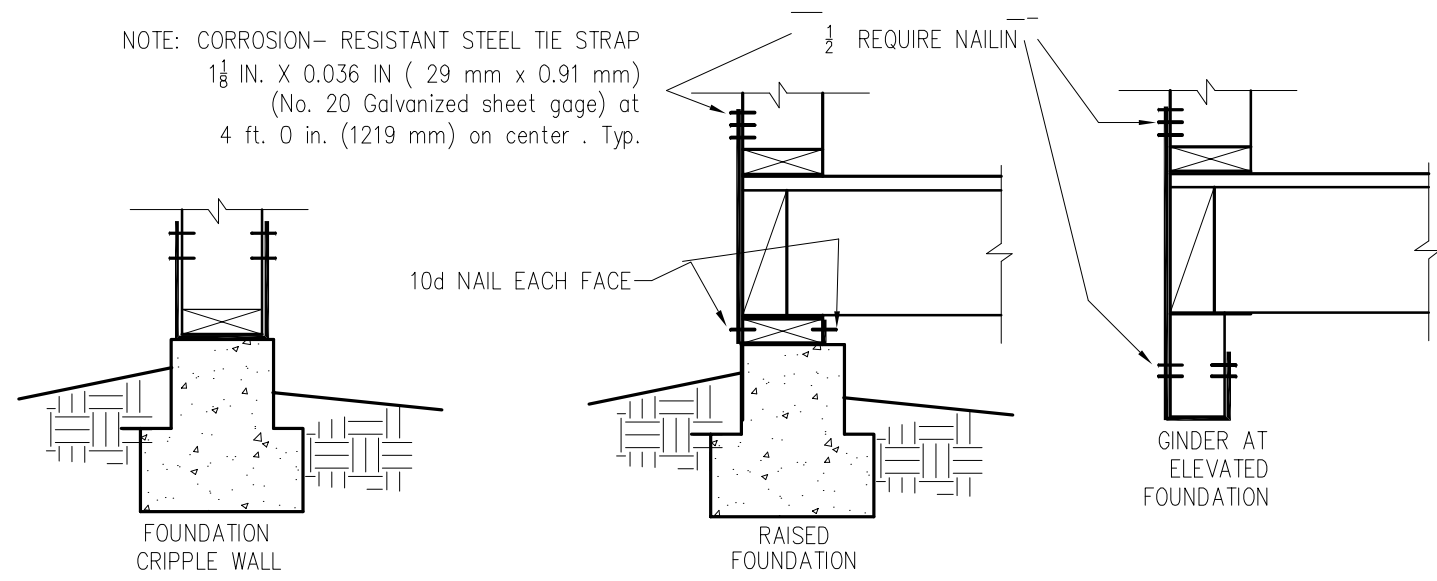
AL105.4 Connections. Wood piles may be notched to provide a shelf for supporting the floor girders. The total notching shall not exceed 50 percent of the pile cross section. Approved bolted connections with 1/4-inch (6.4 mm) corrosion-resistant or non corrosive steel plates and 3/4-inch diameter (19 mm) bolts shall be provided. each end of the girder shall be connected to the piles using a minimum of two 3/4-inch diameter (19 mm) bolts



RIDGE TIE STRAP NAILING

BASIC WIND SPEED (mph)	NUMBER OF NAILS		
	Exposure		
X 1.61 for km/h	B	C	D
80	6-10d	8-10d	10-10d
90	8-10d	10-10d	12-10d
100	10-10d	12-10d	14-10d
110	12-10d	14-10d	16-10d

1 Number of common nails is total require for each tie strap. The tie straps shall be spaced at 48 inches (1219 mm) on center along the leng of the roof. The number of nails on each side of the rafter/ridge joint shall be equal. Nails shall be spaced to avoid splitting of wood.



