

True Grit Home Inspection

Property Inspection Report



Inspector: Brandon Courmier

TREC 22460, TDLR MAC1497, TDA 0789621

25410 Morgan Dr, Tomball, TX 77375

Phone: 832.418.1270

Email: brandon@truegrithomeinspection.com

16310 Emberwood Dr, Houston, TX 77070

Inspection prepared for: Ashley Hernandez

Real Estate Agent: Paige Houston -

Date of Inspection: 12-22-2025 Time: 9:00 AM

Age of Home: 1979 Size: 1480

Weather: 70f cloudy

122225BC1

Home, WDI

PROPERTY INSPECTION REPORT FORM

12-22-2025

*Date of Inspection**Name of Client*

16310 Emberwood Dr, Houston, TX 77070

Address of Inspected Property

Brandon Courmier

Name of Inspector

TREC 22460, TDLR MAC1497, TDA 0789621

*TREC License #**Name of Sponsor (if applicable)**TREC License #***PURPOSE OF INSPECTION**

A real estate inspection is a visual survey of a structure and a basic performance evaluation of the systems and components of a building. It provides information regarding the general condition of a residence at the time the inspection was conducted. It is important that you carefully read ALL of this information. Ask the inspector to clarify any items or comments that are unclear.

RESPONSIBILITY OF THE INSPECTOR

This inspection is governed by the Texas Real Estate Commission (TREC) Standards of Practice (SOPs), which dictates the minimum requirements for a real estate inspection.

The inspector IS required to:

- use this Property Inspection Report form for the inspection;
- inspect only those components and conditions that are present, visible, and accessible at the time of the inspection;
- indicate whether each item was inspected, not inspected, or not present;
- indicate an item as Deficient (D) if a condition exists that adversely and materially affects the performance of a system or component **OR** constitutes a hazard to life, limb or property as specified by the SOPs; and
- explain the inspector's findings in the corresponding section in the body of the report form.

The inspector IS NOT required to:

- identify all potential hazards;
- turn on decommissioned equipment, systems, utilities, or apply an open flame or light a pilot to operate any appliance;
- climb over obstacles, move furnishings or stored items;
- prioritize or emphasize the importance of one deficiency over another;
- provide follow-up services to verify that proper repairs have been made; or
- inspect system or component listed under the optional section of the SOPs (22 TAC 535.233).

RESPONSIBILITY OF THE CLIENT

While items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions, in the event that any further evaluations are needed, it is the responsibility of the client to obtain further evaluations and/or cost estimates from qualified service professionals regarding any items reported as Deficient (D). It is recommended that any further evaluations and/or cost estimates take place prior to the expiration of any contractual time limitations, such as option periods.

Please Note: Evaluations performed by service professionals in response to items reported as Deficient (D) on the report may lead to the discovery of additional deficiencies that were not present, visible, or accessible at the time of the inspection. Any repairs made after the date of the inspection may render information contained in this report obsolete or invalid.

REPORT LIMITATIONS

This report is provided for the benefit of the named client and is based on observations made by the named inspector on the date the inspection was performed (indicated above).

ONLY those items specifically noted as being inspected on the report were inspected.

This inspection IS NOT:

- a technically exhaustive inspection of the structure, its systems, or its components and may not reveal all deficiencies;
- an inspection to verify compliance with any building codes;
- an inspection to verify compliance with manufacturer's installation instructions for any system or component and DOES NOT imply insurability or warrantability of the structure or its components.

NOTICE CONCERNING HAZARDOUS CONDITIONS, DEFICIENCIES, AND CONTRACTUAL AGREEMENTS

Conditions may be present in your home that did not violate building codes or common practices in effect when the home was constructed but are considered hazardous by today's standards. Such conditions that were part of the home prior to the adoption of any current codes prohibiting them may not be required to be updated to meet current code requirements. However, if it can be reasonably determined that they are present at the time of the inspection, the potential for injury or property loss from these conditions is significant enough to require inspectors to report them as Deficient (D). Examples of such hazardous conditions include:

- malfunctioning, improperly installed, or missing ground fault circuit protection (GFCI) devices and arc-fault (AFCI) devices;
- ordinary glass in locations where modern construction techniques call for safety glass;
- malfunctioning or lack of fire safety features such as smoke alarms, fire-rated doors in certain locations, and functional emergency escape and rescue openings in bedrooms;
- malfunctioning carbon monoxide alarms;
- excessive spacing between balusters on stairways and porches;
- improperly installed appliances;
- improperly installed or defective safety devices;
- lack of electrical bonding and grounding; and
- lack of bonding on gas piping, including corrugated stainless steel tubing (CSST).

Please Note: items identified as Deficient (D) in an inspection report DO NOT obligate any party to make repairs or take other actions. The decision to correct a hazard or any deficiency identified in an inspection report is left up to the parties to the contract for the sale or purchase of the home.

This property inspection report may include an inspection agreement (contract), addenda, and other information related to property conditions.

INFORMATION INCLUDED UNDER "ADDITIONAL INFORMATION PROVIDED BY INSPECTOR", OR PROVIDED AS AN ATTACHMENT WITH THE STANDARD FORM, IS NOT REQUIRED BY THE COMMISSION AND MAY CONTAIN CONTRACTUAL TERMS BETWEEN THE INSPECTOR AND YOU, AS THE CLIENT. THE COMMISSION DOES NOT REGULATE CONTRACTUAL TERMS BETWEEN PARTIES. IF YOU DO NOT UNDERSTAND THE EFFECT OF ANY CONTRACTUAL TERM CONTAINED IN THIS SECTION OR ANY ATTACHMENTS, CONSULT AN ATTORNEY.

ADDITIONAL INFORMATION PROVIDED BY INSPECTOR**TRUE GRIT HOME INSPECTION, PLLC. SERVICE AGREEMENT****THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT****BETWEEN YOU THE CLIENT AND TRUE GRIT HOME INSPECTION, PLLC. , ITS SUBSIDIARIES,
AND ALL SUBCONTRACTORS SCHEDULED OR ARRANGED THROUGH US****PLEASE READ CAREFULLY**

1. **SCOPE OF THE INSPECTION:** The inspector will perform a general, non-invasive limited visual ("eyeball") inspection of the property structure at the address listed below to provide Client(s) with a written opinion as to the apparent general condition of the structure(s) components and systems at the time of the inspection. The inspection will be performed in a manner consistent with the "Standard of Practice" and "Code of Ethics" of "TREC" Texas Real Estate Commission and prepare a written report of the apparent condition of the readily accessible systems and components of the Property unless otherwise indicated existing at the time of the inspection. A copy of these Standards are readily available to the Client(s) at

http://www.trec.state.tx.us/inspector/rules_governing_inspectors.asp

Only systems and components that can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector will be inspected. Latent and concealed defects and deficiencies are excluded from the inspection, and Inspector is not liable for latent and concealed defects and deficiencies. Any area which is not exposed to view, concealed, is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings or other things, or areas/items which have been excluded by "TREC" Texas Real Estate Commission standards and/or by the agreement of the parties is not included in this inspection. The inspection does not include any destructive testing or dismantling. In the event that the property is a part of a condominium unit, such inspection will not include any other connected or external portions of a multi-unit building or any common areas covered by a joint use agreement or considered common areas.

2. **STANDARDS OF PRACTICE:** The parties agree that the Standards of Practice "TREC" Texas Real Estate Commission shall define the standard of duty and the conditions, limitations, scope, and exclusions of the inspection and are incorporated by reference herein.

3. **CLIENT'S DUTY:** Client agrees to read the entire report when it is received and promptly call the

Inspector with any question or concern regarding the inspection or written report. The written report shall be the final exclusive findings of the Inspector. In the event client becomes aware of a reportable condition which was not reported by the Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said condition(s) before making any repair, alteration, or replacement.

4. **FURTHER EVALUATION:** Client acknowledges and agrees that the Inspector is a generalist and that further investigation of a reported condition by an appropriate certified licensed specialist may provide additional information that may affect a Client(s) decision to purchase the home. Client should seek further evaluation from licensed professionals regarding the deficiencies identified in the written report. Inspector is not liable for Client(s) failure to further investigate reported deficiencies.

5. **CHANGE IN CONDITION(S):** The parties agree and understand that conditions of systems and components may change between the inspection date and the time of closing. It is the Client's responsibility to further investigate before closing and the Inspector is not liable for any changes of conditions.

6. **NOT A WARRANTY:** The parties agree and understand the Inspector is not an insurer or guarantor against defects in the structure, items, components, or systems inspected. Client(s) understand that the inspection and inspection report does not constitute a guarantee or warranty of merchantability or fitness for a particular purpose, expressed or implied, or insurance policy, nor is it a substitute for real estate transfer disclosures which may be required by law. **INSPECTOR MAKES NO WARRANTY, EXPRESS OR IMPLIED, AS TO THE PRESENT OR FUTURE FITNESS FOR USE, CONDITION, PERFORMANCE OR ADEQUACY OF ANY INSPECTED STRUCTURE, ITEM, COMPONENT, OR SYSTEM, THE PRESENCE OR ABSENCE OF LATENT OR HIDDEN DEFECTS THAT ARE NOT REASONABLY ASCERTAIN IN A COMPETENTLY PERFORMED HOME INSPECTION, OR THE REMAINING USEFUL LIFE OF ANY SYSTEM OR COMPONENT OF THE PROPERTY.**

7. **NOT AN APPRAISAL:** The Inspection will not include an appraisal of the value or a survey of building and/or property lines. This inspection or the inspection report may not be construed as an appraisal or survey and may not be used as such for any purpose.

8. **NOT A COMPLIANCE INSPECTION:** This inspection or inspection report is NOT a code compliance inspection or certification for past or present governmental codes or regulations.

9. **INSURABILITY:** The inspection or inspection report does not determine whether the property is insurable.