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Typ. Windstrapping Details



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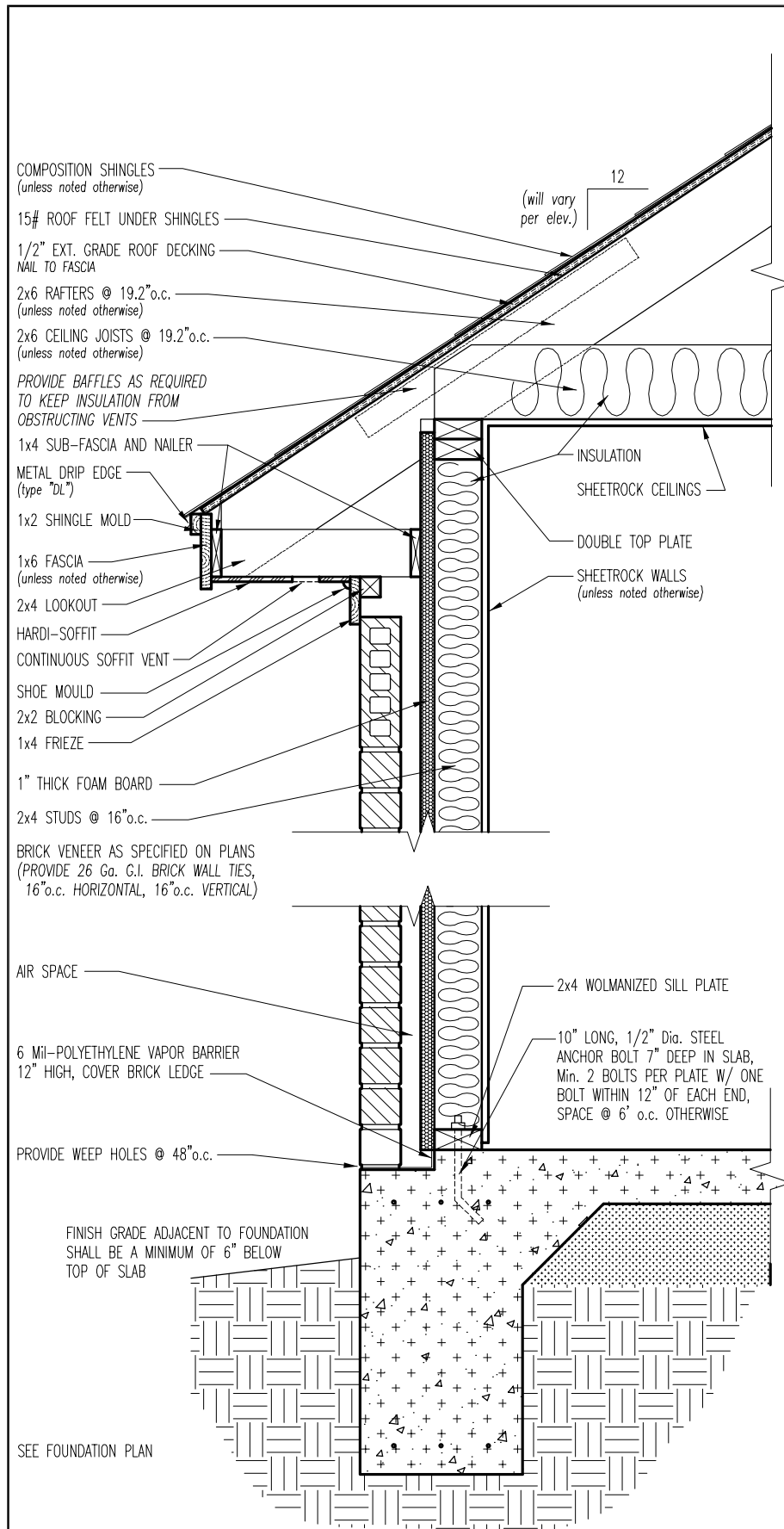
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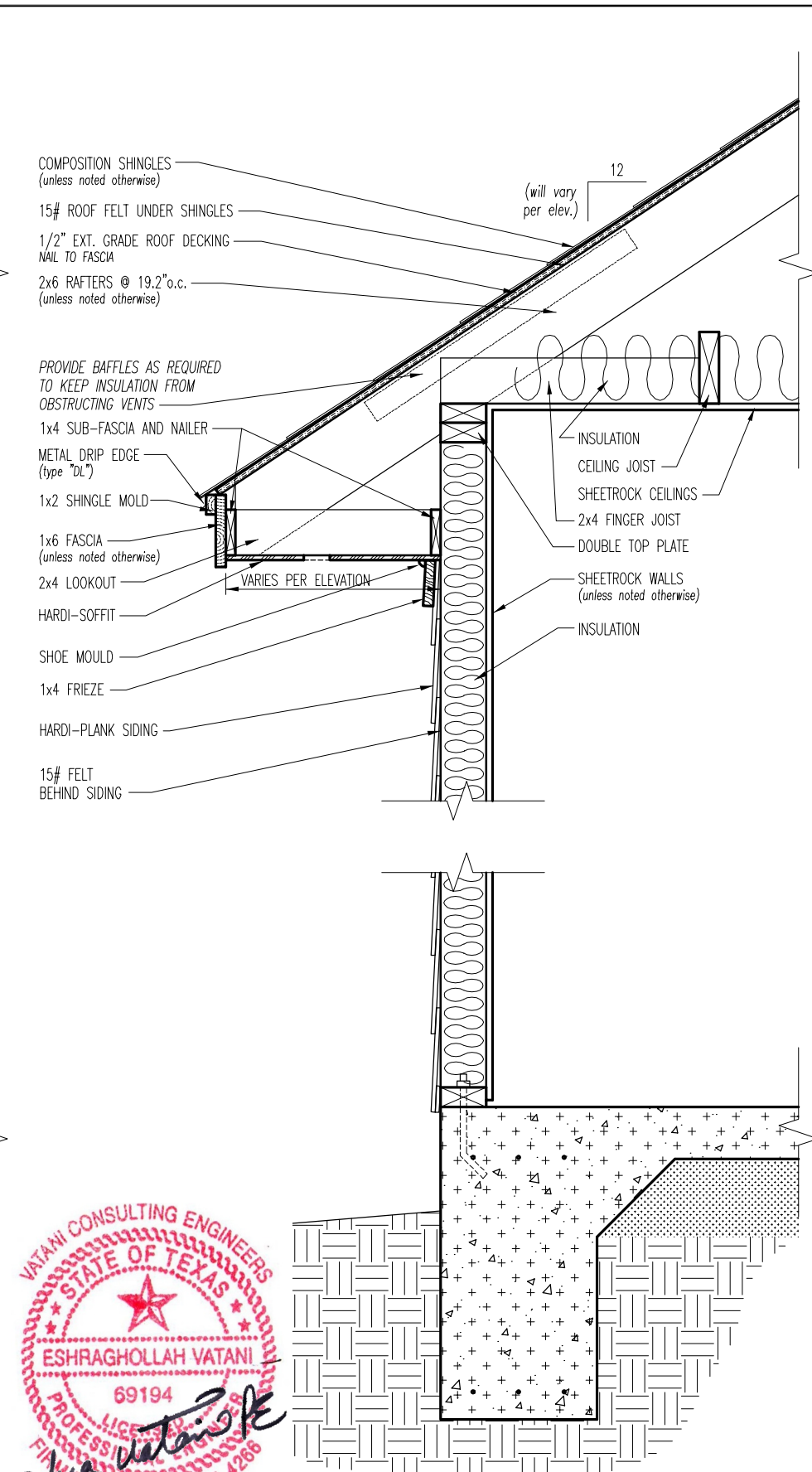
Owner Info:

Mr. & Mrs. Frank Farshad
1513 Sherl Street
League City, 77573
Galveston County



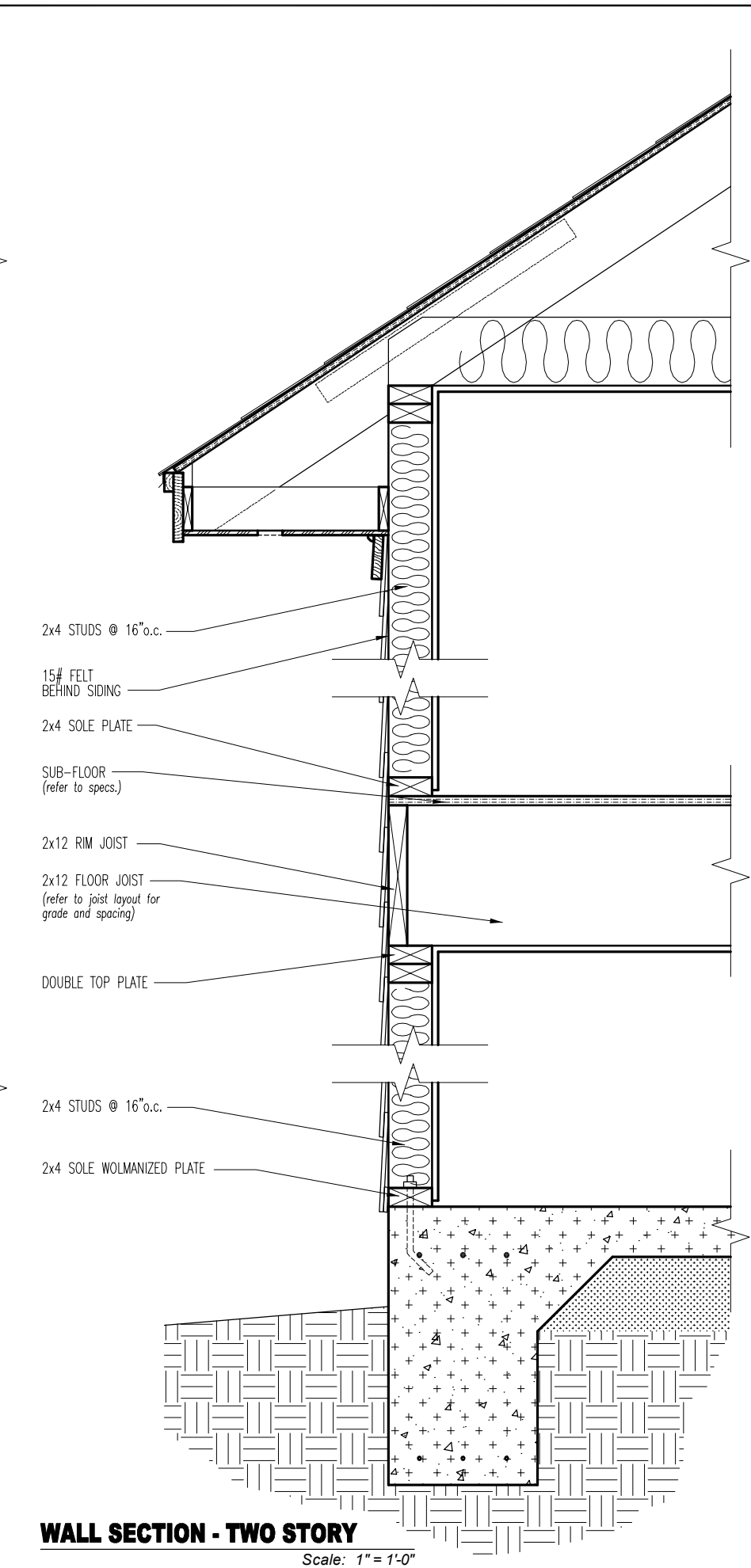
WALL SECTION - EXTERIOR BRICK

Scale: 1" = 1'-0"



WALL SECTION - EXTERIOR SIDING

Scale: 1" = 1'-0"



WALL SECTION - TWO STORY

Scale: 1" = 1'-0"