10. **THIRD PARTIES AND SUBROGATION:** The inspection and written report are performed and prepared for the sole and exclusive use and possession of the Client. No other person or entity may rely on the report issued pursuant to this Agreement. In the event that any person, not a party to this Agreement, makes any claim against the Inspector, its employees or agents, arising out of the services performed by the Inspector under this Agreement, or claims alleging in whole or part any negligent act or omission of the Inspector, the Client agrees to indemnify, defend, and hold harmless Inspector from any and all damages, expenses, costs, and attorney fees, arising from such a claim.

11. **LIMITATION OF LEGAL ACTION:** The parties agree that any legal action must be brought within one (1) year from the date of the inspection(s), or will be deemed waived and forever barred.

12. **LIABILITY:** The parties agree that True Grit Home Inspection, PLLC. and its employees and its agents assume no liability or responsibility for cost of repairing or replacing any defects specified in the written report, as well as no liability for the costs of further evaluation or investigation of the defects specified in the written report. Further, the parties agree and understand that the Inspector and its employees and its agents assume no liability for the costs of repairing or replacing any of the unreported defects or deficiencies either current or arising in the future or any property damage, consequential damage or bodily injury of any nature. In the event of a claim by the Client that an installed system, or component of the premises which was inspected by the inspector was not in the condition reported by the Inspector, the Client agrees to notify the Inspector at least 72 hours prior to repairing or replacing such system or component. If repairs or replacement are done without giving the Inspector the required notice, the Inspector will have no liability to the client. Client agrees that prior to taking any action, legal or otherwise, Client shall: submit a written claim to Inspection Company within 10 days of the deficiency discovery to 25410 Morgan Dr, Tomball TX 77375. The written claim shall describe the suspected deficiency. Allow the Inspection Company, their agent or legal representative to perform a re-inspection of the deficiencies stated in the claim. Agree to not to disturb or repair the disputed item prior to a re-inspection except in cases where injury or subsequent property damage may occur.

13. **DISPUTES AND ARBITRATION** In the event a dispute arises regarding an inspection that has been performed under this service agreement, Client(s) agree to notify True Grit Home Inspection, PLLC. within ten (10) days of the time of discovery to give True Grit Home Inspection, PLLC. a reasonable opportunity to re-inspect the property and resolved the dispute amicably. Upon the request of either party, all unresolved disputes relating to this agreement shall be submitted for arbitration in accordance with (AAA) American Association of Arbitrators and pursuant to the Federal Arbitration Act then in effect with costs shared equally. This provision shall be specifically enforceable and damages for breach of this provision shall include but not limited to court costs and attorney's fees. Client agrees that True Grit Home Inspection, PLLC. and its agents' liability, if any, shall be limited to the amount of the inspection fee paid for inspection. This limitation shall apply regardless of the cause of action or the legal theory pled or asserted specifically including, but not limited to, negligence.

14. **SEVERABILITY:** If any court of competent jurisdiction determines that any section, provision or part of this Agreement is void, unenforceable, or contrary to Texas law, the remaining sections of this Agreement shall remain in full force and effect.

15. **DAMAGES:** If the inspection company or any of its employees, agents, providers, officers, members, or shareholders, are found to be liable for any claim or damage due to the alleged negligence or willful misconduct of the Inspection company performing the home inspection or in the reporting on the condition of the property in the inspection report, **THE MAXIMUM DAMAGE THAT THE CLIENT CAN RECOVER SHALL NOT EXCEED THE COST OF THE INSPECTION FEE PAID BY THE CLIENT.** The Inspection Company shall not be liable to the Client for any loss of use of the property, repair or replacement cost, consequential or punitive damages or for attorneys' fees or court costs. The Inspection Company shall not be liable to the Client for any claims, loss or damage if the Client alters, tampers with or repairs or replaces the condition which is the subject matter of the Client's claim before the Inspection Company has had an opportunity to inspect the alleged defective condition.

16. **CLIENT UNDERSTANDS:** The integrity and moisture content of framing and sheathing behind finished wall coverings (exterior siding, stucco, cement stone coverings, fiber cement siding, drywall, interior bath and shower tile walls, etc) is not visible to inspect and beyond the scope of our services and is excluded within our services and is excluded within our inspection and inspection report. The lack of proper detailing and flashing may result in water penetration behind siding resulting in water penetration and structural damage which True Grit Home Inspection, PLLC makes no guarantee, warranty, or implied in the inspection or inspection report.

17. **EXPERT TESTIMONY / LITIGATION FINANCIAL COMPENSATION CLAUSE:** In the event our services are needed at any time in the future as expert testimony or in a litigation case, client agrees at this time / in advance to financially compensate this firm for it's time and services. Terms: Non-refundable retainer of \$2,500.00 upfront, Hourly rate of \$175.00 for any activities on our part for your case, including but not limited to; deposition, phone time, research, court time, travel time portal to portal, review of case prior to court appearance, etc. Balance due invoiced weekly, submitted Friday, payable the next Friday

18. **RE-INSPECTIONS:** True Grit Home Inspection, PLLC does not normally conduct re-inspection services. We are not in the business of certifying the workmanship and/or warranting another company's repair work. Receipts and/or warranty for work performed should be obtained from the company or companies who have provided repairs. In the event a re-inspection is performed it is agreed to in advance that True Grit Home Inspection, PLLC does not assume responsibility of any kind for another company's work.

19. **LIMITATION AND EXCLUSION CLAUSE:** The Client expressly acknowledges and agrees that the following are not included in the scope of the inspection and the inspection report and further acknowledges that the Inspector makes no representations or warranties as to them. **THE FOLLOWING SYSTEMS, ITEMS, AND CONDITIONS WHICH ARE NOT WITHIN THE SCOPE OF THE BUILDING INSPECTION INCLUDE BUT ARE NOT LIMITED TO:** recreational, leisure, playground or decorative equipment or appliances including but not limited to pools, hot tubs, saunas, steam baths, landscape lighting, fountains, shrubs, trees, and tennis courts. Cosmetic conditions wallpapering, painting, carpeting, scratches, scrapes, dents, cracks, stains, soiled or faded surfaces on the structure ,equipment or component, soiled, faded, torn, or dirty floor, wall or window coverings, etc. Noise pollution or air quality. Earthquake hazard, flood plain certification, liquefaction, soil, retaining walls, slide potential, wave action and hydrological stability, soil and earth measurements and stability, seismic safety, code and zoning, engineer level analysis, underground

utilities, sink hole potential, formaldehyde, lead paint, asbestos, toxic or flammable materials, molds, mildew, fungi, other environmental hazards, pest infestation, security systems, fire protection systems, sump pumps, household appliances, humidifiers, paint, other treatment windows, interior walls, ceilings and floors, water purification systems, (ozone generator/saltwater, etc), underground storage tanks, energy efficiency measurements, motion or photo electric sensor lighting, concealed or private security systems, water wells, all over flow drains, heating system's accessories, solar heating systems, heat exchangers, wood burning stoves, sprinkler systems, water softener or purification systems, central vacuum systems, telephone intercom or cable TV systems, internet connections and cable connections, antennae, lightning arrestors, load controllers, governing codes, permits, ordinances, statues, and covenants, and manufacturer specifications, recalls, EIFS, Chinese drywall and tainted materials, plasterboard, sheet rock, gypsum board, latent and concealed defects, and manufactured stone veneer, culture stone siding, fiber cement siding, flues or chimneys, coal stoves, water leaks, water intrusion, design and architect problems, circuit breaker operation, fireplace drafting, boundaries egress and ingress, quality of materials, private sewage, wattage and wiring, electromagnetic field, non-built in appliances, rodents, ants, birds, or other wood boring organisms, security locks and devices, thermostat and gauges. Client understands that these systems, items, and conditions, are excepted and excluded from this inspection and Inspection report. Any general comments about these systems, items, and conditions of the written report are informal only and DO NOT REPRESENT AN INSPECTION.

20. THIRD PARTY SERVICE PROVIDERS: YOUR INSPECTOR MAY HAVE AN AFFILIATION WITH A THIRD PARTY SERVICE PROVIDER ("TPSP") IN ORDER TO OFFER YOU ADDITIONAL VALUE- ADDED SERVICES. BY ENTERING INTO THIS AGREEMENT YOU (A) AUTHORIZE YOUR INSPECTOR TO PROVIDE YOUR CONTACT INFORMATION (INCLUDING TELEPHONE NUMBER) TO THE TPSP, (B) WAIVE AND RELEASE ANY RESTRICTIONS THAT MAY PREVENT THE TPSP FROM CONTACTING YOU (INCLUDING BY TELEPHONE USING AUTOMATED DIALING TECHNOLOGY), AND (C) AUTHORIZE THE TPSP TO CONTACT YOU (INCLUDING BY TELEPHONE) REGARDING SPECIAL HOME ALARM SYSTEM OFFERS.

21. PERSONAL SAFETY: We are not responsible for another participant's personal safety during the inspection process. Client, their representative's, or others participation shall be at his/her own risk for falls, injuries, property damage, etc. We reserve the right to refuse service to anyone for any reason.

22. This Agreement, including the terms and conditions on all pages, represents the entire agreement between the parties and there are no other agreements either written or oral between them. This Agreement shall be amended only by written agreement signed by both parties.

23. ACKNOWLEDGMENT: the undersigned has reviewed this document, understands its content and agrees to the terms and conditions contained. The client further represents and warrants that he or she has full and complete authority to execute this contract on behalf of any spouse or significant other, and to fully bind any spouse or significant other to all terms, conditions, exclusions and limitations of this agreement.

If after walking thru the property with the inspector, if you are in anyway dissatisfied with the services provided by True Grit Home Inspection, PLLC., you are under no obligation to pay the inspection fee, but the inspection report will not be delivered. State "three-day right to cancel" may apply.