Typical Wall Sections



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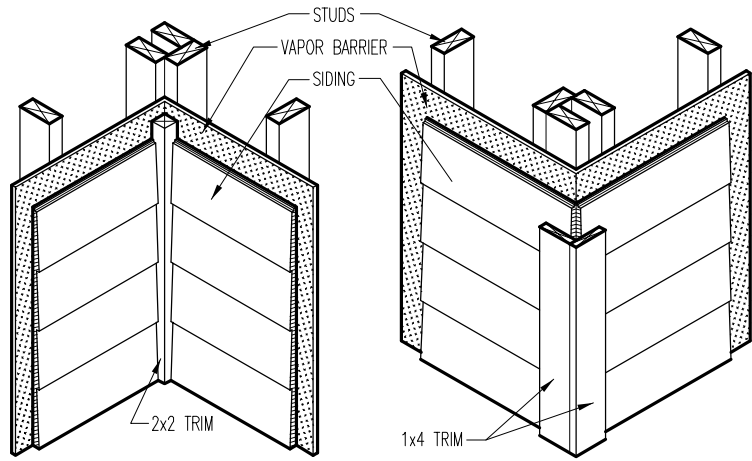
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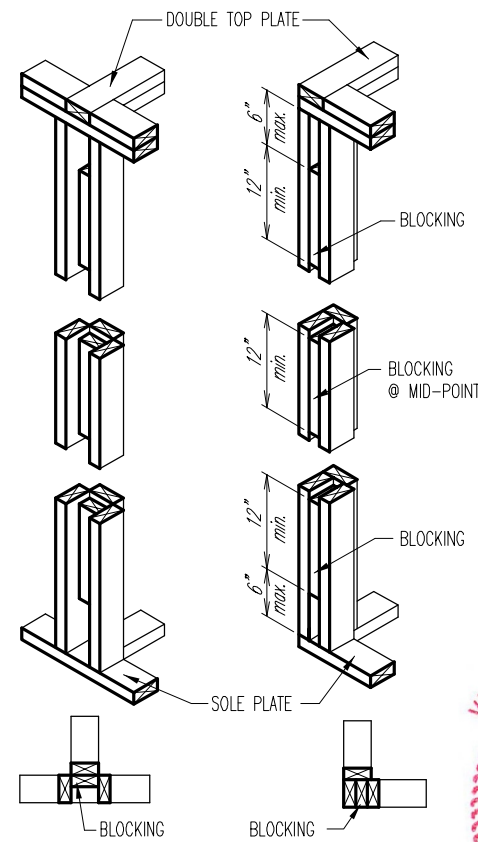
**Mr. & Mrs.
Frank Farshad
1513 Sherl Street
League City, 77573
Galveston County**



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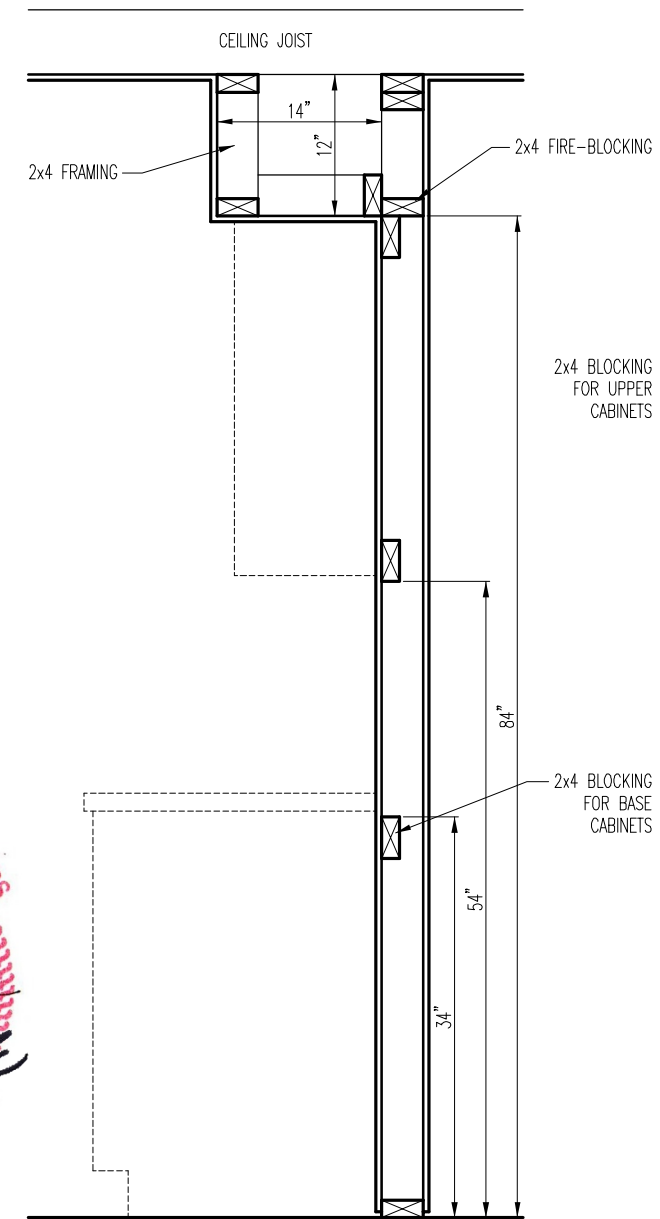
CORNER TRANSITIONS w/ SIDING