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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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I. STRUCTURAL SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Foundations
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Type of Foundation(s):
 • Slab Foundation

Comments:

- Corner pop noticed. Corner sections of the foundation are not supported as much as rest of foundation. This is not typically an issue, but take notice if cracks begin to form in bricks or mortar above corner pop.
- Driveway / sidewalk is cracked / lifted and has some tripping hazards.
- Note: Growth of nearby trees may cause issues to foundation and sidewalks.
- Exterior cracks in foundation noted. 2 found.
- Measured elevation readings suggest a back corner drop and cracked foundation. 2.0" drop over 33'
- **It is my opinion that the foundation has several deficiencies and should be further evaluated by a reputable foundation contractor or structural engineer.**



Driveway / sidewalk is cracked / lifted and has some tripping hazards.



Exterior cracks in foundation noted. 2 found.

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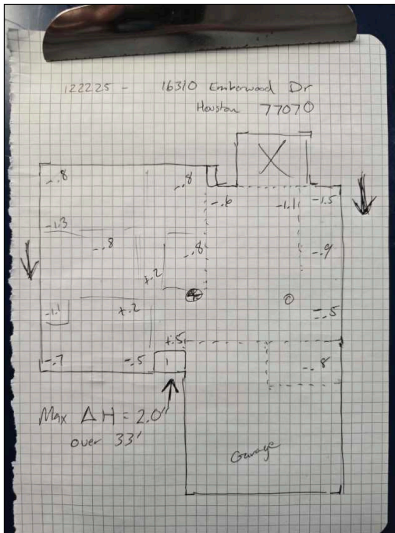
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Note: Growth of nearby trees may cause issues to foundation and sidewalks.

Corner pop noticed. Corner sections of the foundation are not supported as much as rest of foundation. This is not typically an issue, but take notice if cracks begin to form in bricks or mortar above corner pop.



Measured elevation readings suggest a back corner drop and cracked foundation. 2.0" drop over 33'

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B. Grading and Drainage

Comments:

- Grade level (dirt) too close to top of foundation. 6" from siding, and 4" minimum from brick / stone.
- Gutters stop at edge of foundation. Gutters should terminate away from foundation or to a splash block.
- Heavy debris in gutters. These should be cleaned to provided good water flow away from house.
- Recommend a Gutter system to aid in drainage away from house.
- Tree root growth along house can be dangerous for roots in sewer lines, drainage, foundation issues and termites.



Removed gutters noted



Recommend a Gutter system to aid in drainage away from house.

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Tree root growth along house can be dangerous for roots in sewer lines, drainage, foundation issues and termites.



Heavy debris in gutters. These should be cleaned to provided good water flow away from house.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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C. Roof Covering Materials

Type(s) of Roof Covering:

- Asphalt shingles noted. (15 year total estimated life)

Viewed From:

- Roof
- Ladder
- Ground

Comments:

- Evidence of previous repair. Multiple shingles present.
- Rusted vents and flashing on roof.
- Incorrect furnace /water heater exhaust vent pipe. Should be a double wall type B vent and cap above roofline.
- Vent boots are dry and broken. Leaks will occur. Repairs needed.

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Evidence of previous repair. Multiple shingles present.



Vent boots are dry and broken. Leaks will occur. Repairs needed.



Incorrect furnace /water heater exhaust vent pipe. Should be a double wall type B vent and cap above roofline.



Reference Photo

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Reference Photo



Rusted vents and flashing on roof.



Reference Photo



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<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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D. Roof Structure and Attics

Viewed From:

- Roof
- Ground
- Attic

Approximate Average Depth of Insulation:

- Insulation varies in thickness. 0 - 6 inches

Comments:

- Insulation type(s): Blown Cellulose
- Ventilation is inadequate over garage.
- Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.
- Attic access ladder is not cut to the correct length. Foot should sit flat on floor with all joints closed.
- Missing insulation in several places.
- Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI
- Heavy debris and belongings left in attic space noted.
- Insulation thickness varies and is of multiple types. Suggest additional insulation to meet R30 requirements for our area.



Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI



Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI

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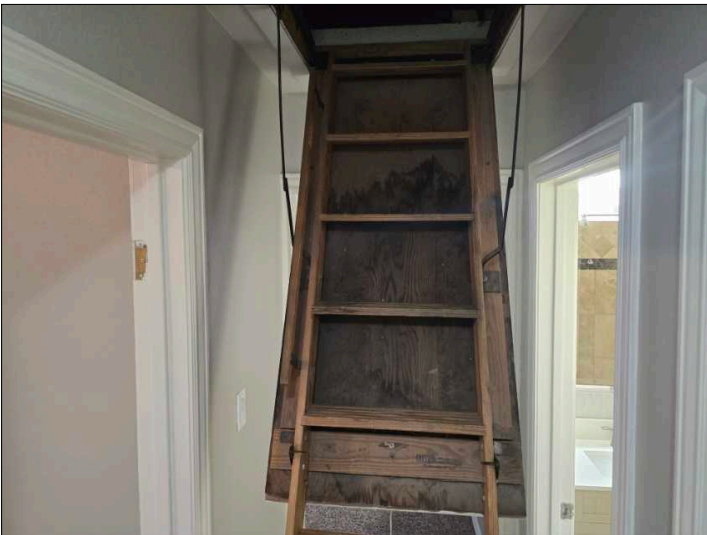
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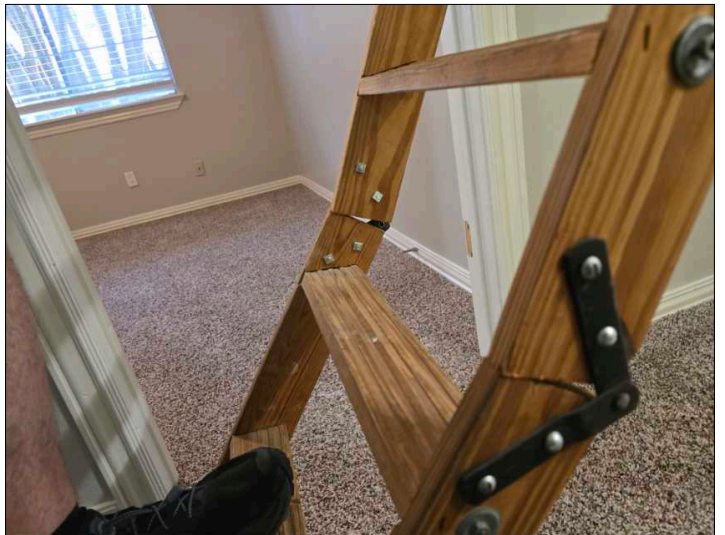
Ventilation is inadequate over garage.



Multiple locations of deterioration around soffit and eave. Wood rot is subject to WDI



Attic access ladder is missing insulation. This door should be insulated at the same R Value as the attic space.



Attic access ladder is not cut to the correct length. Foot should sit flat on floor with all joints closed.

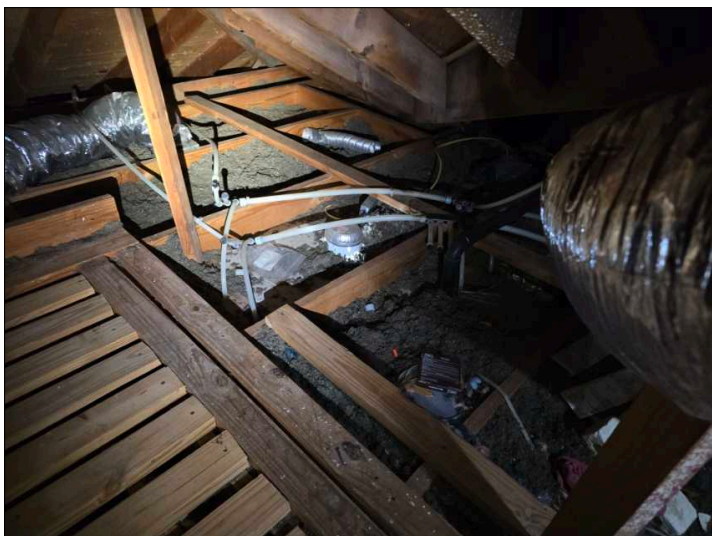
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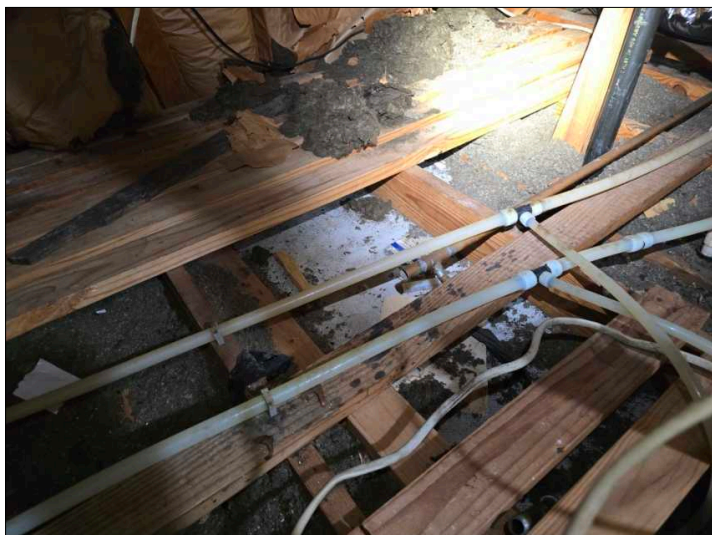
Insulation thickness varies and is of multiple types. Suggest additional insulation to meet R30 requirements for our area.



Missing insulation in several places.



Heavy debris and belongings left in attic space noted.



Missing insulation in several places.

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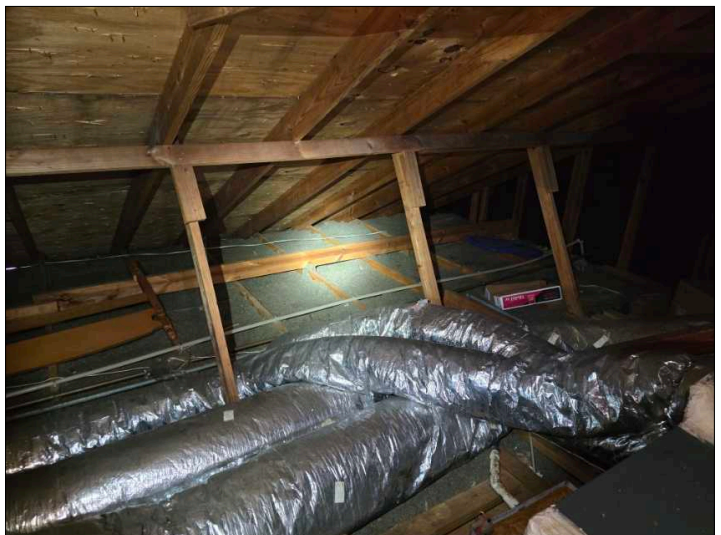
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Missing insulation in several places.



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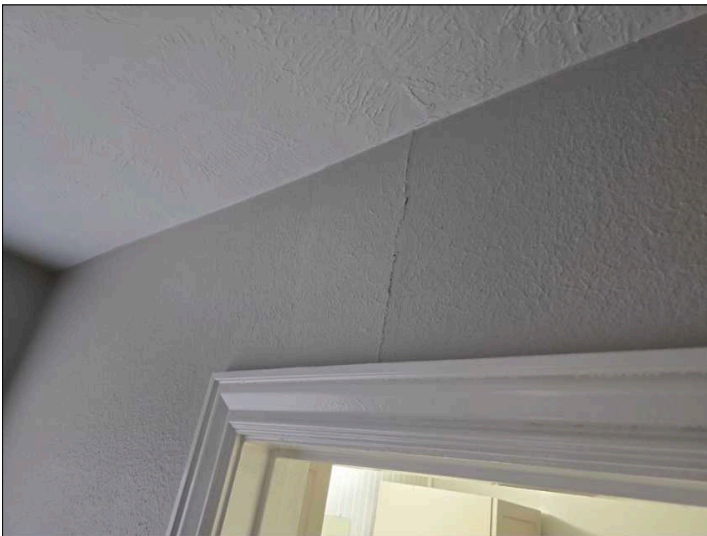
E. Walls (Interior and Exterior)

Wall Materials:

- Exterior walls are covered with cement fiber board. (Example: HardiePlank, LP Smartside, etc.)
- Exterior walls are made of brick
- Exterior walls are made of wood
- Interior walls are made of Drywall
- Interior walls are made of wood

Comments:

- Recommend exterior siding weather proofing
- Exterior cracks in brick veneer noted. Cracks located at window corners are from settlement or uneven weight distribution.
- Cracks / Holes in drywall noted.
- Cracks in tile grout at tub area. Suggest sealing these areas
- Mold damages along wall of garage.
- Ant and wall damages in garage.
- Wood rot / termites damages at wall alcove.
- Wood rot in several places.
- Moisture damages noted in wall of garage. Moisture detected.
- Active water leak in drain line of kitchen. Water pouring from exterior wall. Walls are likely heavily water and mold damaged. Full remediation suggested as needed.
- Active termite damages appear to stretch from kitchen to master bedroom. Heavy repairs and demo will be needed.



Cracks / Holes in drywall noted.



Active termite damages appear to stretch from kitchen to master bedroom. Heavy repairs and demo will be needed.

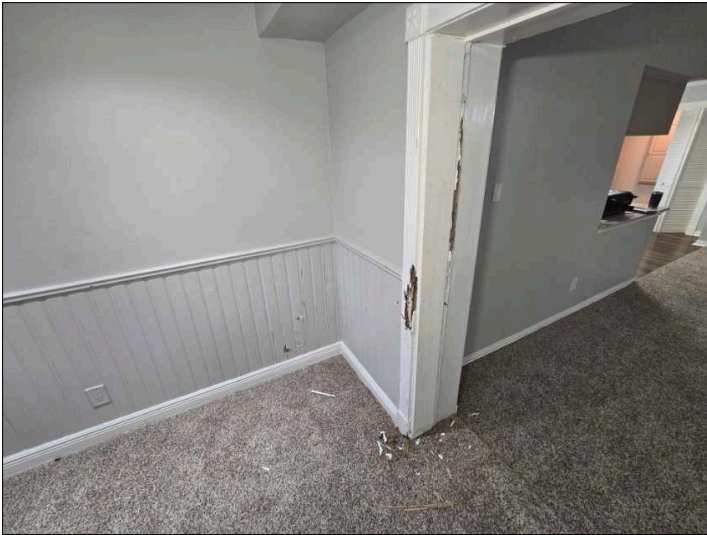
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Active termite damages appear to stretch from kitchen to master bedroom. Heavy repairs and demo will be needed.



Mold damages along wall of garage.



Ant and wall damages in garage.



Wood rot / termites damages at wall alcove.

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Exterior cracks in brick veneer noted. Cracks located at window corners are from settlement or uneven weight distribution.



Wood rot in several places.



Wood rot in several places.



Ants entering walls.

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NP=Not Present

D=Deficient

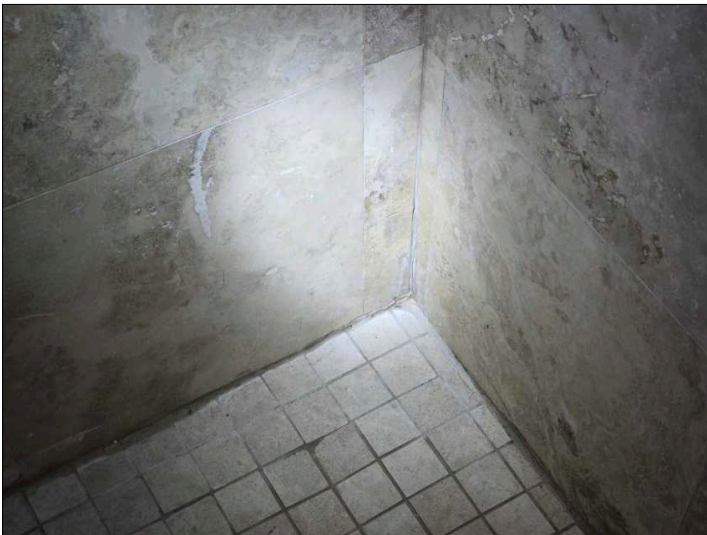
I	NI	NP	D
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Recommend exterior siding weather proofing



Cracks in tile grout at tub area. Suggest sealing these areas



Cracks in tile grout at tub area. Suggest sealing these areas



Moisture damages noted in wall of garage. Moisture detected.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Moisture damages noted in wall of garage. Moisture detected.



Moisture damages noted in wall of garage. Moisture detected.



Active water leak in drain line of kitchen. Water pouring from exterior wall. Walls are likely heavily water and mold damaged. Full remediation suggested as needed.



Active water leak in drain line of kitchen. Water pouring from exterior wall. Walls are likely heavily water and mold damaged. Full remediation suggested as needed.

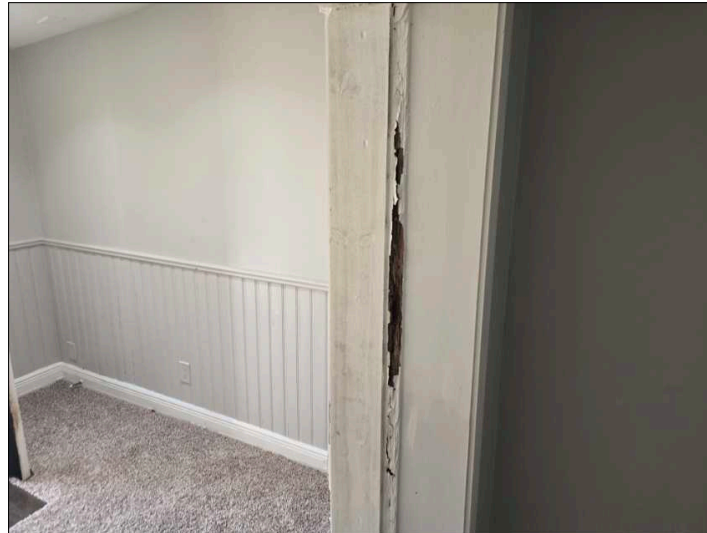
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Active termite damages appear to stretch from kitchen to master bedroom. Heavy repairs and demo will be needed.



F. Ceilings and Floors

Ceiling and Floor Materials:

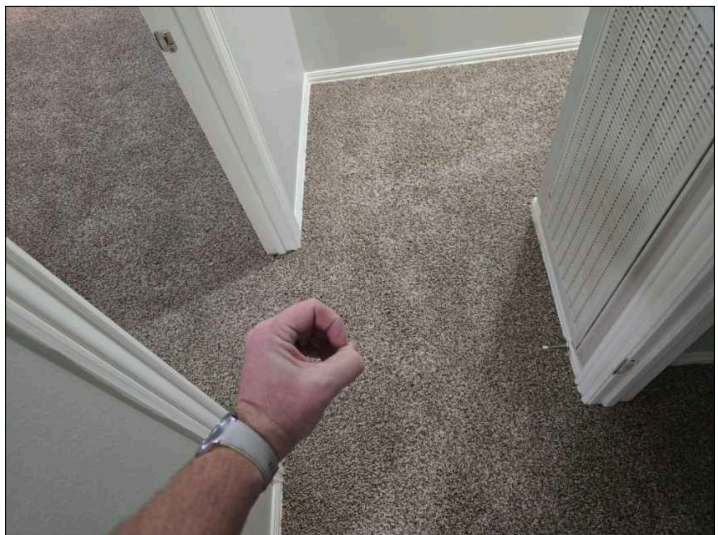
- Floors have carpet on them.
- Floors are covered with linoleum / vinyl plank.