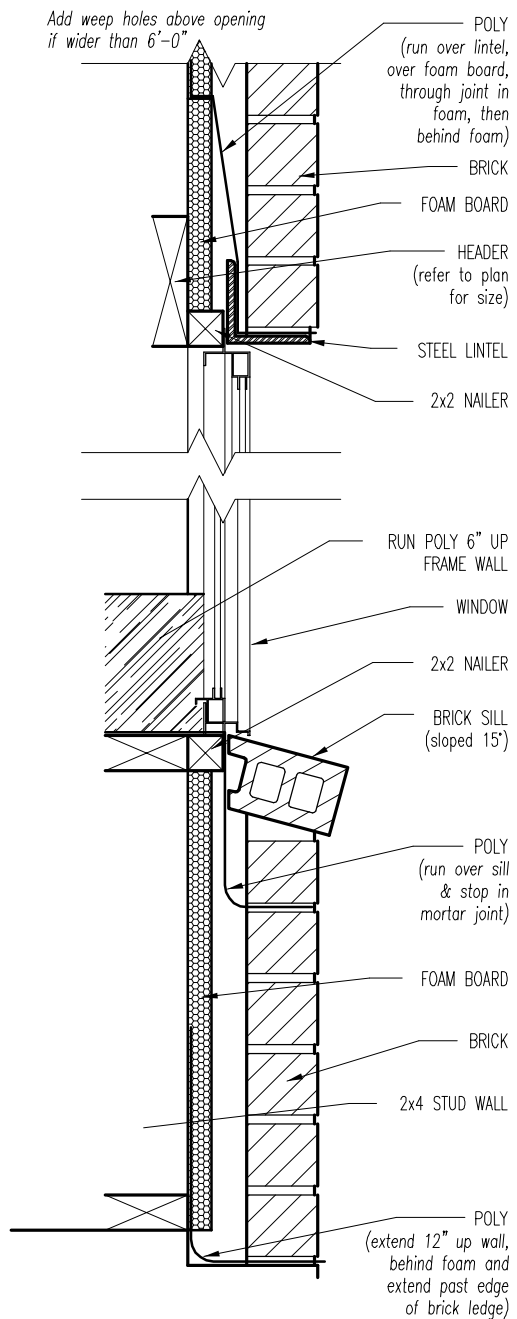
CORNER FRAMING



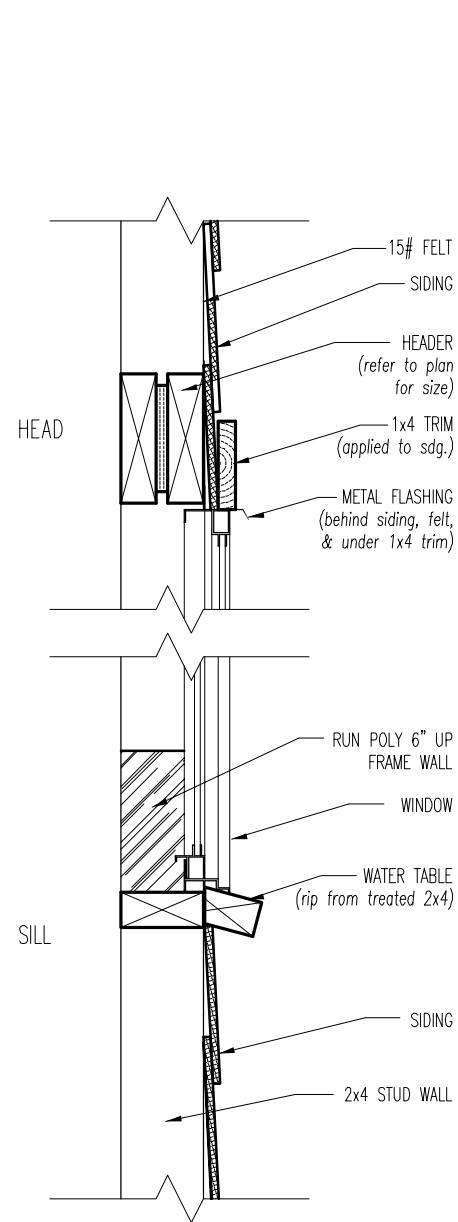
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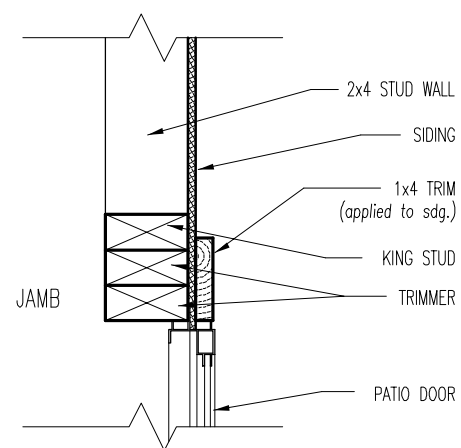
FURR DOWN DETAIL