Comments:

- Ceiling is sagging. May be loose nails, or previous damage.
- Floors were covered with carpet over various different flooring materials.
- Crack in floor of 2nd bath. Appears to be foundation related.
- Floor tile of shower curb is broken in several places.
- Added patio room is hollow floor over patio floors. This area is not accessible, but subject to termite damages as well.



Ceiling is sagging. May be loose nails, or previous damage.



Floors were covered with carpet over various different flooring materials.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Crack in floor of 2nd bath. Appears to be foundation related.



Floor tile of shower curb is broken in several places.



Added patio room is hollow floor over patio floors. This area is not accessible, but subject to termite damages as well.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-------------------------------------	--------------------------	--------------------------	-------------------------------------

G. Doors (Interior and Exterior)

Comments:

- Missing door stops in a few locations. These help prevent wall damage.
- Garage door should have self-closing hinges that close door from wide open. Adjust hinge setting.
- Many doors missing / not installed.
- Gates are damaged and not fully functional.
- Bifold doors jump off tracks.
- Garage door frame is not square, has separation, and needs weatherproofing.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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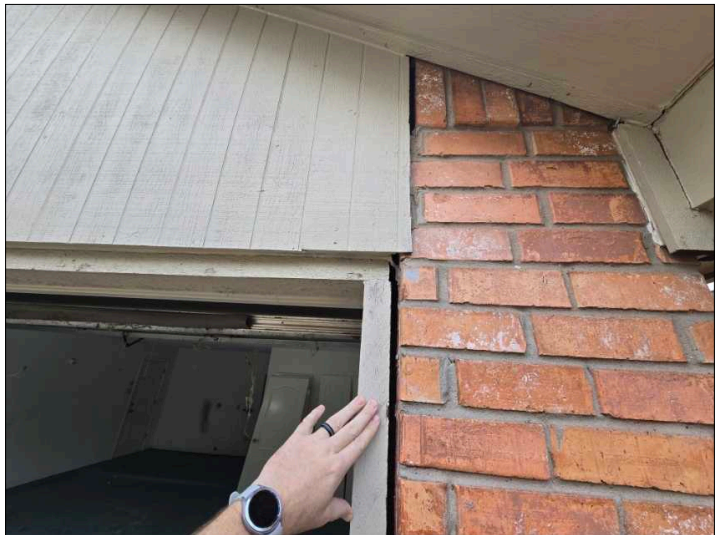
Shift settlement noted at door frame.



Garage door should have self-closing hinges that close door from wide open. Adjust hinge setting.



Many doors missing / not installed.



Garage door frame is not square, has separation, and needs weatherproofing.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Gates are damaged and not fully functional.



Bifold doors jump off tracks.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	H. Windows
-------------------------------------	--------------------------	--------------------------	-------------------------------------	------------

Window Types:

- Sliding windows.
- Windows are single pane.
- Windows are made of aluminum

Comments:

- Window did not open in several locations.
- Missing / damaged screens noted.
- Large open holes around window near back patio.



Large open holes around window near back patio. Large open holes around window near back patio.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Window did not open in several locations.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	I. Stairways (Interior and Exterior)
--------------------------	--------------------------	-------------------------------------	--------------------------	--------------------------------------

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	J. Fireplaces and Chimneys
--------------------------	--------------------------	-------------------------------------	--------------------------	----------------------------

Locations:

Types:

Comments:

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	K. Porches, Balconies, Decks, and Carports
-------------------------------------	--------------------------	--------------------------	-------------------------------------	--

Comments:

- Deck in direct contact with earth. This is a possible location for wood destroying insects to enter.
- Deck in contact with house. Possible termite penetration location.
- Termite damages, wood rot and trip hazards.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

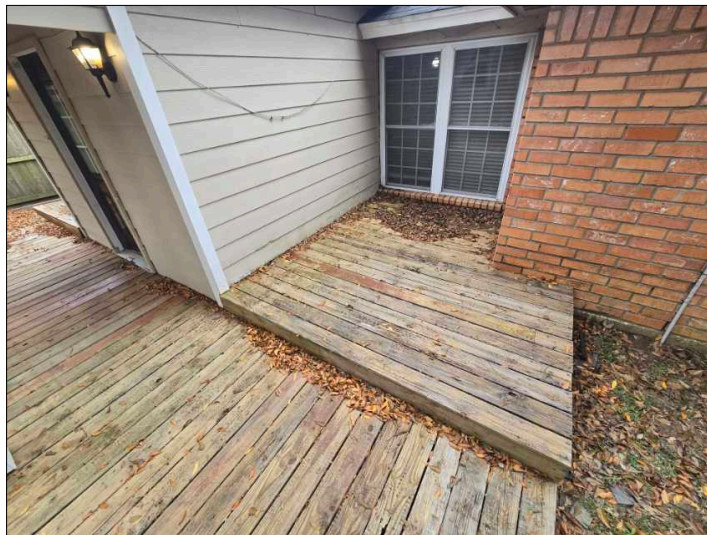
I	NI	NP	D
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Deck in direct contact with earth. This is a possible location for wood destroying insects to enter.



Termite damages, wood rot and trip hazards.



Deck in contact with house. Possible termite penetration location.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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L. Other

Materials:
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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II. ELECTRICAL SYSTEMS

A. Service Entrance and Panels

Panel Locations:

- Service conductors enter underground from utilities.
- Electrical panel is located on the right side of the building if looking at front of house from the street.
- Electrical panel is located in the garage.

Materials and Amp Rating:

- Aluminum Service Entrance Conductors
- 125 Amp Service Entrance

Comments:

- Arc fault circuit interrupters (AFCI) protection is currently required for all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun-rooms, recreation rooms, closets, hallways, and similar rooms or areas. One or more areas missing.
- There is aluminum wiring present that does not have anti-oxidant grease
- The electrical panel is not properly labeled.
- There are white wires in the panel that should be labeled as hot wires
- Ground rod is disconnected from the grounding conductor. This should be repaired.
- Missing trip ties in panel. Certain breakers should be tied together, so to trip at the same time. Consult electrician for repairs.
- Panels that attach to exterior walls should be sealed on top and sides, but not bottom.
- No main disconnect. Falls under old 4 throws of the hand rule.



Ground rod is disconnected from the grounding conductor. This should be repaired.



Panels that attach to exterior walls should be sealed on top and sides, but not bottom.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

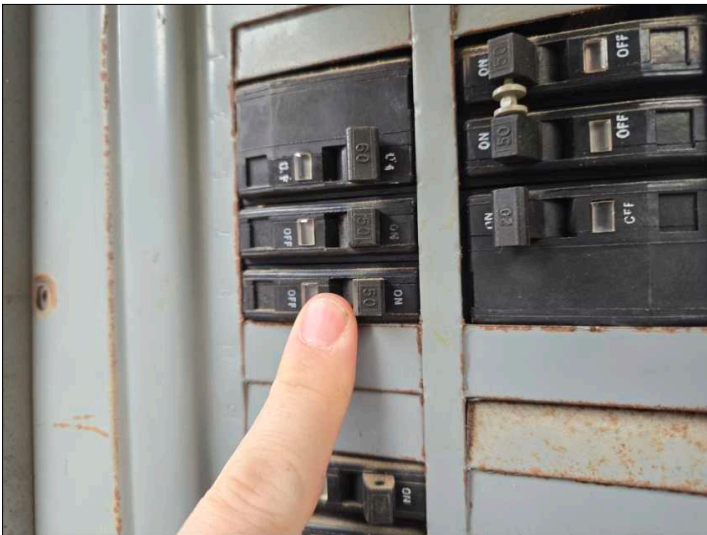
I	NI	NP	D
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Reference Photo



The electrical panel is not properly labeled.



Missing trip ties in panel. Certain breakers should be tied together, so to trip at the same time. Consult electrician for repairs.



No main disconnect. Falls under old 4 throws of the hand rule.

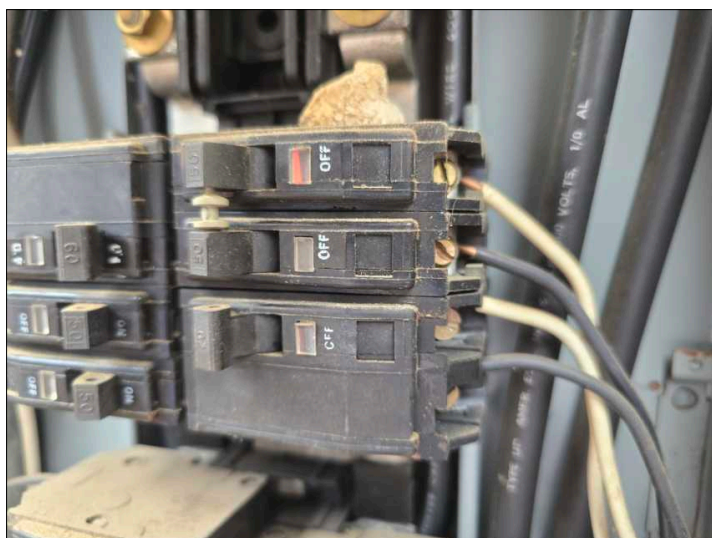
I=Inspected

NI=Not Inspected

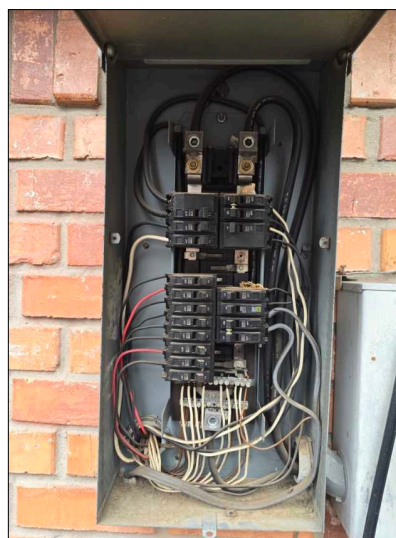
NP=Not Present

D=Deficient

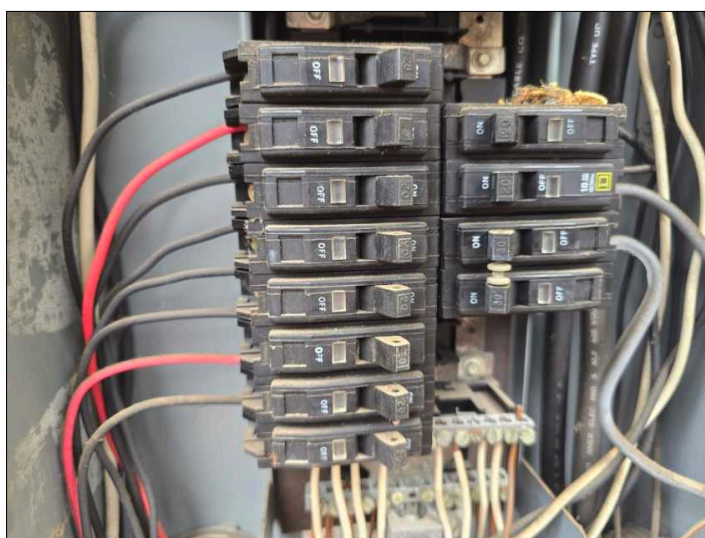
I	NI	NP	D
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There are white wires in the panel that should be labeled as hot wires



Reference Photo



Arc fault circuit interrupters (AFCI) protection is currently required for all 15 and 20 amp branch circuits providing power to outlets in residential family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun-rooms, recreation rooms, closets, hallways, and similar rooms or areas. One or more areas missing.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Branch Circuits, Connected Devices, and Fixtures

Type of Wiring:

- Copper wiring
- 15 amp
- 20 amp

Comments:

- All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.
- Some lights did not function at time of inspection.
- Open bulb light fixtures in closets are not allowed. Should be covered to reduce risk of fire.
- Loose receptacle found.
- Paint on receptacles
- Unfinished electric to shop. No power to panel.
- Dryer wire added to panel, but wire loosely exposed and not properly protected
- Smoke detectors not tied to other and missing CO detector.
- In cabinet lights are not wired and working.



Dryer wire added to panel, but wire loosely exposed and not properly protected



Loose receptacle found.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Unfinished electric to shop. No power to panel.



Unfinished electric to shop. No power to panel.



Paint on receptacles



Open bulb light fixtures in closets are not allowed. Should be covered to reduce risk of fire.

I=Inspected

NI=Not Inspected

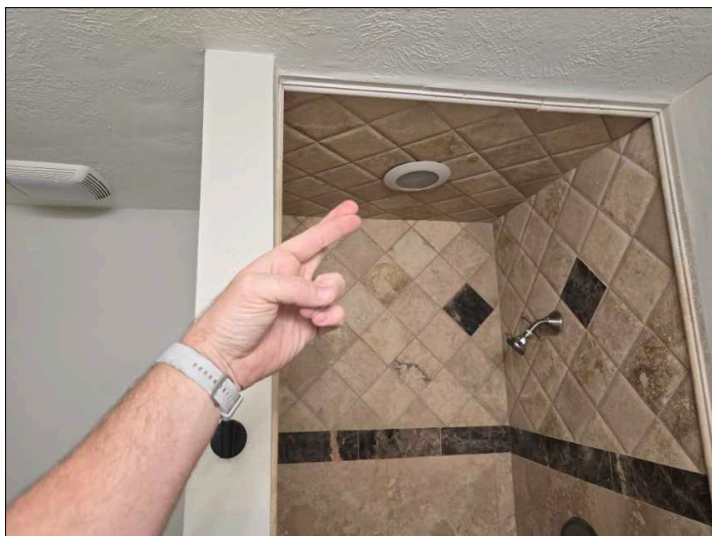
NP=Not Present

D=Deficient

I	NI	NP	D
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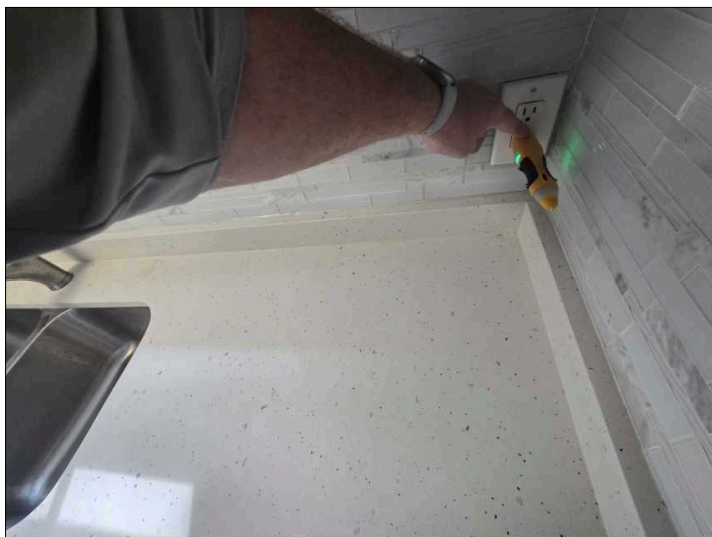
All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.



Some lights did not function at time of inspection.



Smoke detectors not tied to other and missing CO detector.



All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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All receptacles near "wet" locations should be GFCI protected. This includes bathrooms, kitchen counter area, outside receptacles, garage and utility areas.

In cabinet lights are not wired and working.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	C. Other
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Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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III. HEATING, VENTILATION AND AIR CONDITIONING SYSTEMS

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A. Heating Equipment
-------------------------------------	--------------------------	--------------------------	-------------------------------------	----------------------

Type of Systems:

- Gas fired forced hot air.

Energy Sources:

- The furnace is gas/ fuel powered. 80% AFUE

Comments:

- Furnace visually inspected and checked.
- Estimated Age of Furnace :2022
- Flue should be clear of combustibles by minimum 1".
- Flex gas line entering furnace cabinet is a fire hazard and should be corrected.



Operated



Operated

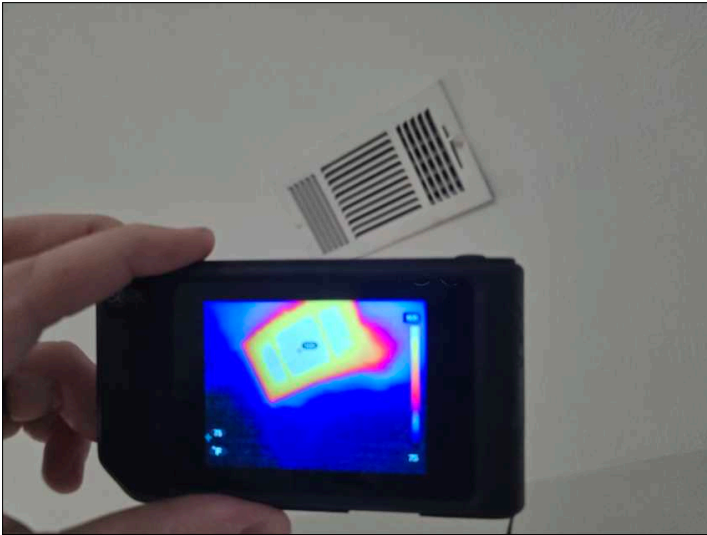
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

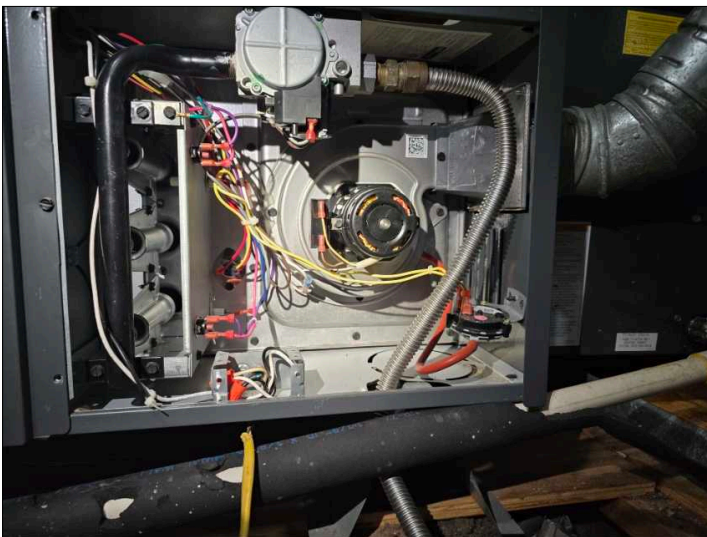
I	NI	NP	D
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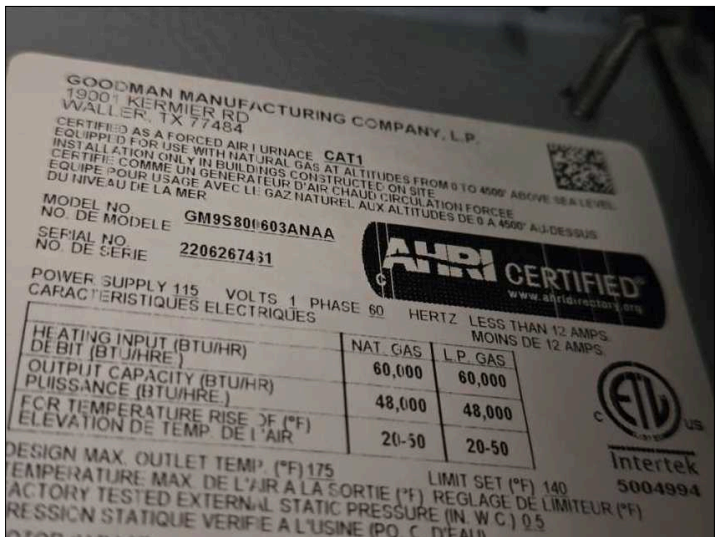
Operated



Flex gas line entering furnace cabinet is a fire hazard and should be corrected.