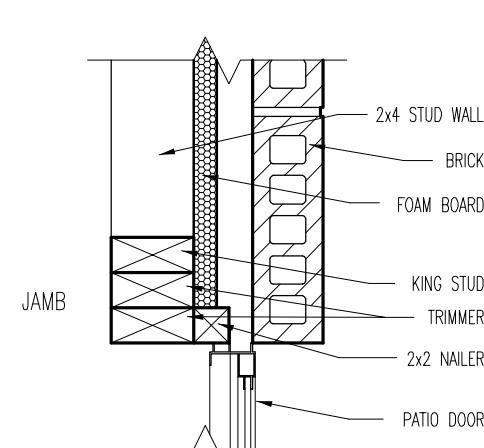
WINDOW - Brick



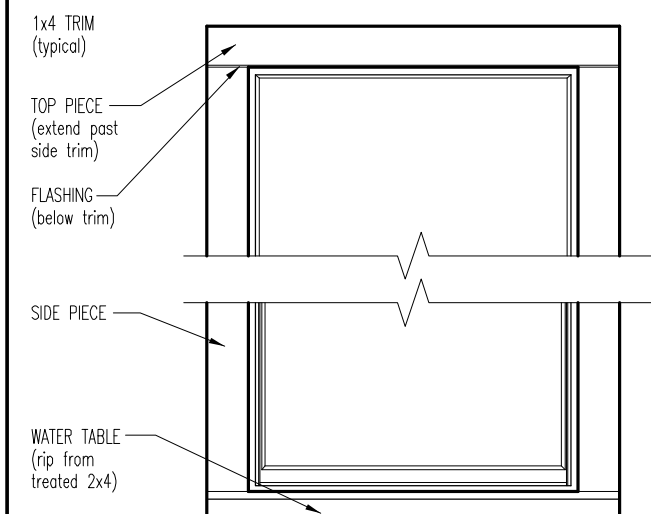
WINDOW - Siding



PATIO DOOR - Siding



PATIO DOOR - Brick



WINDOW TRIM DETAIL

Typical Framing Details



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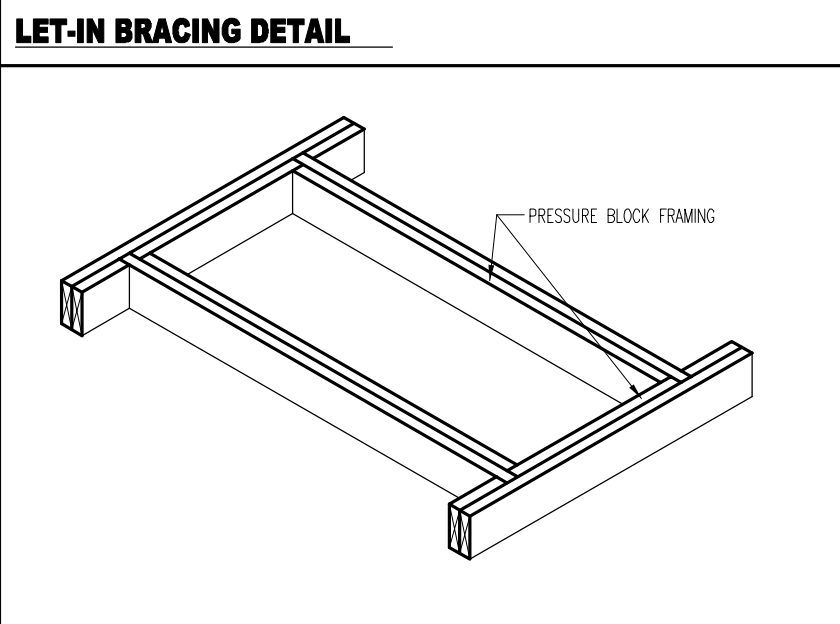
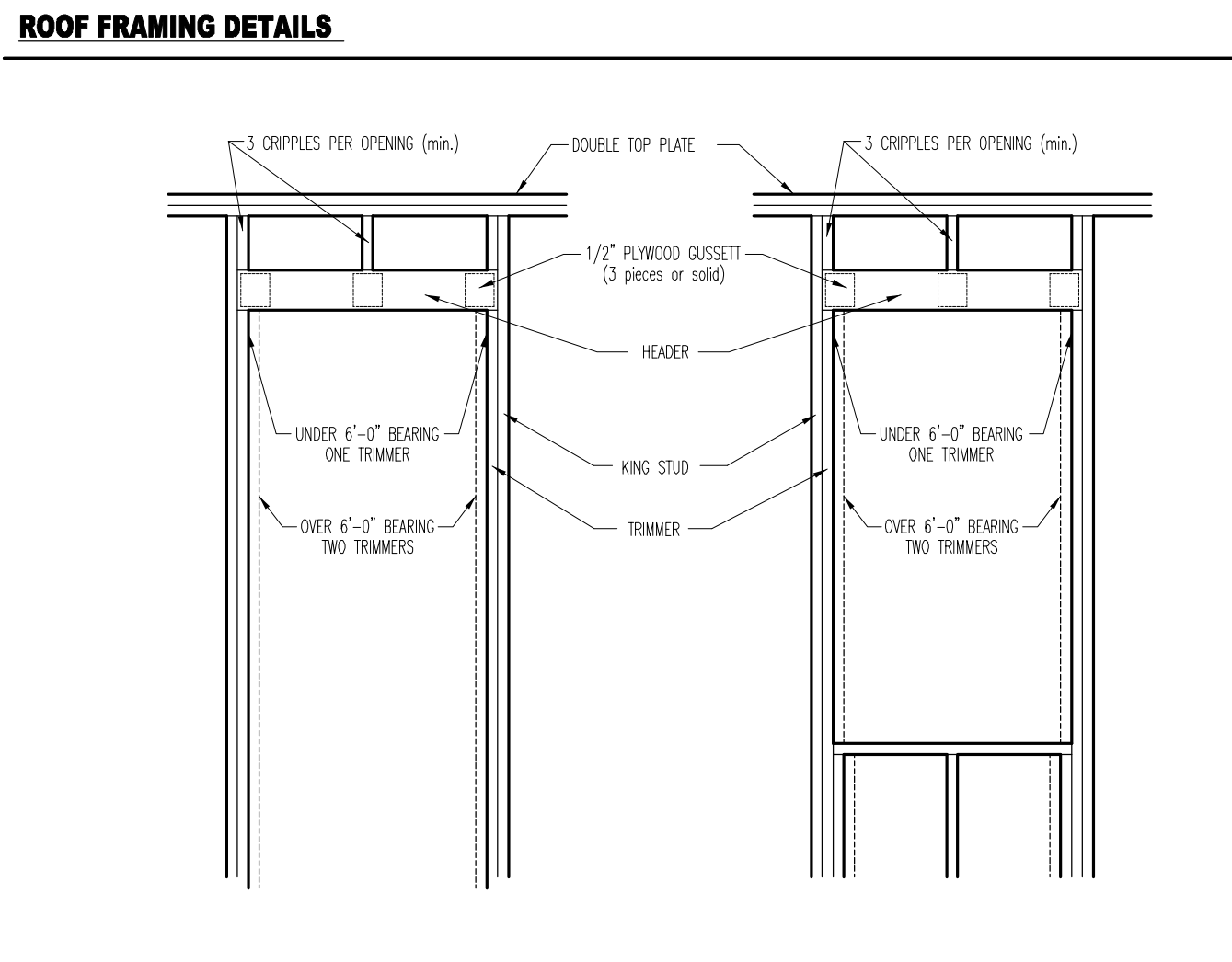
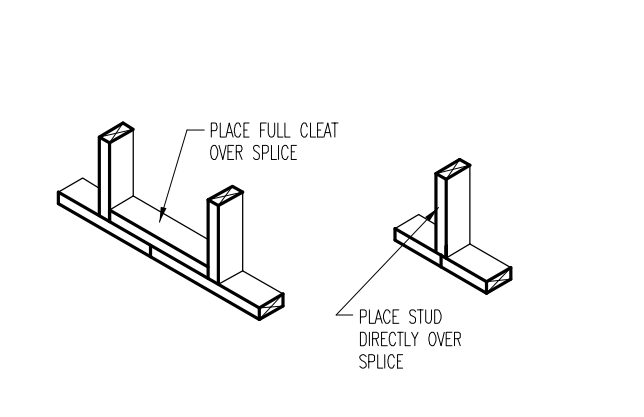
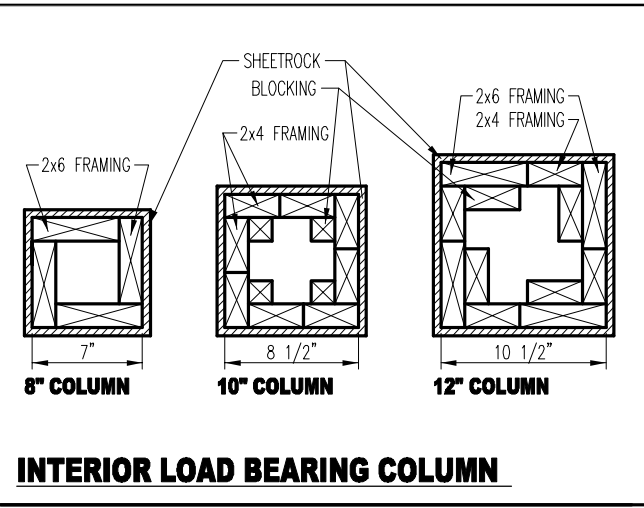