Furnace visually inspected and checked.



Estimated Age of Furnace :2022

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Flue should be clear of combustibles by minimum 1".

B. Cooling Equipment

Type of Systems:

• Split Unit Size: 3 ton

Refrigerant: R410A

MFG Dates 2021 coil (inside); 2021 condenser (outside)

Comments:

- Heavy rust in overflow pan. Recommend replacement of overflow pan, as rust can cause holes to leak.
- Secondary Drain line discharge location is over window. If water is seen coming from here, the primary may be stopped up. Contact HVAC service immediately to prevent possible damage.
- Coolant lines missing insulation in attic space. This will condensate and drip onto attic floor / ceiling.
- Refrigerant lines are missing insulation at the A/C unit
- Exterior condensing unit should be resting level. Not currently level
- No secondary drain installed. This should drain into a catch pan if the primary is clogged.
- Conduit disconnected at AC unit.
- Main drain is tied to an open vent line in the attic. This is a risk of water overflow and damages. Plumber should seal connections.

I=Inspected

NI=Not Inspected

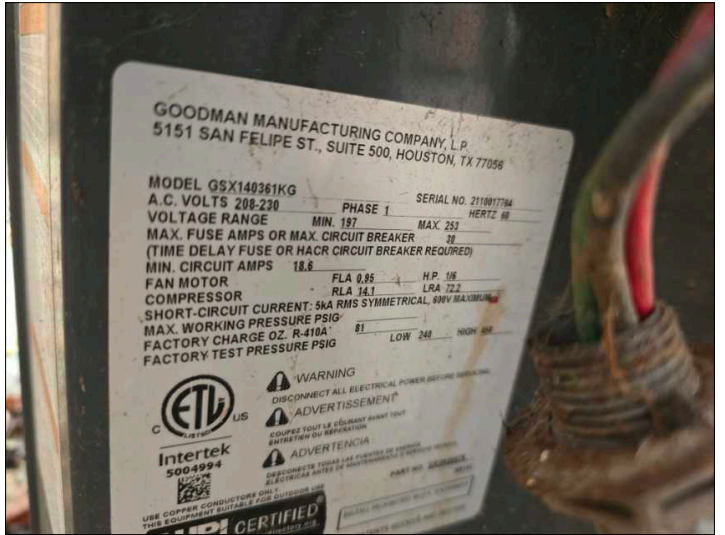
NP=Not Present

D=Deficient

I	NI	NP	D
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Exterior condensing unit should be resting level. Not currently level



3 ton, R410A, 2021



Conduit disconnected at AC unit.



Refrigerant lines are missing insulation at the A/C unit

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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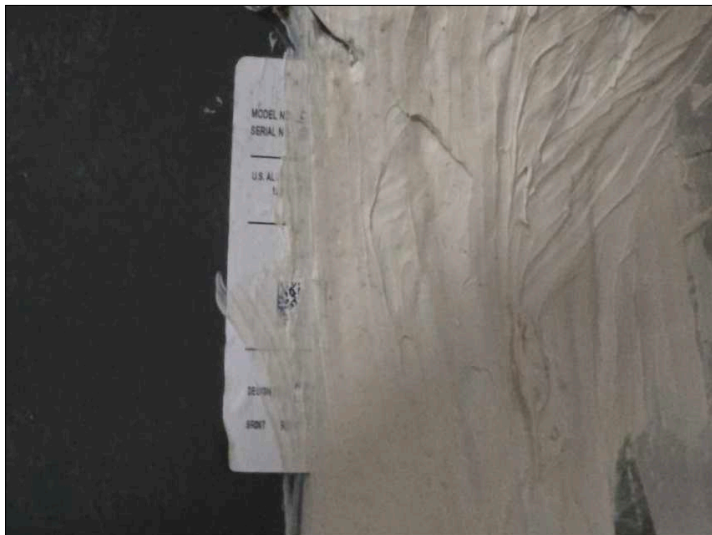
Secondary Drain line discharge location is over window. If water is seen coming from here, the primary may be stopped up. Contact HVAC service immediately to prevent possible damage.



Coolant lines missing insulation in attic space. This will condensate and drip onto attic floor / ceiling.



No secondary drain installed. This should drain into a catch pan if the primary is clogged.



Coil age estimated

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

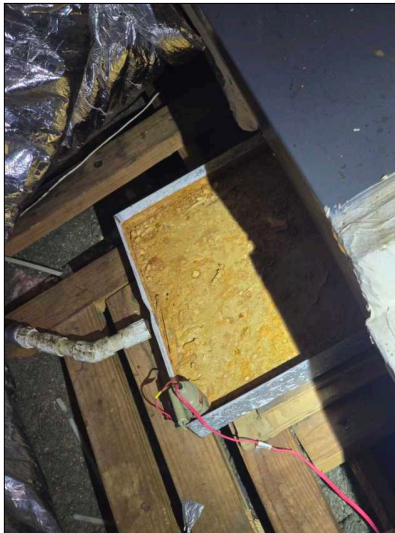
I	NI	NP	D
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Main drain is tied to an open vent line in the attic. This is a risk of water overflow and damages. Plumber should seal connections.



17f delta T across coil is acceptable.



Heavy rust in overflow pan. Recommend replacement of overflow pan, as rust can cause holes to leak.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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C. Duct Systems, Chases, and Vents

Comments:

- Flex ducting in contact with blown in insulation. This can cause mold growth. Flex ducting should be fully suspended.
- Flex ducting in direct contact with flex ducting. Possible condensation location. Moisture and microbial growth possible in these areas. Recommend spacing ducting so that not in contact with each other.
- 90 degree bend in flex lines present. This restricts air flow and balance of conditioned air in home.
- Rusted register noted in bathroom.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
---	----	----	---



Rusted register noted in bathroom.



90 degree bend in flex lines present. This restricts air flow and balance of conditioned air in home.



Flex ducting in contact with blown in insulation. This can cause mold growth. Flex ducting should be fully suspended.

D. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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IV. PLUMBING SYSTEMS

A. Plumbing Supply, Distribution System and Fixtures

Location of Water Meter: Front of structure near street.

Location of Main Water Supply Valve:

- Exterior of structure on the left side.

Comments:

- Type of Supply Piping Material: PEX, Galvanized Steel, Copper
- Static Water Pressure Reading: 65 psi
- Water shutoff location.
- Home appears to have been repiped, but some rusted galvanized still present near water heater.
- Damaged water line at water heater.



Home appears to have been repiped, but some rusted galvanized still present near water heater.



Damaged water line at water heater.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

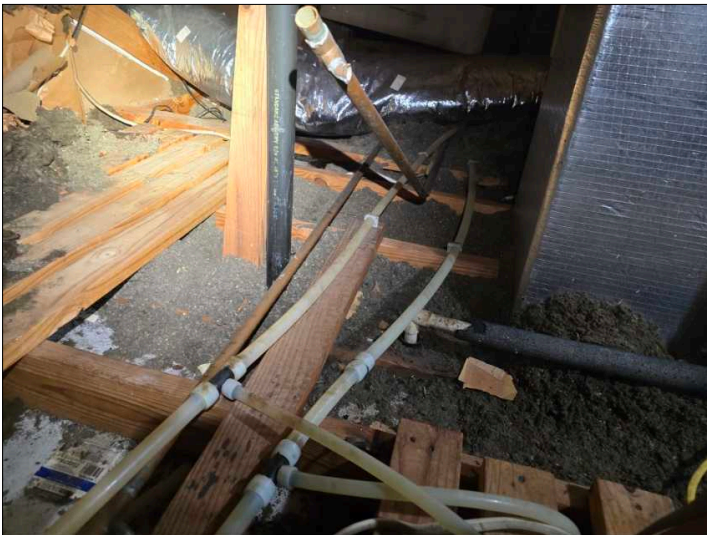
I	NI	NP	D
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Water shutoff location.



Home appears to have been repiped, but some rusted galvanized still present near water heater.



I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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B. Drains, Wastes, and Vents

Comments:

• Type of Drain Piping Material:ABS - Black Plastic

• Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.



Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.

Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

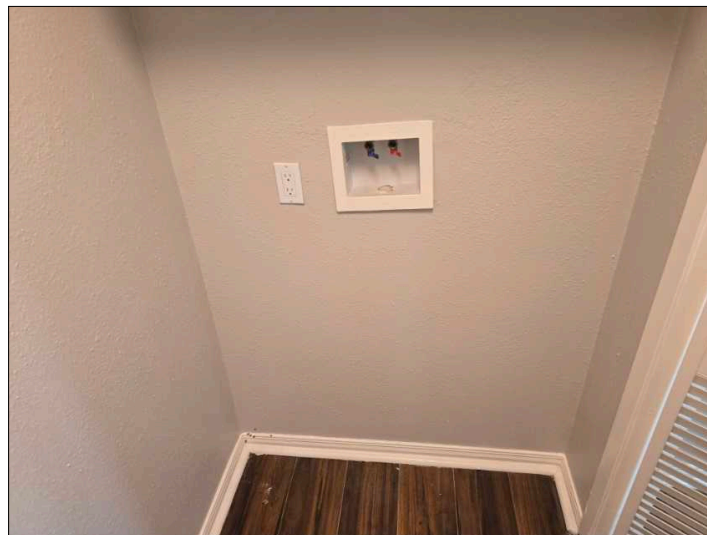
I	NI	NP	D
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Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.



Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.



Missing plumbing cleanout

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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C. Water Heating Equipment

Energy Source:

- Water heater is gas powered

Capacity:

Comments:

- Incorrect flue piping. Should be double wall piping through the roof with proper clearances and Type B vent cap.
- Flues are missing metal strapping.
- Water heater exhaust flue shroud not secure to ceiling or top of water heater.
- Flue pipe not secured to top of water heater. Heater exhaust gas leakage around flue catch. This should be repaired immediately.



Flue pipe not secured to top of water heater. Heater exhaust gas leakage around flue catch. This should be repaired immediately.



Flues are missing metal strapping.

D. Hydro-Massage Therapy Equipment

Comments:

E. Gas Distribution Systems and Gas Appliances

Location of Gas Meter:

- Rear of house

Type of Gas Distribution Piping Material:

- Steel- black pipe, Galvanized Steel

Comments:

- Gas Meter and Shutoff Location.
- Sediment trap missing / not correct at fuel fired appliance.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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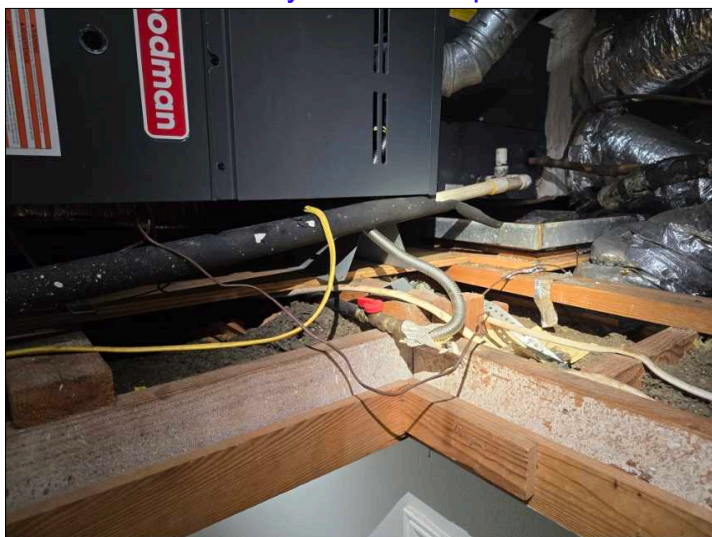
Gas Meter and Shutoff Location.



Secondary line is not opened.



Sediment trap missing / not correct at fuel fired appliance.



Sediment trap missing / not correct at fuel fired appliance.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other
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Materials:
Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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V. APPLIANCES

A. Dishwashers

Comments:
• Operated.

B. Food Waste Disposers

Comments:
• Operated - appeared functional at time of inspection.



Operated - appeared functional at time of inspection.

C. Range Hood and Exhaust Systems

Comments:
• Operated.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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D. Ranges, Cooktops, and Ovens

Comments:

- All heating elements operated when tested.
- Oven(s) operated when tested.



All heating elements operated when tested.



Oven(s) operated when tested.

E. Microwave Ovens

Comments:

- Microwave operated normally

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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F. Mechanical Exhaust Vents and Bathroom Heaters

Comments:

- Bathroom fans exhaust into attic space. This can create additional hot moist air in the attic space causing mold growth. Suggest having vents terminate to the exterior of the house through the roof.



Bathroom fans exhaust into attic space. This can create additional hot moist air in the attic space causing mold growth. Suggest having vents terminate to the exterior of the house through the roof.

G. Garage Door Operators

Door Type:

- One 16' steel door
- Sectional door noted.

Comments:

- Missing safety test instructions on wall next to the operators.
- Glue from panels and frame has come loose. This glue helps secure the structure.
- Garage door seal is damaged.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Missing safety test instructions on wall next to the operators.



Reference Photo



Glue from panels and frame has come loose. This glue helps secure the structure.



Garage door seal is damaged.

H. Dryer Exhaust Systems

Comments:

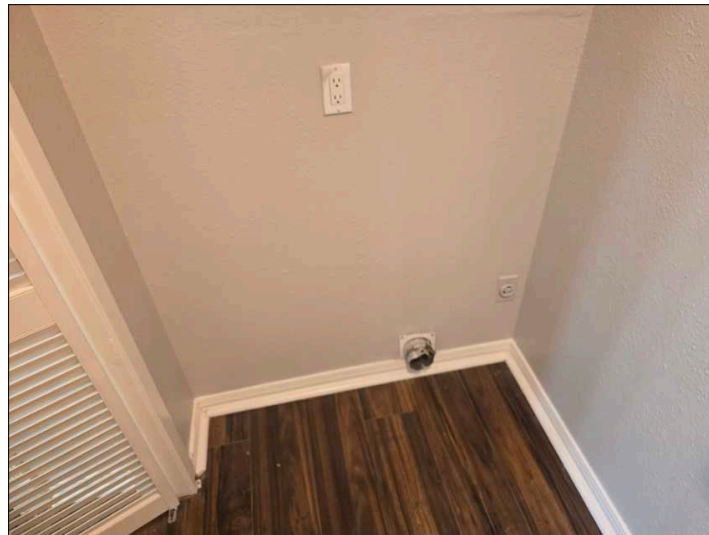
I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Moved dryer location.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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I. Other

Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VI. OPTIONAL SYSTEMS

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	A. Landscape Irrigation (Sprinkler) Systems
--------------------------	--------------------------	-------------------------------------	--------------------------	---

Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	B. Swimming Pools, Spas, Hot Tubs, and Equipment
--------------------------	--------------------------	-------------------------------------	--------------------------	--

Type of Construction:

Comments:

<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	C. Outbuildings
--------------------------	-------------------------------------	--------------------------	--------------------------	-----------------

Materials:

- Wooden Shed

Comments:

- Building visually reviewed only.
- Shop too close to tree. Damage to side wall.



Building visually reviewed only.



Shop too close to tree. Damage to side wall.

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Shop too close to tree. Damage to side wall.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	D. Private Water Wells (A coliform analysis is recommended)
--------------------------	--------------------------	-------------------------------------	--------------------------	---

Type of Pump:
 Type of Storage Equipment:
 Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	E. Private Sewage Disposal Systems
--------------------------	--------------------------	-------------------------------------	--------------------------	------------------------------------

Type of System:
 Location of Drain Field:
 Comments:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	F. Other Built- in Appliances
--------------------------	--------------------------	-------------------------------------	--------------------------	-------------------------------

Observations:

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	G. Other
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Comments:

I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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VII. WOOD DESTROYING INSECT NOTES

A. Damage

Materials:

- Conductive Conditions Present
- Active Infestation
- Previous Infestation

Observations:

- Evidence of wood destroying insects. - Formosan termites, Subterranean Termites

• Extensive damage to rear of house. Deck, back room, and walls are all likely going to need to be opened to check for damages and repair.



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I=Inspected

NI=Not Inspected

NP=Not Present

D=Deficient

I	NI	NP	D
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Glossary

Term	Definition
A/C	Abbreviation for air conditioner and air conditioning
ABS	Acronym for acrylonitrile butadiene styrene; rigid black plastic pipe used only for drain lines.
AFCI	Arc-fault circuit interrupter: A device intended to provide protection from the effects of arc faults by recognizing characteristics unique to arcing and by functioning to de-energize the circuit when an arc fault is detected.
Cellulose	Cellulose insulation: Ground-up newspaper that is treated with fire-retardant.
GFCI	A special device that is intended for the protection of personnel by de-energizing a circuit, capable of opening the circuit when even a small amount of current is flowing through the grounding system.

Report Summary

On this page you will find, in **RED**, a brief summary of any **CRITICAL** concerns of the inspection, as they relate to Safety and Function. Examples would be bare electrical wires, or active drain leaks. The complete list of items noted is found throughout the body of the report, including Normal Maintenance items. Be sure to read your entire report!

For your safety and liability, we recommend that you hire only licensed contractors when having any work done. If the living area has been remodeled or part of an addition, we recommend that you verify the permit and certificate of occupancy. This is important because our inspection does not tacitly approve, endorse, or guarantee the integrity of any work that was done without a permit, and latent defects could exist.

Depending upon your needs and those who will be on this property, items listed in the body of the report may also be a concern for you; be sure to read your Inspection Report in its entirety.

Note: If there are no comments in **RED** below, there were no **CRITICAL** system or safety concerns with this property at the time of inspection.

STRUCTURAL SYSTEMS		
Page 7 Item: A	Foundations	<ul style="list-style-type: none"> It is my opinion that the foundation has several deficiencies and should be further evaluated by a reputable foundation contractor or structural engineer.
Page 13 Item: D	Roof Structure and Attics	<ul style="list-style-type: none"> Insulation thickness varies and is of multiple types. Suggest additional insulation to meet R30 requirements for our area.
Page 17 Item: E	Walls (Interior and Exterior)	<ul style="list-style-type: none"> Active water leak in drain line of kitchen. Water pouring from exterior wall. Walls are likely heavily water and mold damaged. Full remediation suggested as needed. Active termite damages appear to stretch from kitchen to master bedroom. Heavy repairs and demo will be needed.
PLUMBING SYSTEMS		
Page 44 Item: B	Drains, Wastes, and Vents	<ul style="list-style-type: none"> Active leak at drian in kitchen. Water flows freely from wall when sink/ dishwasher are running. Exact reason is unknown. Possible broken / clogged pipe or under ground blockage. Repairs needed.
WOOD DESTROYING INSECT NOTES		
Page 55 Item: A	Damage	<ul style="list-style-type: none"> Extensive damage to rear of house. Deck, back room, and walls are all likely going to need to be opened to check for damages and repair.