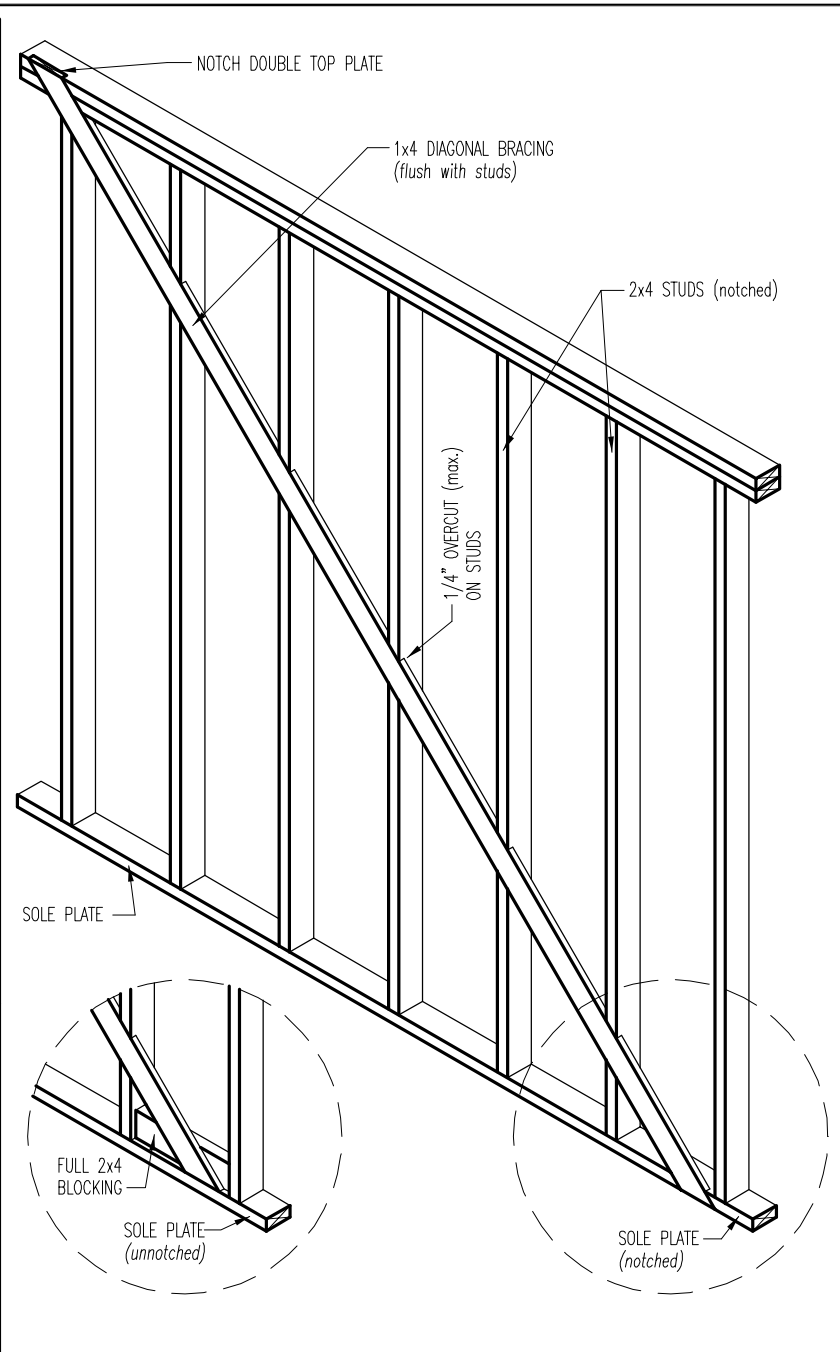
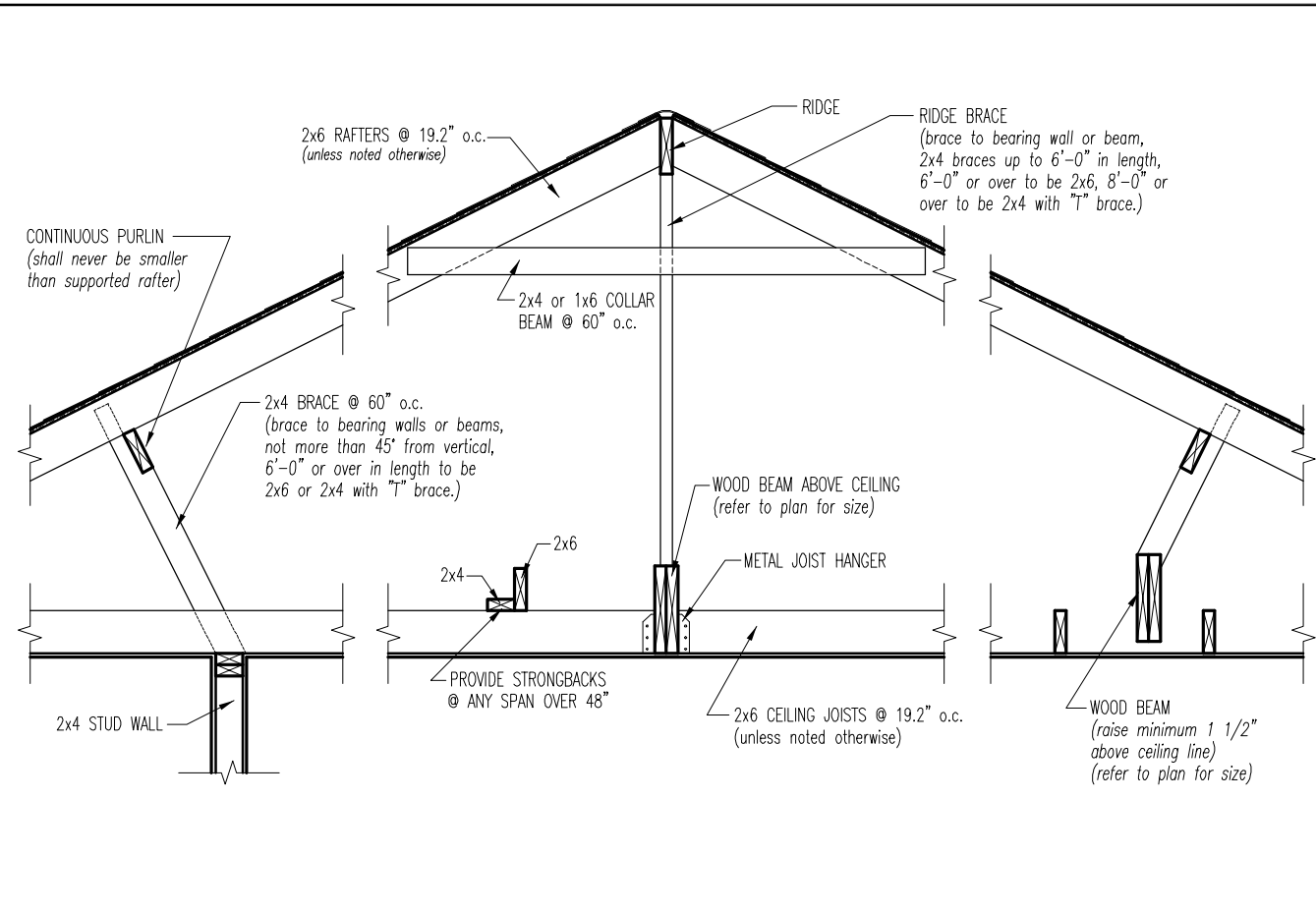


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Structural Framing Details



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